

# 8 DUNSTER AVE MULTI-FAMILY

## SITE PLAN

TAX MAP 8 LOT 37B  
GREENVILLE, NH 03048

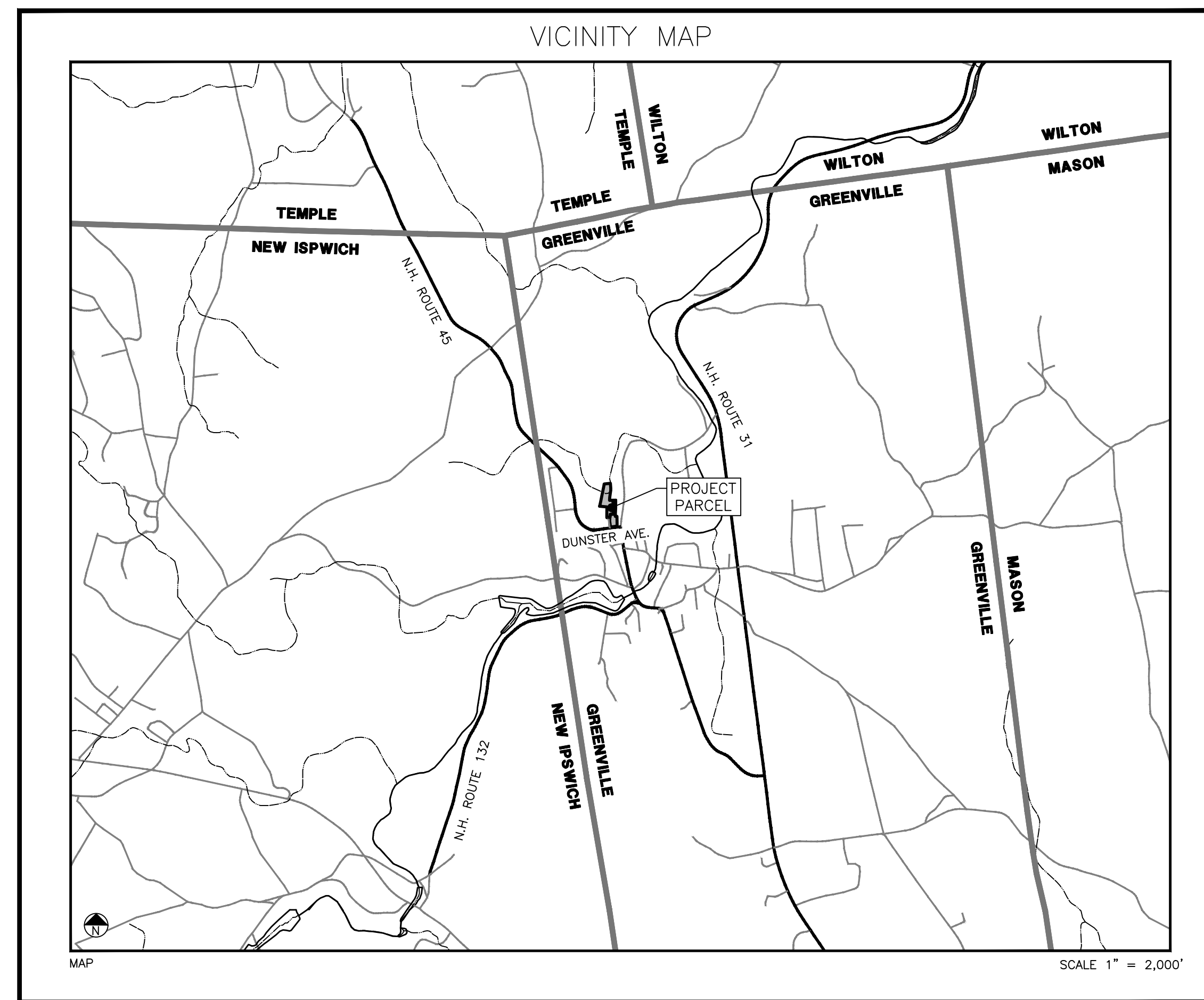
SEPTEMBER 15, 2022

SHEET INDEX	
NO.	DESCRIPTION
1	COVER SHEET, VICINITY MAP AND SHEET INDEX
2	EXISTING CONDITIONS PLAN
3	GN-1 GENERAL NOTES
4	SP-1 DEMOLITION AND CLEARING PLAN
5	SP-2 SITE LAYOUT, SIGNING AND MARKING PLAN
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PROJECT INFORMATION	
ZONING DISTRICT	DOWNTOWN
OVERLAY DISTRICT	N/A
TAX MAP & LOT	8-37B
SITE PERMIT NUMBER	TBD

UTILITY PROVIDERS		
<b>WATER &amp; SEWER</b> GREENVILLE WATER & SEWER DAVE BRENNAN PHONE: (603)-878-2800 EMERGENCY PHONE: (603)-315-6660	<b>ELECTRIC</b> EVERSOURCE 425 JAFFREY RD STE D PETERBOROUGH, NH 03458 PHONE: (800)-362-7764	<b>FIRE DISTRICT</b> GREENVILLE FIRE DEPARTMENT 7 RIVER ROAD GREENVILLE, NH 03048 PHONE: (603)-878-1242

CONSULTANTS		
<b>SURVEYOR</b> SAM INGRAM, LLS MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441	<b>WETLANDS SCIENTIST</b> SPENCER C. TATE, CWS MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441	<b>CIVIL ENGINEER</b> SAMUEL FOISIE, P.E. MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441



OWNER/APPLICANT	
OWNER	APPLICANT
DAN HYNES DUNSTER REALTY, LLC 41 PALOMINO LANE BEDFORD, NH 03110	DAN HYNES DUNSTER REALTY, LLC 41 PALOMINO LANE BEDFORD, NH 03110

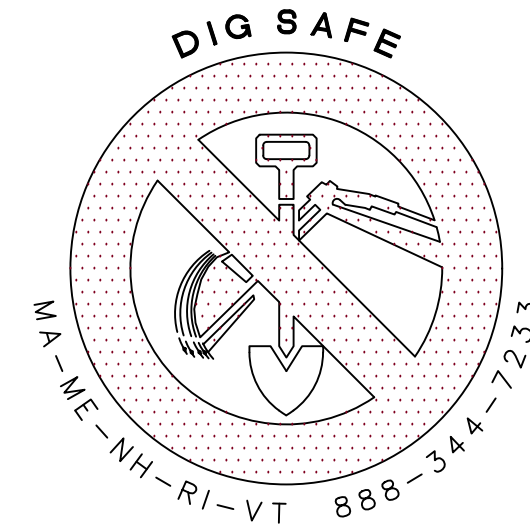
ABUTTERS		
LOT 8-37 DUNSTER & MAIN LLC 1 DUNSTER AVENUE GREENVILLE NH 03048	LOT 3-2-6 & 3-2-1 TOWN OF GREENVILLE 46 MAIN STREET PO BOX 343 GREENVILLE NH 03048	LOT 8-35 DARRYL J MARKAVERICH 8 NUTTING LANE GREENVILLE NH 03048
LOT 8-34 & 5-73 ALAN B GAUVIN OTHERS 9 DUNSTER AVENUE GREENVILLE NH 03048	LOT 5-92 CHRISTA WARD 1 MAIN STREET GREENVILLE NH 03048	

PERMIT AND APPROVALS		
PERMIT	PERMIT #	STATUS
SITE PLAN PERMIT	TBD	SUBMITTED 9/15/22
NH DOT DRIVEWAY PERMIT	TBD	TO BE SUBMITTED
NH DOT EXCAVATION PERMIT	TBD	TO BE SUBMITTED

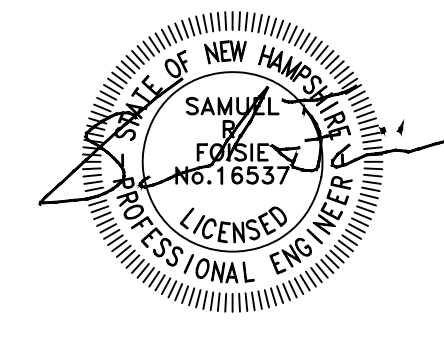
WAIVERS	
SITE PLAN REVIEW REGULATIONS SECTION 7.1	TO ALLOW FOR RELIEF FROM PROVIDING LANDSCAPE PLANS - PENDING PER LETTER DATED 9/15/2022.
SITE PLAN REVIEW REGULATIONS SECTION 7.G	TO ALLOW FOR RELIEF FROM PROVIDING DRAINAGE CALCULATIONS AND PLANS - PENDING PER LETTER DATED 9/15/2022.

DAN HYNES, OWNERS SIGNATURE

APPROVED: TOWN OF GREENVILLE PLANNING BOARD	
CHAIR/VICE CHAIRMAN:	_____
DATE APPROVED:	_____
DATE SIGNED:	_____



**MERIDIAN**  
LAND SERVICES, INC.  
ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441  
MERIDIANLANDSERVICES.COM FAX 603-673-1584



REV.	DATE	DESCRIPTION	DR	CK
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**GENERAL UTILITY NOTES:**

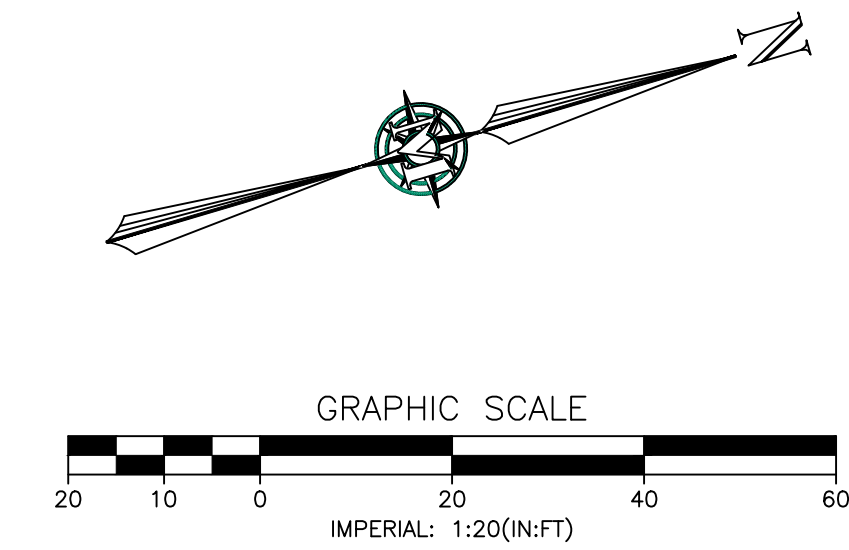
1. ALL UTILITY CONSTRUCTION TO BE IN ACCORDANCE WITH GREENVILLE UTILITIES TECHNICAL SPECIFICATIONS AND DETAILS, LATEST EDITION.
2. CONTRACTOR TO VERIFY THE SIZE AND LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. EXISTING INFRASTRUCTURE ON THE PROPERTY TO BE PHYSICALLY LOCATED TO AVOID POTENTIAL CONFLICTS OR DAMAGE TO THIS INFRASTRUCTURE.
3. LOCATIONS OF PROPOSED UTILITY LINES ARE SUBJECT TO MODIFICATIONS TO PRESERVE ANY EXISTING VEGETATION AS DETERMINED BY THE ENGINEER.
4. NO TREES OR SHRUBS SHALL BE PLACED SO AS TO BLOCK ACCESS OR LINE OF SIGHT TO FIRE HYDRANTS PLACED WITHIN LANDSCAPE ISLANDS THROUGHOUT THE PROJECT SITE.
5. CONTRACTOR TO PROVIDE UTILITY RECORD DRAWINGS TO OWNER AND ENGINEER PRIOR TO FINAL PAYMENT REQUEST.
6. ALL UNDERGROUND UTILITIES LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF THE SUBGRADE.
7. CONTRACTOR SHALL NOTIFY ALL UTILITY PROVIDERS AT LEAST 48 HOURS PRIOR TO THE START OF UNDERGROUND CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IF UTILITIES OTHER THAN THOSE SHOWN THE PLANS EXIST.
8. CONTRACTOR TO EXERCISE CARE TO PROTECT THE ROOTS OF TREES TO REMAIN. WITH THE BRANCH SPREAD OF SUCH TREES, PERFORM ALL TRENCHING BY HAND. OPEN THE TRENCH ONLY WHEN UTILITIES CAN BE INSTALLED IMMEDIATELY. PRUNE INJURED ROOTS CLEANLY AND BACKFILL AS SOON AS POSSIBLE.

**SANITARY SEWER NOTES:**

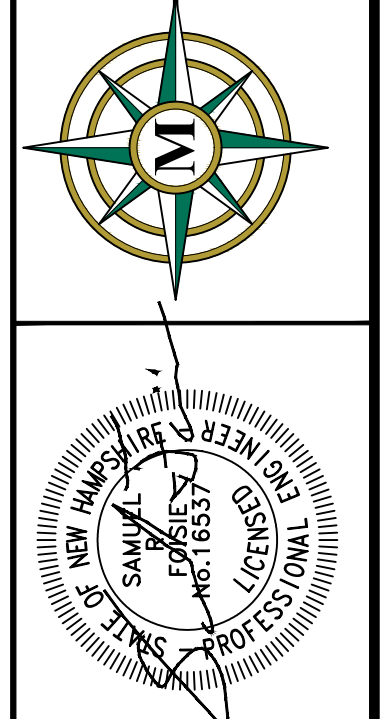
1. EXISTING SEWER SERVICE TO BE INSPECTED AND REPLACED AS NEEDED. IF REPLACEMENT IS NEEDED SEWER SERVICE LATERAL IS TO BE INSTALLED PER GREENVILLE STANDARDS AND SPECIFICATIONS. ALL APPLICABLE PERMITS ARE TO BE OBTAINED.
2. SEWER SERVICE LOCATION PER RECORD DRAWINGS PROVIDED BY MONADNOCK SURVEY, INC. DATED OCTOBER 26, 2015.

**LEGEND:**

	EX. PROPERTY BOUNDARY
	EX. ROW LINE
	EX. ABUTTER LOT LINE
	EX. BUILDING SETBACK
	EX. EDGE OF PAVEMENT
	EX. EDGE OF GRAVEL
	EX./PROPOSED EASEMENT
	EDGE OF PAVEMENT
	EX. BUILDING
	EX. WETLANDS
	GRAVEL
	CONCRETE
	EX. STRUCTURE
	EX. SIGN
	EX. CATCH BASIN
	FLARED END SECTION



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 MERIDIANLANDSERVICES.COM FAX: 603-673-1584



**PROJECT VERTICAL DATUM**  
 ASSUMED DATUM

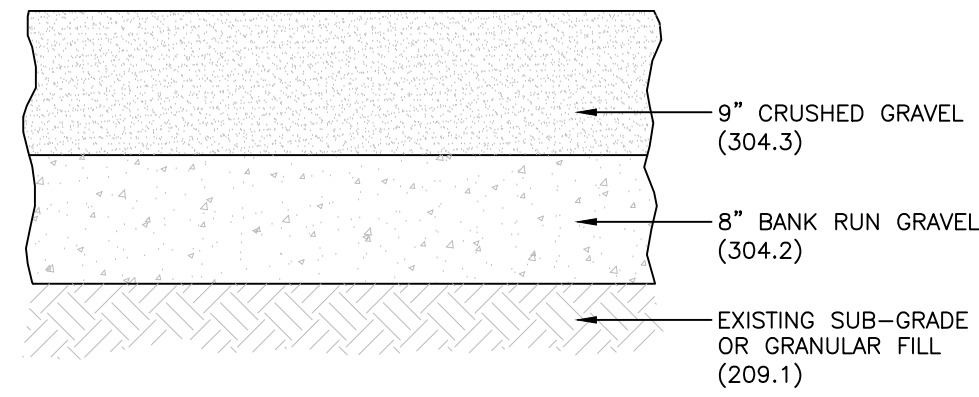
REV.	DATE	DESCRIPTION	DR	CK
A	SEPTEMBER 15, 2022	UTILITY, DRAINAGE, AND GRADING PLAN		
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8 DUNSTER AVE CHANGE OF USE  
 SITE PLAN  
 UTILITY, DRAINAGE, AND GRADING PLAN

DAN HYNES  
 8 DUNSTER AVENUE  
 MAP 8 LOT 37B  
 GREENVILLE, NEW HAMPSHIRE

**SP-3**  
 SHEET  
 FILE: 11679101.dwg  
 PROJECT 11679.00  
 SHEET NO. 6 OF 8

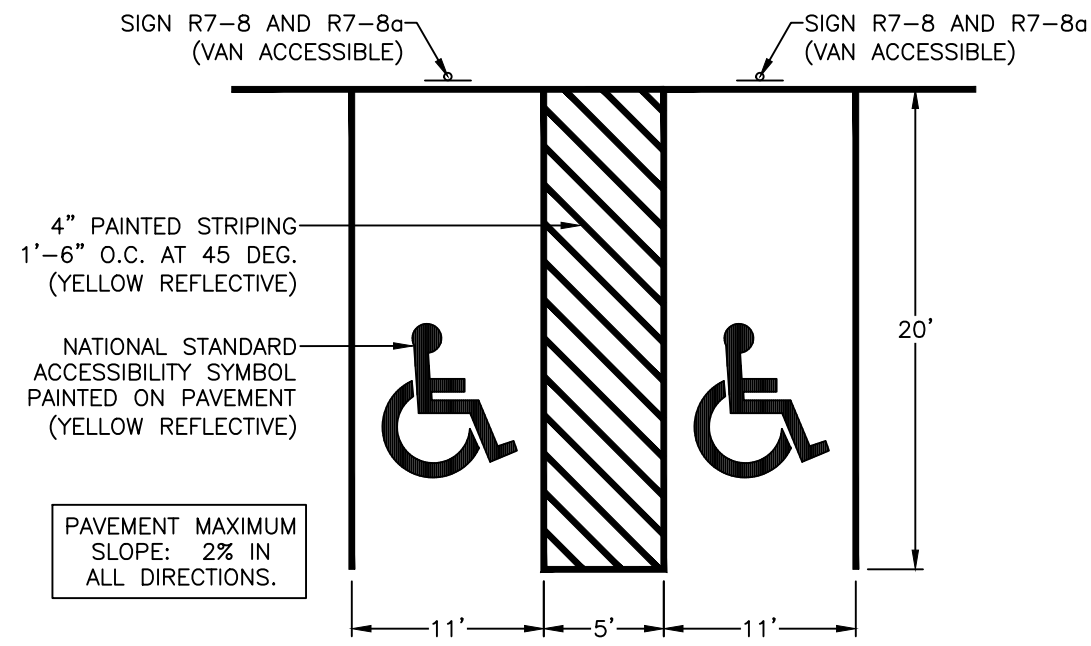
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**GRAVEL SECTION**

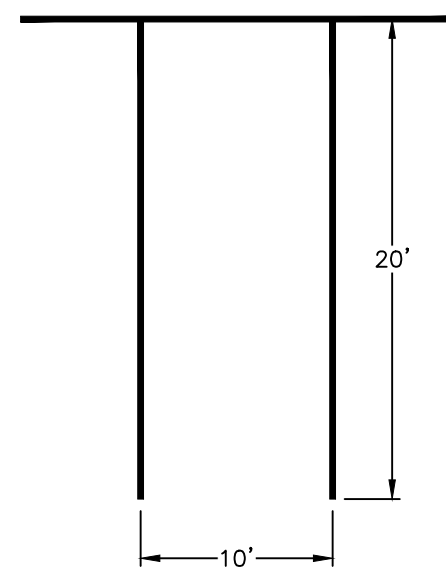
SCALE: NONE **1**  
D-1

A MINIMUM OF ONE IN EVERY EIGHT (1:8) HANDICAP SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8' WIDE AND SHALL BE DESIGNATED VAN ACCESSIBLE (R7-8a).



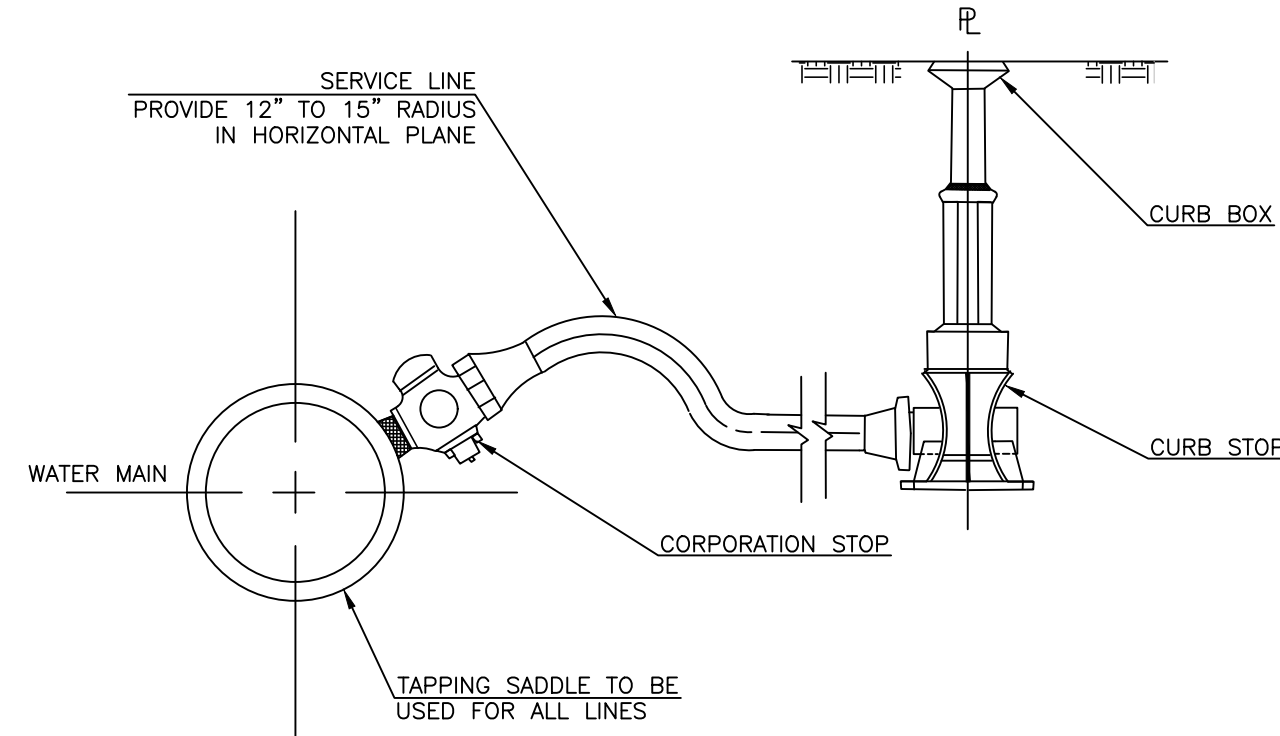
**HANDICAP PARKING - VAN ACCESSIBLE**

SCALE: NONE **2**  
D-1



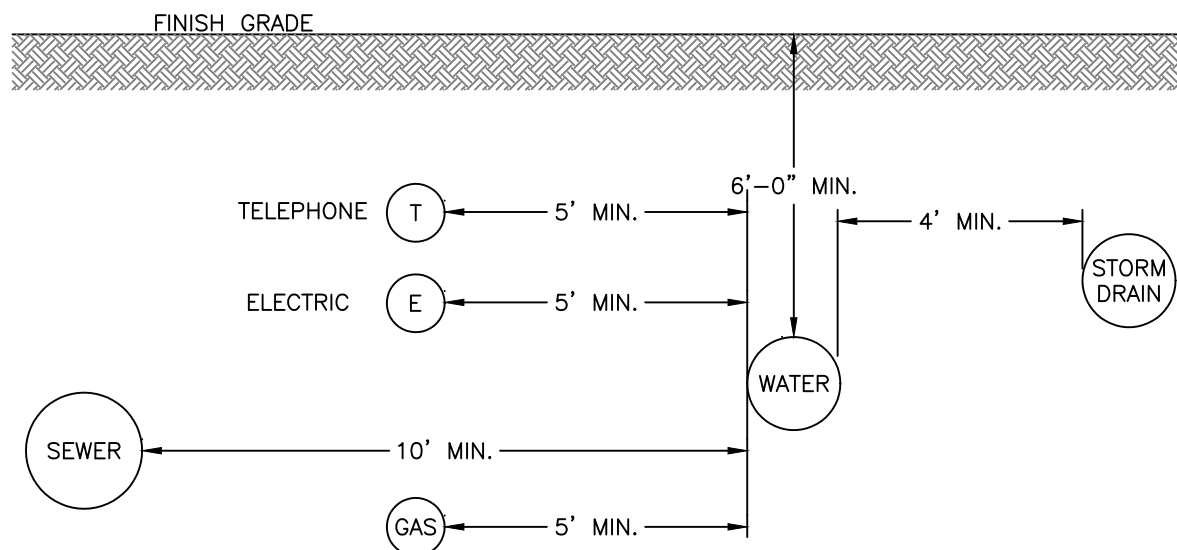
**PARKING - TOWN OF GREENVILLE**

SCALE: NONE **3**  
D-1



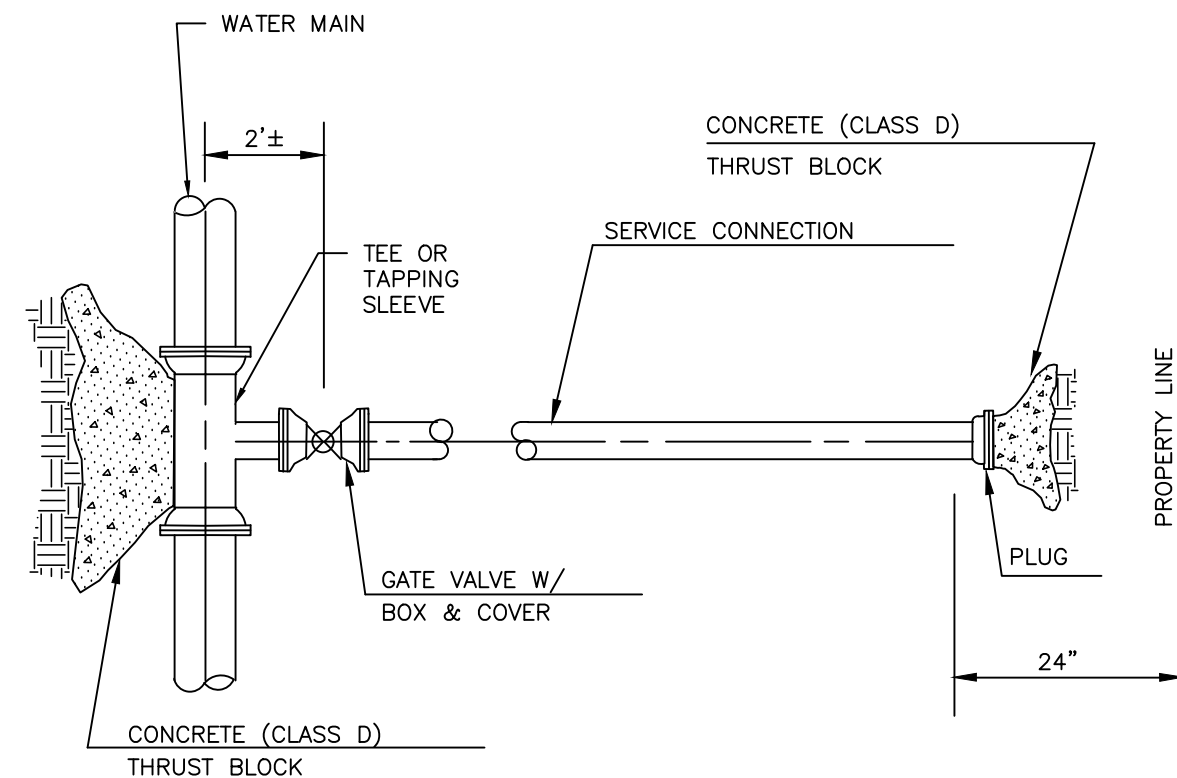
**SERVICE CONNECTION 3/4" THRU 2"**

**4**  
D-1



**TYPICAL UTILITY (MAIN) SEPARATION DETAIL**

MANCHESTER WATER WORKS COMPLIANT APRIL 11, 2011  
SCALE: NONE **5**  
D-1

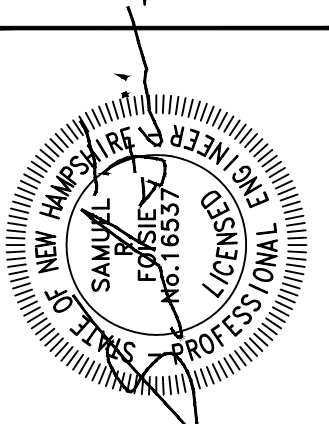
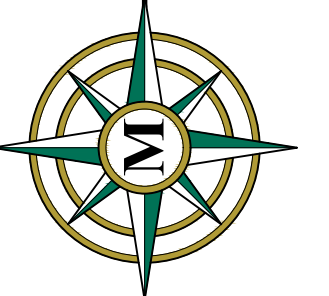


NOTES:  
1. POST INDICATOR VALVE (PIV) OR SHUT OFF SHALL BE INSTALLED ONTO THE FIRE SERVICE CONNECTION IN COMPLIANCE WITH MANCHESTER WATER WORKS AND THE TOWN OF BEDFORD FIRE DEPARTMENT.

**SERVICE CONNECTION 4" AND OVER**

OCT. 25, 1994  
SCALE: NONE **6**  
D-1

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MERIDIAN.LANDSERVICES.COM FAX: 603-673-1584



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8 DUNSTER AVE CHANGE OF USE  
SITE PLAN  
CONSTRUCTION DETAILS  
SEPTEMBER 15, 2022

DAN HYNES  
8 DUNSTER AVENUE  
MAP 8 LOT 37B  
GREENVILLE, NEW HAMPSHIRE  
SCALE: AS NOTED

**D-1**  
SHEET  
FILE: 11679101.dwg  
PROJECT: 11679.00  
SHEET NO. 7 OF 8



**EROSION CONTROL NOTES:**

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

1. INSTALLATION OF SILT SOCKS AND SILTATION FENCE WHERE INDICATED SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
2. SILT SOCKS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.5" OR GREATER RAINFALL.
3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
4. PER THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. THE TOTAL AREA OF ACTIVE DISTURBANCE, INCLUDING LOT DISTURBANCES, SHALL NOT EXCEED 5 ACRES.
5. THE DURATION OF TIME THAT AN AREA IS DISTURBED SHALL BE MINIMIZED. ALL NON-ACTIVE DISTURBED AREAS (i.e. CLEARED FOR CONSTRUCTION BUT NOT PRESENTLY UNDERGOING CONSTRUCTION) SHALL BE STABILIZED WITHIN 28 DAYS OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
6. ALL DITCHES, SWALES AND DETENTION BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND SHALL BE STABILIZED PRIOR TO DIRECTING STORM WATER FLOW TO THEM.
7. AN AREA MAY BE CONSIDERED STABILIZED WHEN ONE OF THE FOLLOWING HAS OCCURRED:

- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

8. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

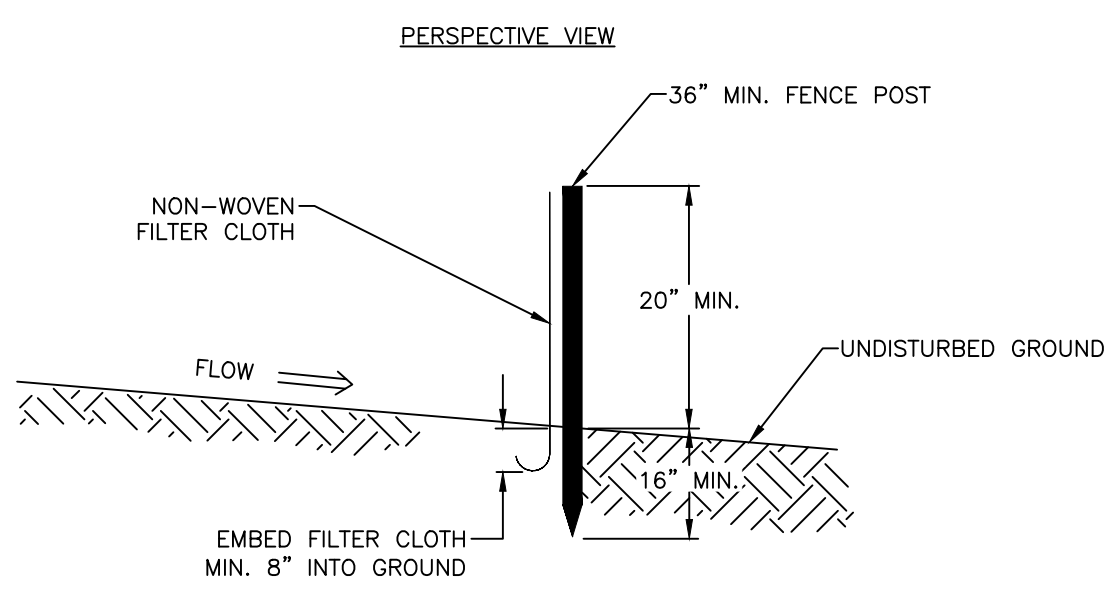
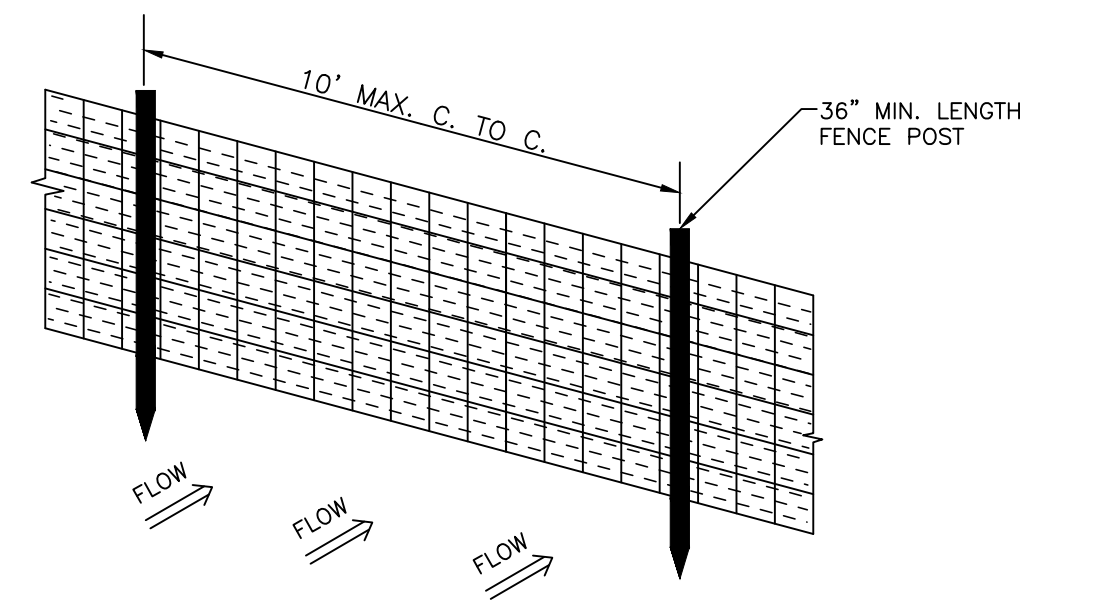
TYPICAL LAWN SEED		SLOPE SEED	
CREeping RED FESCUE	0.87 LBS.	CREeping RED FESCUE	1.01 LBS.
KENTUCKY BLUEGRASS	0.71 LBS.	RYE GRASS	0.75 LBS.
RYE GRASS	0.58 LBS.	RED TOP	0.18 LBS.
RED TOP	0.14 LBS.	ALSIKE CLOVER	0.18 LBS.
		BIRDSFOOT TREFLOIL	0.18 LBS.

9. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P2O5-K2O) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).

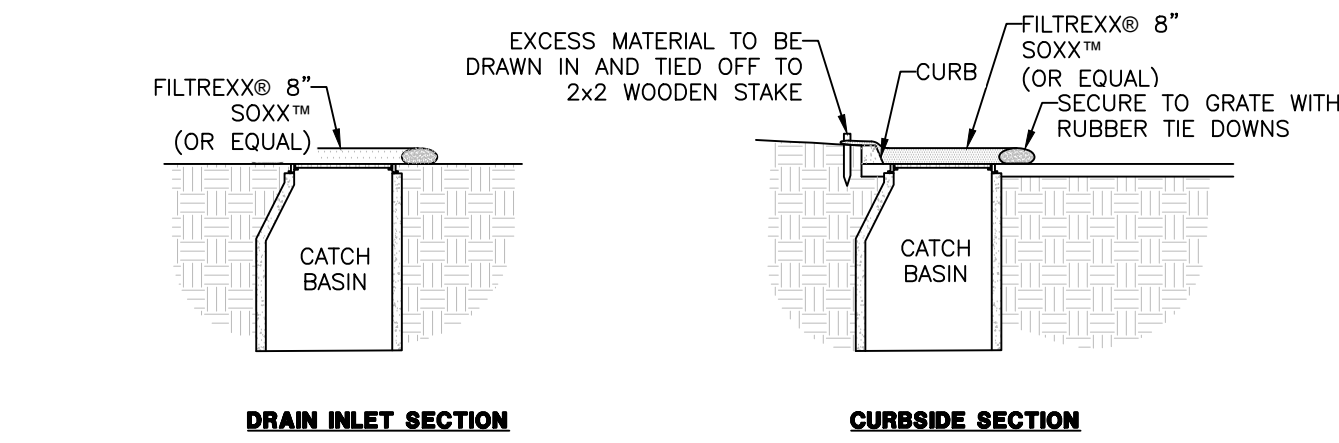
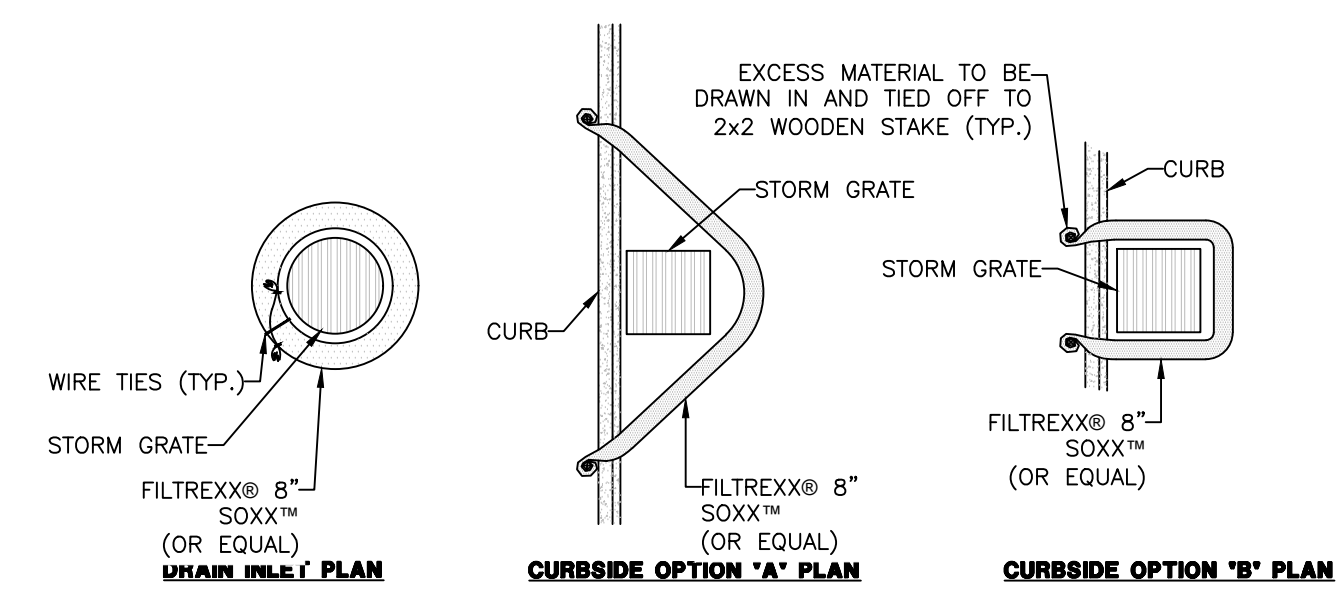
FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.

10. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

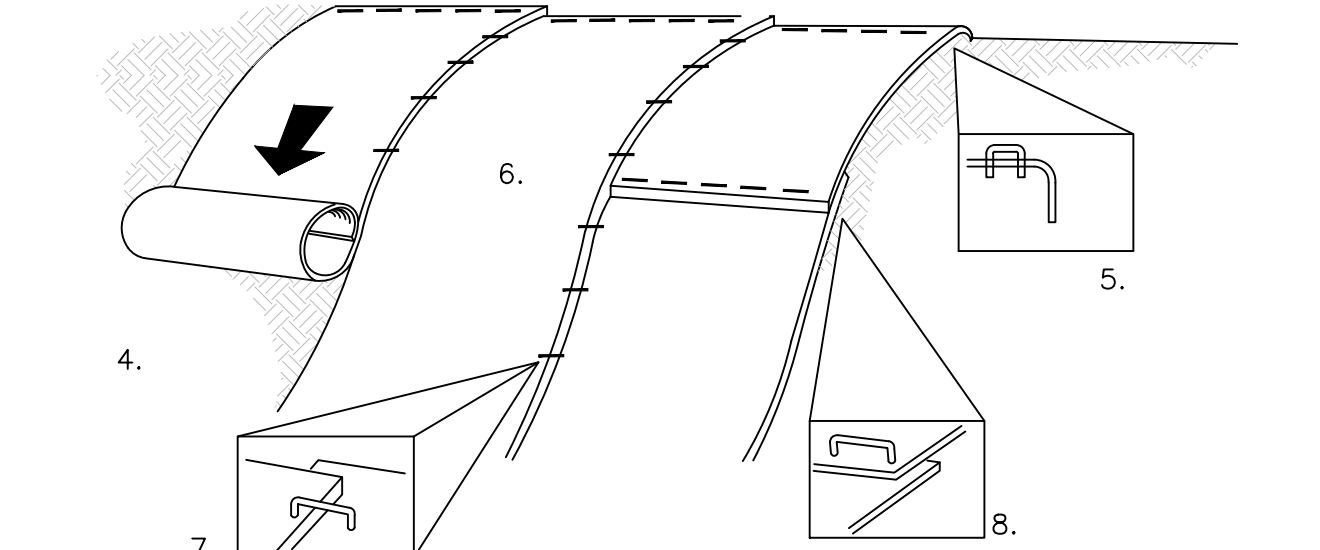
11. THE SITE CONTRACTOR SHALL MAINTAIN A VIGOROUS DUST CONTROL PROGRAM THROUGHOUT THE CONSTRUCTION PROCESS. EXPOSED EARTH SHALL BE KEPT MOIST OR MULCHED AT ALL TIMES TO PREVENT DUST FORMATION. SPECIAL ATTENTION SHALL BE PAID TO HIGH TRAFFIC AREAS.



**SILTATION FENCE** SCALE: NONE **2** D-2

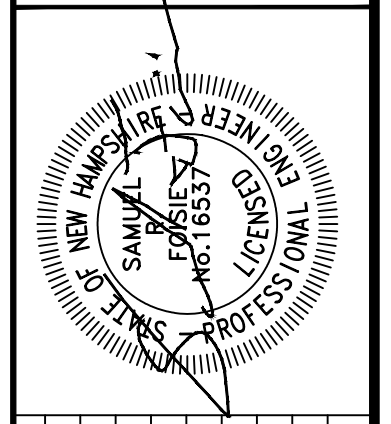


**INLET PROTECTION** (BY FILTRREX® OR EQUAL) SCALE: NONE **3** D-2



1. FABRIC SHALL BE A STRAW/COCONUT FIBER EROSION CONTROL TURF REINFORCEMENT MAT SUCH AS NORTH AMERICAN GREEN SC150BN OR EQUAL.
2. THE USE OF ANY EROSION CONTROL MAT WHICH CONTAINS WELDED PLASTIC OR BIODEGRADABLE PLASTIC THREAD OR NETTING IS STRICTLY PROHIBITED.
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1" AND A LENGTH OF 6".
4. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
5. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROLL OF STAPLES OR STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET WITH A ROW OF STAPLES/STAKES PLACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
6. ROLL THE BLANKETS DOWN THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OF OVERLAP DEPENDING ON THE BLANKET TYPE.
8. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE OVERLAPPED AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
9. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.
10. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

**SLOPE STABILIZATION TURF REINFORCEMENT MAT** SCALE: NONE **1** D-2



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8 DUNSTER AVE CHANGE OF USE  
SITE PLAN  
EROSION CONTROL PLAN  
SEPTEMBER 15, 2022

DAN HYNES  
8 DUNSTER AVENUE  
MAP 8 LOT 37B  
GREENVILLE, NEW HAMPSHIRE  
SCALE: 1" = 30'

Plotter: 9/15/2022 2:28 PM By: BLR  
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