

APPLICATION FOR APPEAL

To:
Zoning Board of Adjustment
Town of Greenville
Greenville, NH 03048

Do not write in this space
Case No
Date Filed
(signed - ZBA)

Name of applicant Donald & Jeanne Holman
Address 21 Rousseau Heights, Greenville NH 03048
Owner Donald R. Holman and Jeanne A. Holman Revocable Trust of 2017
(if same as applicant, write "same")

Location of property Rousseau Heights
(number, street)
Map 7, Lot 17-1 Residential District
(map number & lot number, zoning district)

NOTE: Fill in Section 1, 2, 3, or 4 as appropriate. This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate. Sign application at end.

Section 1. APPEAL FROM AN ADMINISTRATIVE DECISION

Relating to the interpretation and enforcement of the provisions of zoning ordinance.

Decision of the enforcement officer to be reviewed

article section of the zoning ordinance in question: Number Date

Section 2. APPLICATION FOR A SPECIAL EXCEPTION

Description of proposed use showing justification for a special exception as specified in the zoning ordinance article section

Section 3. APPLICATION FOR VARIANCE

A variance is requested from article A.2 section Appendix A of the zoning ordinance to permit a new single-family home on a lot with 1.2 acres where 2 acres is required.

Facts supporting this request: Please see attached.

1. The proposed use would not diminish surrounding property values because:

2. Granting the variance would not be contrary to public interest because:

3. Denial of the variance would result in "unnecessary hardship" to the owner. The applicant must either meet the criteria of I or II below.

I. Unnecessary hardship means owing to the special conditions of the property that distinguish it from other properties in the area:

a. No fair and substantial relationship exists between the general public purposes of the zoning ordinance provision and the specific application of that provision to the property; and

b. The proposed use is a reasonable one.

II. If the criteria for unnecessary hardship above are not met an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions on the property that distinguish it from other properties in the area, the property cannot be used in strict conformance with the ordinance, and a variance is therefore necessary to enable reasonable use of it.

I. Granting the variance would do substantial justice because:

II. The use is not contrary to the spirit of the ordinance because:

Section 4. APPLICATION FOR EQUITABLE WAIVER OF DIMENSIONAL REQUIREMENTS

An Equitable Waiver of Dimensional Requirements is requested from article _____
Section _____ of the zoning ordinance to permit _____

1. Does the request involve a dimensional requirement, not a use restriction?
() yes () no
2. Explain how the violation has existed for 10 years or more with no enforcement action, including written notice, being commenced by the town _____

- or -

Explain how the nonconformity was discovered after the structure was substantially completed or after a vacant lot in violation had been transferred to a bonafide purchaser _____

And how the violation was not an outcome of ignorance of the law or bad faith but resulted from a legitimate mistake _____

3. Explain how the nonconformity does not constitute a nuisance nor diminish the value or interfere with future uses of other property in the area _____
4. Explain how the cost of correction far outweighs any public benefit to be gained _____

SIGNATURE

Applicant Donald R. Helman Date 3/22/23
(Signature)
Jerome A Helman 3/22/23

INSTRUCTIONS TO APPLICANTS APPEALING TO THE BOARD OF ADJUSTMENT

IMPORTANT: READ ALL INSTRUCTIONS CAREFULLY BEFORE FILLING OUT ATTACHED APPLICATION

The board strongly recommends that before making any appeal, you become familiar with the zoning ordinance and also with the New Hampshire Statutes TITLE LXIV, RSA Chapters 672- 678, covering planning and zoning.

Four types of appeals can be made to the board of adjustment:

Variance: A variance is an authorization which may be granted under special circumstances to use your property in a way that is not permitted under the strict terms of the zoning ordinance. For a variance to be legally granted, you must show that your proposed use meets all five of the following conditions:

1. Granting the variance must not be contrary to the **public interest**.
2. The proposed use is not contrary to the **spirit of the ordinance**.
3. Granting the variance would do **substantial justice**.
4. The proposed use would not diminish surrounding **property values**.
5. Denial of the variance would result in **unnecessary hardship** to the owner. Hardship, as the term applies to zoning, results if a restriction, when applied to a particular property, becomes arbitrary, confiscatory, or unduly oppressive because of conditions of the property that distinguish it from other properties under similar zoning restrictions. RSA 674:33, I(b)(5) provides the criteria for establishing unnecessary hardship:
 - (A) For purposes of this subparagraph, "unnecessary hardship" means that, owing to special conditions of the property that distinguish it from other properties in the area:
 - (i) No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property; and
 - (ii) The proposed use is a reasonable one.
 - (B) If the criteria in subparagraph (A) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

If you are applying for a variance, you must first have some form of determination that your proposed use is not permitted without a variance. Most often this determination is a denial of a building permit. A copy of the determination must be attached to your application.

Appeal from an Administrative Decision: If you have been denied a building permit or are affected by some other decision regarding the administration of the Greenville zoning ordinance, and you believe that the decision was made in error under the provisions of the ordinance, you may appeal the decision to the board of adjustment. The appeal will be granted if you can show that the decision was indeed made in error.

If you are appealing an administrative decision, a copy of the decision appealed from must be attached to your application.

Special Exception: Certain sections of the zoning ordinance provide that a particular use of property in a particular zone will be permitted by special exception if specified conditions are met. The necessary conditions for each special exception are given in the ordinance. Your appeal for a special exception will be granted if you can show that the conditions stated in the ordinance are met.

If you are applying for a special exception, you may also need site plan or subdivision approval, or both, from the planning board. Even in those cases where no planning board approval is needed, presenting a site plan to the planning board will assist in relating the proposal to the overall zoning. This should be done before you apply for a special exception.

Equitable Waiver of Dimensional Requirements: The board may grant an equitable waiver only for existing dimensional nonconformities, provided the applicant can meet the required standards.

1. The nonconformity was not discovered until after the structure was substantially completed or after a vacant lot in violation had been transferred to a bona fide purchaser.
2. The nonconformity was not an outcome of ignorance of the law or bad faith, but was instead caused by a good faith error in measurement or calculation.

If these conditions are satisfied, the board can move on to the additional findings to grant the waiver:

3. The nonconformity does not constitute a public or private nuisance nor diminish the value or interfere with future uses of other property in the area; and
4. The cost of correction would far outweigh any public benefit to be gained.

In lieu of the requirements in paragraphs (1) and (2), the violation has existed for 10 years or more with no enforcement action, including written notice, commenced by the town.

For any appeal, the application form must be properly filled out. The application form is intended to be self-explanatory, but be sure that you show:

WHO owns the property. If the applicant is not the owner, this must be explained.

WHERE the property is located.

DESCRIBE the property. Give area, frontage, side and rear lines, slopes and natural features, etc.

WHAT do you propose to do? Attach sketches, plot plans, pictures, construction plans, or whatever may help explain the proposed use. Include copies of any prior applications concerning the property.

WHY does your proposed use require an appeal to the board of adjustment?

WHY should the appeal be granted?

Prepare a list of all abutting property owners, have it verified at the city/town office, and attach it to your application. If you have any difficulty, consult the assessor's office, but the accuracy of the list is your responsibility. Mail or deliver the completed application, with all attachments, to the clerk of the board or to the office of the board of selectmen. A fee is charged sufficient to cover the cost of preparing and mailing the legally-required notices. Make check payable to city/town of Greenville and remit with your application.

The board will promptly schedule a public hearing upon receipt of your properly completed application. Public notice of the hearing will be posted and printed in a newspaper and notice will be mailed to you and to all abutters, and to other parties whom the board may deem to have an interest, at least five days before the date of the hearing. You and all other parties will be invited to appear in person or by agent or counsel to state reasons why the appeal should or should not be granted.

After the public hearing, the board will reach a decision. You will be sent a notice of decision.

If you believe the board's decision is wrong, you have the right to appeal. The selectmen, or any party affected, have similar rights to appeal the decision in your case. To appeal, you must first ask the board for a rehearing. The Motion for Rehearing may be in the form of a letter to the board. The motion must be made within 30 days of the decision and must set forth the grounds on which it is claimed the decision is unlawful or unreasonable.

The board may grant such a rehearing if, in its opinion, good reason is stated in the motion. The board will not reopen a case based on the same set of facts unless it is convinced that an injustice would be created by not doing so. Whether or not a rehearing is held, you must have requested one before you can appeal to the courts. When a rehearing is held, the same procedure is followed as for the first hearing, including public notice and notice to abutters.

See RSA Chapter 677 for more detail on rehearing and appeal procedures.

Introduction

Donald and Jeanne Holman, in their capacity as Trustees of the Donald R. Holman and Jeanne A. Holman Revocable Trust of 2017, own the subject property known as 0 Rousseau Heights (Tax Map 17, Lot 17-1). The lot is currently vacant, consisting of approximately 1.2 acres (52,272 square feet), with 200' of road frontage, and is situated in the Residential District. The subject property, at 1.2 acres, is among the largest lots in the neighborhood. Municipal water is accessible in the street in front of the subject property. The property is conforming with the current version of the Town's Zoning Ordinance in all respects except for Minimum Lot Size (Appendix A). Based on a recent review of the tax card, the subject parcel is assessed at a \$44,000, a value that suggests the lot is buildable. Mr. and Mrs. Holman have dutifully paid property taxes on the lot during the period of their ownership. Mr. and Mrs. Holman purchased the subject property, along with the adjacent lot at 21 Rousseau Heights (Tax Map 17, Lot 17), where they live in their home, between 1957 and 1963. Since the creation of the property predates adoption of the Town's current Zoning Ordinance, it is a lawful preexisting lot of record.

Mr. and Mrs. Holman propose to construct a single-family dwelling and related infrastructure on the subject property, as shown on the attached plan, and request a variance from the ZBA by way of this application to allow such construction on their lot that has 1.2 acres whereas 2.0 acres is required by Section A.2, Minimum Lot Size for New Single-Family Buildings, of Appendix A, Minimum Lot Size Ordinance of the Zoning Ordinance.

1. The proposed use would not diminish surrounding property values because:

Granting the variance will not diminish the value of surrounding properties. The subject property is located within the Residential District and in the Rousseau Heights neighborhood, a neighborhood primarily featuring single-family homes. The proposed single-family home is consistent with the character of the neighborhood. Mr. and Mrs. Holman are prepared to meet all other dimensional requirements and will not encroach on any setbacks as required by the Zoning Ordinance. The lot is among the largest in the neighborhood and can support a single-family home and related infrastructure as demonstrated on the attached site plan.

2. Granting of the variance would not be contrary to the public interest because:

The subject property is among the largest lots in the neighborhood and granting the variance to allow for construction of a single-family home and related improvements will not alter the essential character of the neighborhood because the proposed single-family use is consistent with the single-family nature of the neighborhood. Further, granting the variance would not threaten the public health, safety, or welfare as the home will be built to meet all other requirements within the Zoning Ordinance and applicable building codes and will be consistent with the single-family homes within the neighborhood.

3. Denial of the variance would result in "unnecessary hardship" to the owner.

Unnecessary hardship will be found when the subject property has special conditions or circumstances that distinguish it from other properties in the area and (1) there is no substantial relationship between the purpose of the ordinance and the specific application of the ordinance as applied to the property; and (2) the proposed use is reasonable.

The subject property is a very old lawfully preexisting lot of record that was created prior to the adoption of the current Zoning Ordinance. Mr. and Mrs. Holman's situation is unique in that they own the property at 21 Rousseau Heights, adjacent to the subject property. If Mr. and Mrs. Holman did not own 21 Rousseau Heights, per Section 3.4-B-2-A there would a path for a single-family home to be constructed on the subject property even if the lot did not meet the minimum requirements for area.

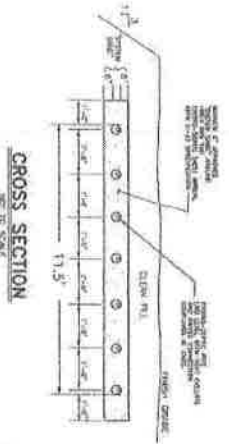
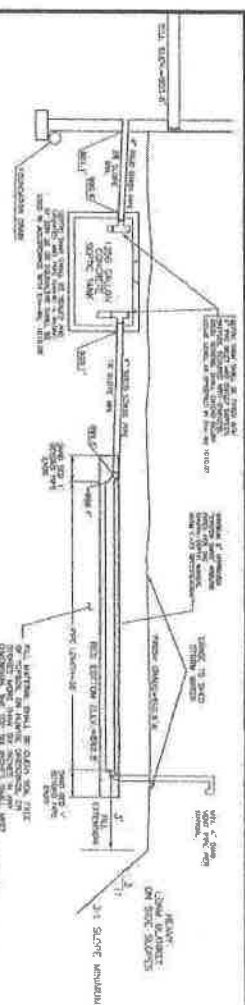
There is no fair and substantial relationship between the general public purposes of the Zoning Ordinance provision and the specific application of that provision to the subject property. The minimum lot size requirement is a mechanism aimed to prevent overcrowding and congested development. As previously mentioned, the subject property is among the largest lots in the neighborhood and can support a single-family home and is large enough to host a private sewage disposal system as demonstrated by the attached Septic System Design Plan approved by NH DES. Further, the proposed use is a reasonable one as the Residential District permits single-family homes and the proposed single-family home is consistent with the character of the neighborhood.

4. Granting the variance would do substantial justice because:

The Town has historically taxed the subject property on the basis that it is a buildable lot by right. Based on a recent review of the property card, the taxable land value is \$44,000, a value that suggests the lot is buildable. Mr. and Mrs. Holman have maintained an historic justified investment-backed expectation that the subject property is buildable by right because the Town has historically taxed the lot as such. It would be an injustice to deny the variance and require that the lot remain essentially vacant forever where Mr. and Mrs. Holman have historically paid taxes that were assessed by the Town on the basis that the property is buildable by right. Therefore, substantial justice will be done by granting the variance.

5. The use is not contrary to the spirit of the ordinance because:

The spirit of minimum lot size requirements is to minimize overcrowding and congested development, and ensure that lots have sufficient buildable area for sanitary facilities and related infrastructure. Mr. and Mrs. Holman's proposal of single-family home on the subject property is fully consistent with those purposes. The lot is among the largest in the neighborhood and as demonstrated by the attached Septic System Design Plan approved by NH DES, can accommodate a private sewage disposal system. Therefore, granting the variance will be consistent with the spirit of the ordinance.



DESIGN NOTES

1. THE SECTION OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DESIGN NOTES AND SPECIFICATIONS OF THE DESIGNER.

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ISDS OPERATING REQUIREMENTS

1. THE OPERATOR SHALL MAINTAIN THE SYSTEM IN ACCORDANCE WITH THE DESIGNER'S REQUIREMENTS.

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PLAN NOTES

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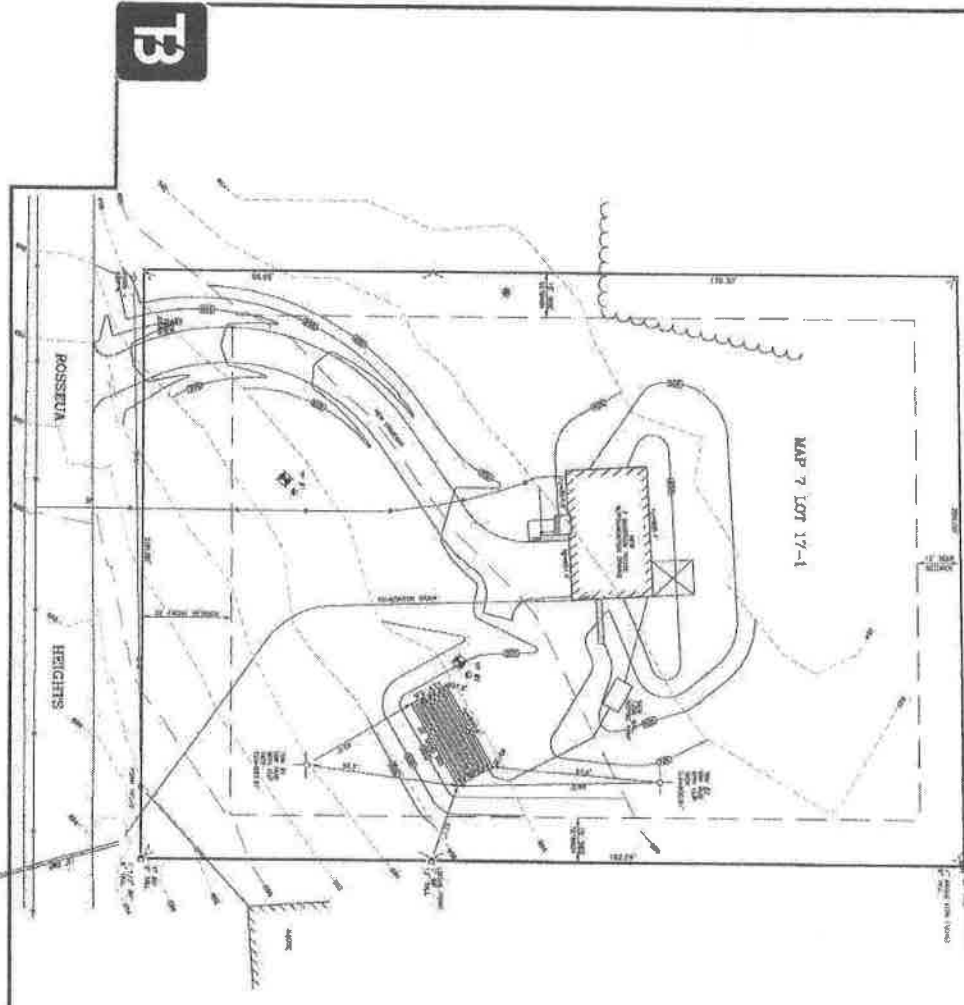
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SEPTIC SYSTEM DESIGN PLAN

Prepared for:
KNIGHT BROTHERS DEVELOPMENT, LLC
 7 ABERDEEN PARKWAY, CONCORD, INDIANA 46032

Site Address:
 7 ABERDEEN PARKWAY, CONCORD, INDIANA 46032

DESIGNER:
 T. E. BERNER, INC.
 P.O. BOX 5494
 CONCORD, INDIANA 46032-5494

DESIGNERS PERMIT NO. 871

SCALE: 1" = 20'

DATE: FEBRUARY 2021

UNDER SUPERVISION: STEVEN DANIEL SARGENT, INC. N/A FROM TB THAT

Approved by:
 T. E. BERNER, INC.
 P.O. BOX 5494
 CONCORD, INDIANA 46032-5494

Checked by:
 THE DONALD S. JOHNSON AND
 ASSOCIATES, INC.
 2541 A. HENRIAN BOULEVARD
 SUITE 207
 BLOOMINGTON, INDIANA 47408
 DONALD S. JOHNSON AND
 ASSOCIATES, INC.
 2541 A. HENRIAN BOULEVARD
 SUITE 207
 BLOOMINGTON, INDIANA 47408

REVIEWED AND APPROVED
 BY THE BOARD OF HEALTH
 OF THE TOWN OF BLOOMINGTON
 WATER BY ORDER

DATE: 02/12/2021

TB



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

**APPROVAL FOR CONSTRUCTION
OF INDIVIDUAL SEWAGE DISPOSAL SYSTEM (ISDS)**

AS AUTHORIZED BY THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES, WATER DIVISION PURSUANT TO RSA 485-A, WATER POLLUTION AND WASTE DISPOSAL AND ENV-WQ 1000, SUBDIVISION AND INDIVIDUAL SEWAGE DISPOSAL SYSTEM DESIGN RULES.

APPLICATION APPROVAL DATE: 3/3/2023

APPROVAL NUMBER: eCA2023030308

I. PROPERTY INFORMATION

Address: ROSSEAU HEIGHTS
GREENVILLE NH 03048
Subdivision Approval No.: PRE-1987
Subdivision Name:
County: HILLSBOROUGH
Tax Map/Lot No.: 7/17-1

II. OWNER INFORMATION

Name: THE DONALD R. HOLMAN AND JEAN A. HOLMAN
REVOCABLE TRUST OF 2017
Address: THE DONALD R. HOLMAN AND JEAN A. HOLMAN
REVOCABLE TRUST OF 2017
21 ROSSEAU HEIGHTS
GREENVILLE NH 03048

III. APPLICANT INFORMATION

Name: TIMOTHY F BERNIER
Address: PO BOX 3464
CONCORD NH 03302

IV. DESIGNER INFORMATION

Name: TIMOTHY F BERNIER
Address: PO BOX 3464
CONCORD NH 03302
Permit No.: 00871

V. SPECIFIC TERMS AND CONDITIONS: Applicable to this Approval for Construction
Please read **VI. General Terms and Conditions** on the reverse side of this approval.

A. TYPE OF SYSTEM: ENVIROSEPTIC

B. NO. OF BEDROOMS: 3

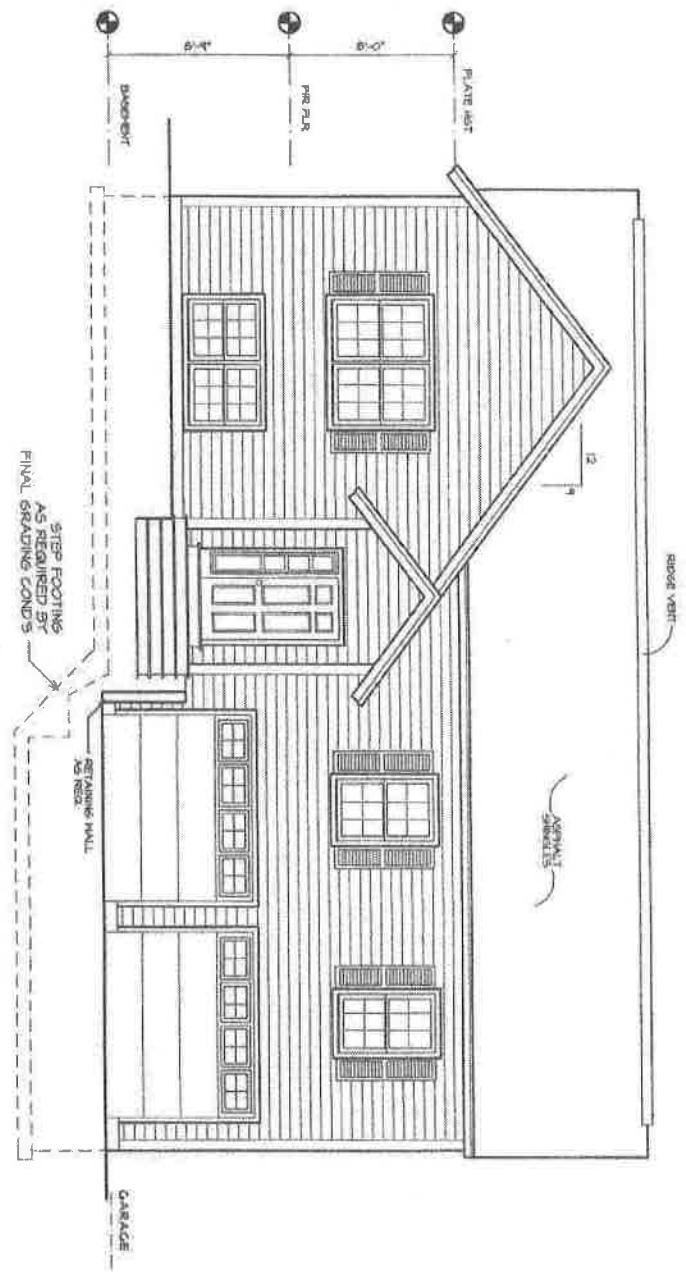
C. APPROVED FLOW: 450 GPD

D. OTHER CONDITIONS AND WAIVERS:

1. This approval is valid for 4 years from date of approval, per Env-Wq 1004.13.
2. Approved with a public water system only.
3. No waivers have been approved.

Eric J. Thomas
Subsurface Systems Bureau

23-058	Alternative Designs Inc	FIRST FLOOR	1315 S.F.
		LOWER LEVEL	550 S.F.*
TOTAL			1825 S.F.
		*LOWER LEVEL FINISHED AREA OPTIONAL.	



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

2018 INTERNATIONAL RESIDENTIAL CODE

- CODE:**
- ALL CONSTRUCTION SHALL FOLLOW LOCAL, STATE BUILDING CODE UNLESS OTHERWISE SPECIFICATED, AND SHALL SHOW INDICATOR STAMPINGS. IF ANY ADDITIONS SHALL ADOPT THE DESIGN OR FINISHES ON RECORD SHALL BE CONTRACTED. INTERNATIONAL RESIDENTIAL CODE 2018 OR 2015 AND THE REFERENCED STANDARDS INCLUDED THEREIN. (N.E. APPROXIMATE NUMBER APPROXIMATION)
 - A. NUMBER OF STORIES _____
 - B. NUMBER OF STORIES _____
 - FINISH LOADS:**
 - FINISHED FLOOR LIVE LOAD (NONRESIDENTIAL):
 - A. BORN RESIDENTIAL _____
 - B. RESIDENTIAL _____
 - LIBRARY FLOOR DEAD LOAD: 100 PSF
 - A. RESIDENTIAL _____
 - B. PER FLOOR STATE SPECIFIC _____
 - ROOF DEAD LOAD: 15 PSF
 - A. RESIDENTIAL _____
 - B. PER FLOOR STATE SPECIFIC _____
 - WIND DESIGN:
 - A. CATEGORY CATEGORY _____ (A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
 - B. WIND SPEED ZONE (WIND SPEED: 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000)
 - C. WIND EXPOSURE CATEGORY (C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
 - GENERAL NOTES:**
 - THESE DRAWINGS REPRESENT AN ORIGINAL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO BE USED AS A GUIDE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH THE OWNER AND ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION. ANY DIMENSIONS AND CONDITIONS NOT SPECIFICALLY NOTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH CONSTRUCTION.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE DETAILS OR SPECIFICATIONS SHALL PREVAIL UNLESS OTHERWISE NOTED.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES.
 - CONTRACTOR SHALL VERIFY ALL CONDITIONS AND PROVISIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHOULD BE REPORTED TO ARCHITECT IMMEDIATELY. ALTERATIONS SHALL BE APPROVED BY ARCHITECT AND CONTRACTOR BEFORE PROCEEDING WITH WORK.
 - THE OWNER AND CONTRACTOR SHALL HOLD JOINTLY AND SEVERALLY THE DESIGNER FROM AND AGAINST ALL OTHER CLAIMS, DAMAGES, LOSSES AND EXPENSES (INCLUDING LEGAL FEES), REASONABLE ATTORNEY'S FEES OR COSTS INCURRED FROM THE INDEPENDENCE OF THE WORK. BY THE CONTRACTOR.
 - ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND RECHECKED.
 - ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH CONSTRUCTION.
 - ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR STRUCTURAL ENGINEER BEFORE PROCEEDING.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE DETAILS OR SPECIFICATIONS SHALL PREVAIL UNLESS OTHERWISE NOTED.
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A1

KNIGHT CONSTRUCTION
NEW HOUSE TO BE BUILT IN GREENVILLE, NH

These drawings, specifications, and the design contained are the exclusive property of Alternative Designs Inc. Any form of reproduction of these documents, or of its design to expressly prohibited. A.D.I. © 2023

Alternative Designs Inc.
1100 Green Street
Manchester, NH 03101
Phone: (603) 949-4000
Fax: (603) 949-4000
Web: www.adinc.com

Alternative Designs Inc.
1100 Green Street
Manchester, NH 03101
Phone: (603) 949-4000
Fax: (603) 949-4000
Web: www.adinc.com

Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict accordance with the applicable building codes, and all applicable building codes, whenever applicable.

23-058
REV. 2023
SHEET 1 OF 6

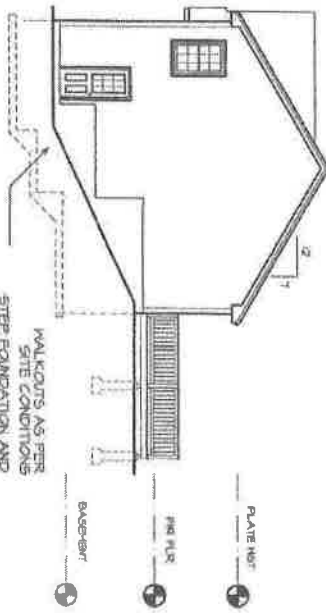
SIZE	ALLOWABLE GRAIN 20' BEES HIGH	1 FL. & ROOF	2 FL. & ROOF
2 - 2 X 4	NON-BIRD	4'-0"	NA
2 - 2 X 6	5'-0"	5'-2"	NA
2 - 2 X 8	10'-0"	6'-2"	5'-0"
2 - 2 X 10	12'-0"	6'-5"	4'-0"
2 - 2 X 12	16'-0"	7'-5"	5'-4"

PROVIDE BR. JOISTS FOR ALL SPANS OVER 5'-0"

MAN. QTY	MODEL NUMBER	RENO	NOTES
A	24403044		CEL. KING
B	112124403044		CELLULOSE
C	NOT USED		
D	24403036	lamp & shw	CEL. KING
E	12124403036		FULLON

NOTES:

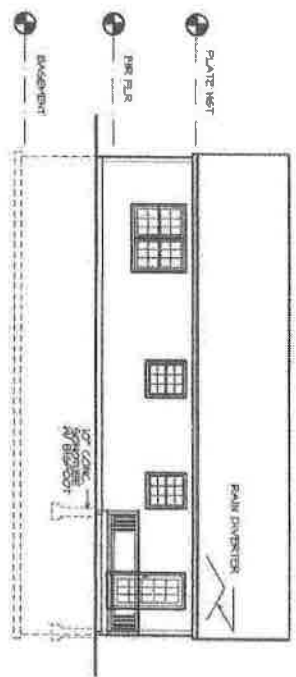
1. RENO TO BE DETERMINED BY WINDOW MANUFACTURER.
2. BEDROOM WINDOWS TO MEET ENERGY CODE.
3. ALL WINDOWS TO BE 1/2" OVER SIZED. THESE WINDOWS OR AN AVAILABLE WINDOW IS TO BE USED FOR ALL WINDOWS.
4. PART OF THE GLASS OPENING IS TO BE A MIN. OF 2" AOV. THE FULL GLASS OPENING IS TO BE A MIN. OF 2" AOV. THE FULL GLASS OPENING IS TO BE A MIN. OF 2" AOV. THE FULL GLASS OPENING IS TO BE A MIN. OF 2" AOV.
5. WINDOWS ARE BASED ON ANDERSEN 200 SERIES TELEVISION MODEL WINDOWS.



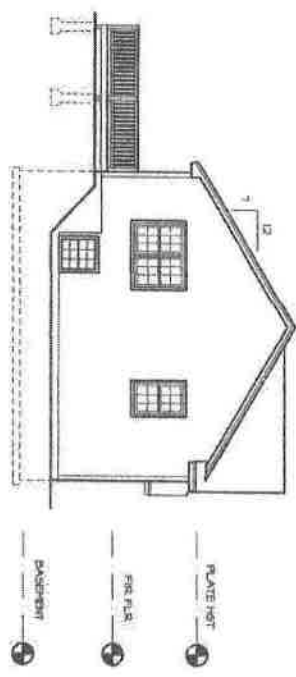
1 RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

MAN. QTY	SIZE	RENO	NOTES
1	30 X 6.5		EXT. DOOR W/ SINGLE SIDE LIGHT
2	30 X 6.5		FULL VIEW DOOR
3	28 X 6.5		4-LITE PRESERVED DOOR
4	30 X 6.5		PRESERVED DOOR
5	14 X 6.5		INTERIOR
6	NOT USED		
7	24 X 6.5		INTERIOR
8	26 X 6.5		INTERIOR
9	40 X 6.5		INTERIOR BRICAD

RENO TO BE DETERMINED BY DOOR MANUFACTURER



2 REAR ELEVATION
SCALE 1/8" = 1'-0"



3 LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"

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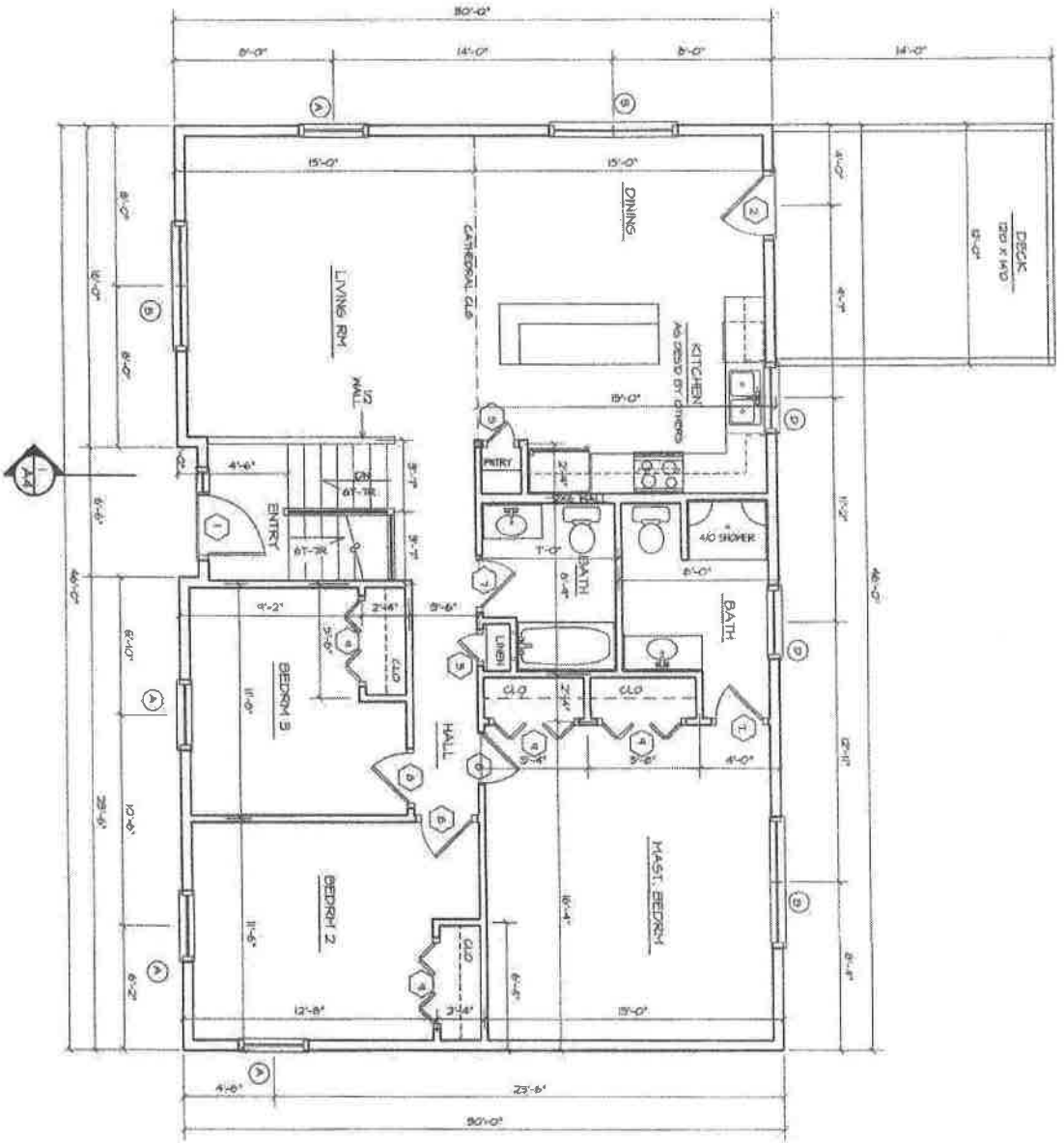
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20-026
REV 2020
SHEET 3 OF 5

Contractor to check & verify all drawings & structural members before construction.
All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

A3

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTE:
1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH
4 OR MORE RISERS.

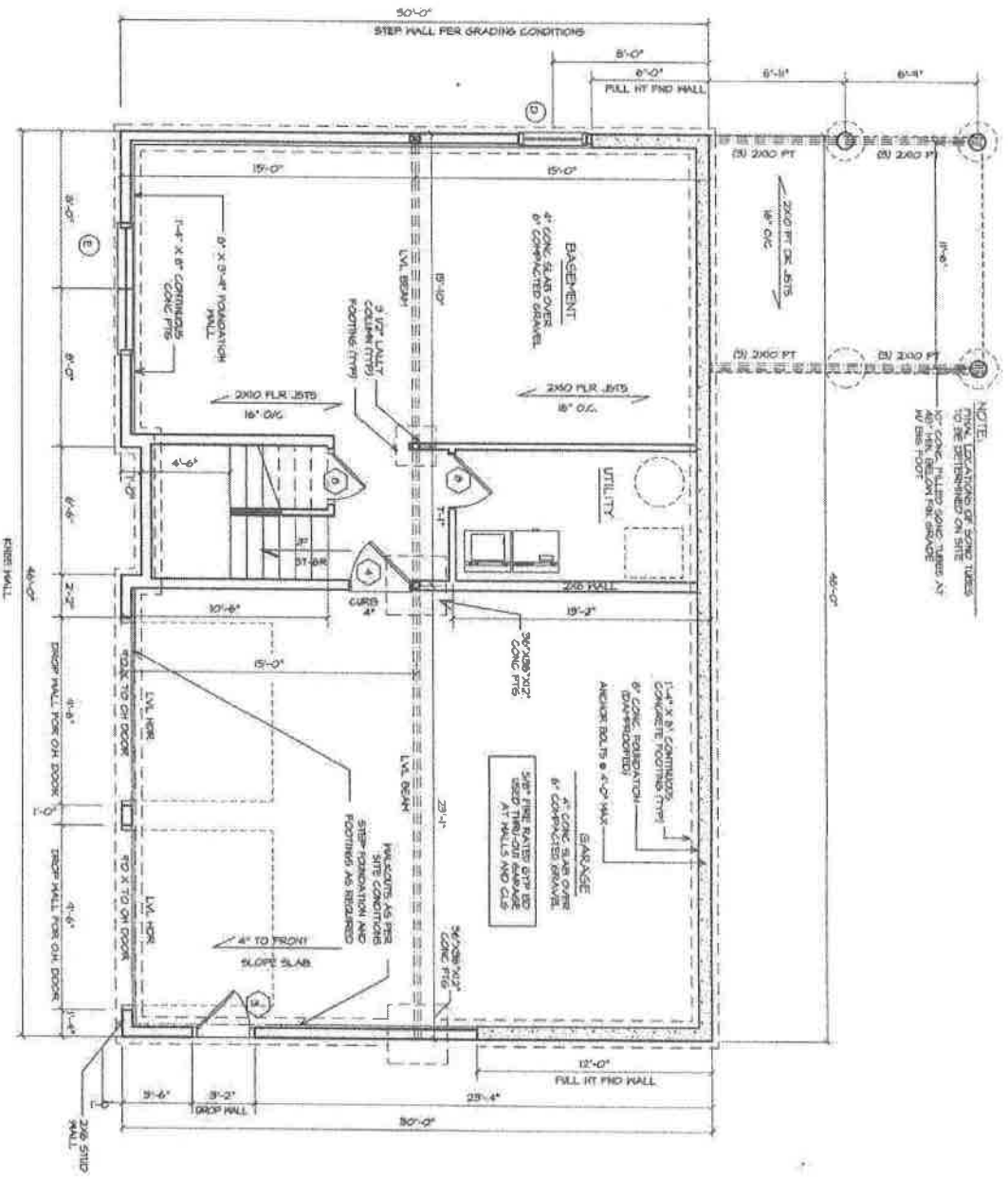
WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL
OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 45° OF PANEL
WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH
INTERNATIONAL BUILDING CODE TABLE 602.10.2.2

Alternative
Designs Inc.
23-058

 <p>Alternative Designs Inc. Professional Corporation Design 84 Old Granite Street Manchester, NH 03101 phone: (603) 685-2300 fax: (603) 685-2870</p>	<p>These drawings, specifications, and the design contained are the exclusive property of Alternative Designs Inc. Any form of reproduction of these documents, or of the design is expressly prohibited. AD 1 © 2022</p>
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23-058
FEB 2023
SHEET 4 OF 6
A4

NOTE: SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION



NOTE: LOCATION OF SOME TUBES TO BE DETERMINED ON SITE BY CONCRETE CONTRACTOR AS SHOWN ON THIS PLAN.

FOUNDATION PLAN
SCALE 1/4" = 1'-0"

GENERAL NOTES

- 1. CONCRETE SHALL BE PLACED AND FINISHED AS PER SITE CONDITIONS AND CONTRACTOR'S PRACTICE.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 3. SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION.

A5

28-008
REV 002
SHEET 5 OF 8

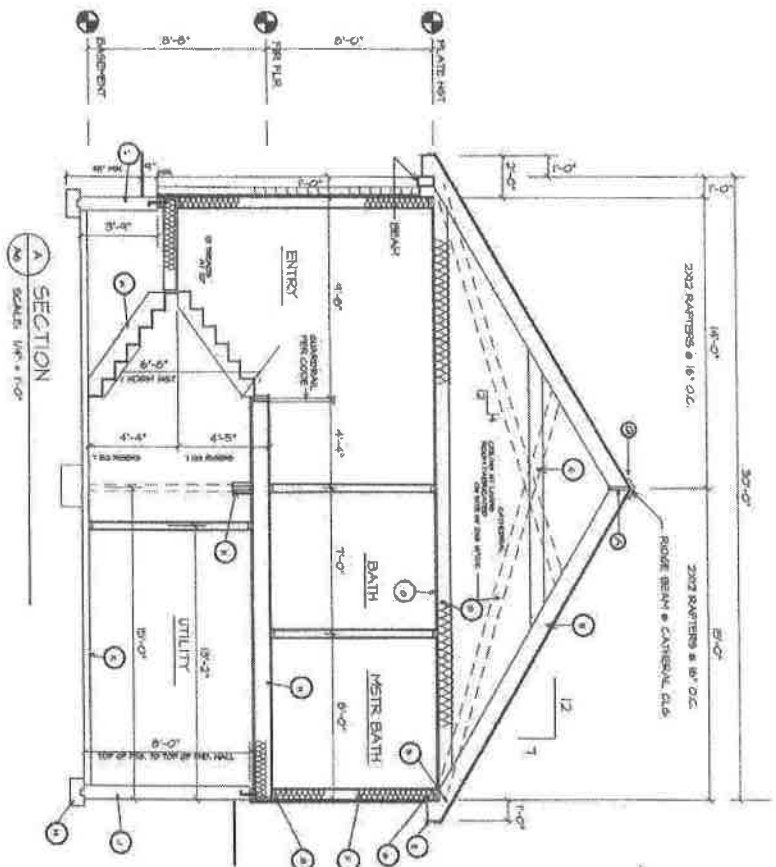
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 Design
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 Manchester, NH 03103
 Phone: (603) 465-4588
 Fax: (603) 465-4710

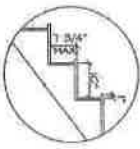
GENERAL NOTES

- A. L.V. ROOF BOARD
- B. 2X12 RAFTERS @ 16" O.C. (BASED ON-TYPICAL NORTH) FINISHED SHEDDING OR BUILDING PAPER & 2X6 GYP-SHEAT SHEATHS W/ CE SHEET AT RAFTER TAILS AND VALLEYS
- C. 2X6 COLLAR TIES AT 37" O.C. (TYPICAL)
- D. 2X6 CEILING JOISTS AT 16" O.C. WITH R-44 INSULATION BATT INSULATION (TYPICAL)
- E. METAL CHIMNEY CAP W/ FINE MESH SCREEN, TERAPLASTIC W/ 1/2" GYP SHEATHING & 1/2" GYP BOARD FINISH (TYPICAL) GYPSUM WITH 2" CONTINUOUS LOOSE-FITTING VENTS (TYPICAL)
- F. 2X6 STUDS W/ 2X6 GYP SHEATHING BATT INSULATION, 1/2" GYP SHEATHING & EXTENSION JOISTS W/ TRUSS OR RAFTER (TYPICAL) AND 1/2" GYP BO. ON THE INTERIOR.
- G. 2-2X6 TOP PLATES AND 1-2X6 FACE BOTTOM PLATE
- H. 2X10 FLOOR JOISTS W/ 2X6 GYP SHEATHING (TYPICAL) BATT INSULATION AT FIRST FLOOR ONLY.
- I. 6" CONCRETE FOUNDATION WALL WITH 1-2X6 PRESURE TREATED SILL PLATE W/ ALL SEALS, ANCHOR BOLTS & 4'-0" O.C. (TYPICAL)
- J. 4" CONCRETE SLAB FLOOR OVER 8" (8") CONCRETE GRAVEL
- K. 2" CONCRETE ROOF WALL TO BE 48" MIN. EXPOSED FINISHED BRIDGE
- L. 1/4" X 8' CONTINUOUS CONCRETE FOOTING (TYPICAL)
- M. 1-1/4" X 8' BEAM OVER 3/12 TRUSS GIRTEL, 1-1/2" X 12" CANTON WITH 1-2X6 PRESURE TREATED SILL PLATE
- N. L.V. SILL, TOP AND BOTTOM BOARD PLATES, OVER 2" X 4" GYP CONCRETE ROOMERS.
- O. 1X6 STRAPINGS AT 16" O.C. & 1/2" GYP BO. (TYPICAL)
- P. 2X12 STUD STRAPERS
- Q. 2X6 STUD WALL @ 16" O.C.
- R. 2X6 STUD WALL @ 16" O.C.
- S. FABRICATE CLIPS AND FASTENERS ANCHORS AS SHOWN.
- T. 2" ROOF INSULATION INSIDE FACE OF CONCRETE WALL TO TOP OF SLAB



A-A SECTION
SCALE: 1/4" = 1'-0"

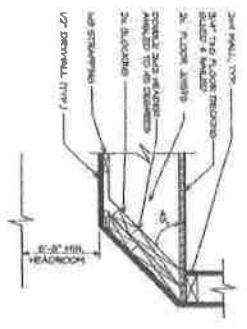
STAIR CODE
NOT TO SCALE



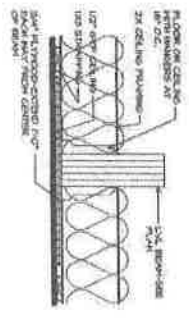
DESIGN LOADS

LIVE LOAD AT LIVING SPACES: 40 PSF
LIVE LOAD AT SLEEPING SPACES: 30 PSF
ROOFING SHOW LOAD: TO BE DETERMINED
RAFTER TO INSULL DOUBLE FLOOR JOISTS UNDER ALL PARALLEL BEARING WALLS.
PROVIDE 15% CROSS BRACING AT MID POINT OF SPAN OR 9'-0" O.C. MAXIMUM IN ALL DIRECTIONS.
PRESSURE TREATED FLOOR OR ROOF TRUSSES ARE USED. TRUSS HEADS/ANCHORS MUST PROVIDE 2X4 OR 2X6 BRACE DECK BEHIND TRUSS HEADS/ANCHORS IN STRAIT IN WHICH WORK IS TO BE PERFORMED.
ALL LUMBER MUST BE NO. 2 OR BETTER, SPECIES - PINE - FIR.
PROVIDE ROOFING VAPOR BARRIERS IN ALL TRUSS/WALLS FLOORS AND ROOF/CEILING IN ACCORDANCE WITH I.B.C. SECTION R-302.3
PROVIDE ROOFING VAPOR BARRIERS UNDER CONC. SLABS AS PER R-302.2.3
NOTE: ACCESS PANEL 27 X 30" LOCATED TO BE RETURNED BY CONTRACTOR

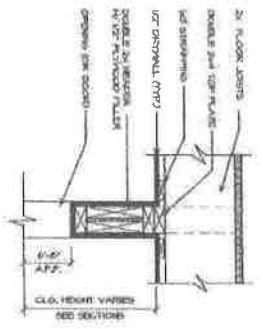
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	25-048 FEB 2025 SHEET 0 OF 0	A6	REVISING:



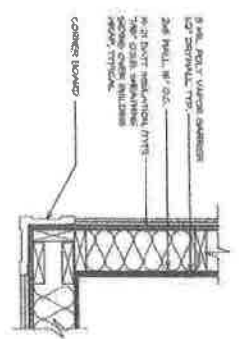
1 STAIRWELL HEADER
SCALE: 1" = 1'-0"



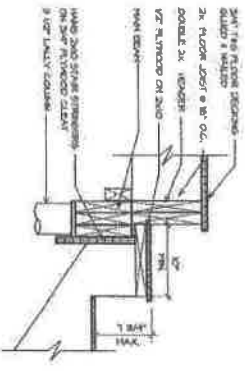
2 LVL FLUSH BEAM
SCALE: 1" = 1'-0"



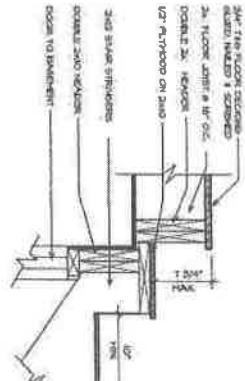
3 INTERIOR HEADER DTL.
SCALE: 1" = 1'-0"



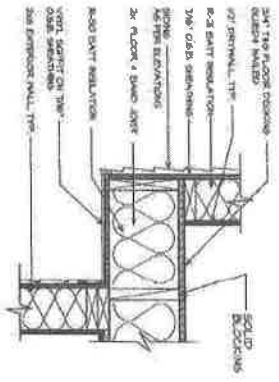
4 CORNER DETAIL
SCALE: 1" = 1'-0"



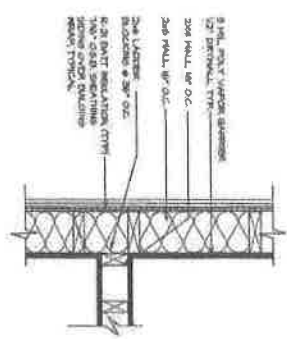
5 STAIRWELL BEAM
SCALE: 1" = 1'-0"



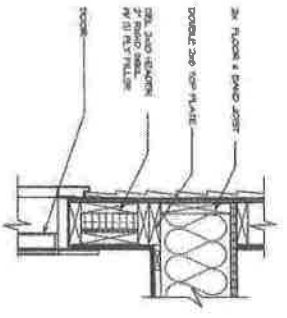
6 STAIR OVER HEADER
SCALE: 1" = 1'-0"



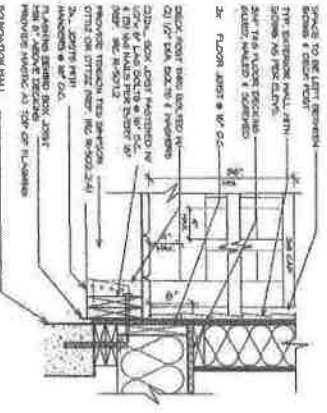
7 CANTILEVER DETAIL
SCALE: 1" = 1'-0"



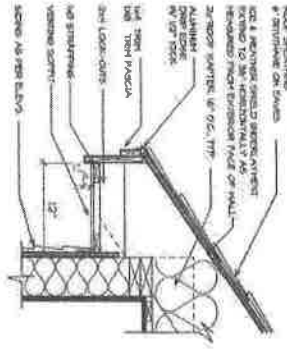
8 INT. WALL TO EXT. WALL
SCALE: 1" = 1'-0"



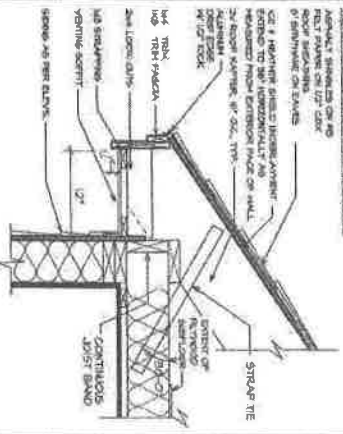
9 EXT. DOOR HEADER DTL.
SCALE: 1" = 1'-0"



10 DECK TO HOUSE DETAIL
SCALE: 1" = 1'-0"



11 SOFFIT DETAIL (LOW EAVE)
SCALE: 1" = 1'-0"



12 SOFFIT DETAIL (HIGH EAVE)
SCALE: 1" = 1'-0"

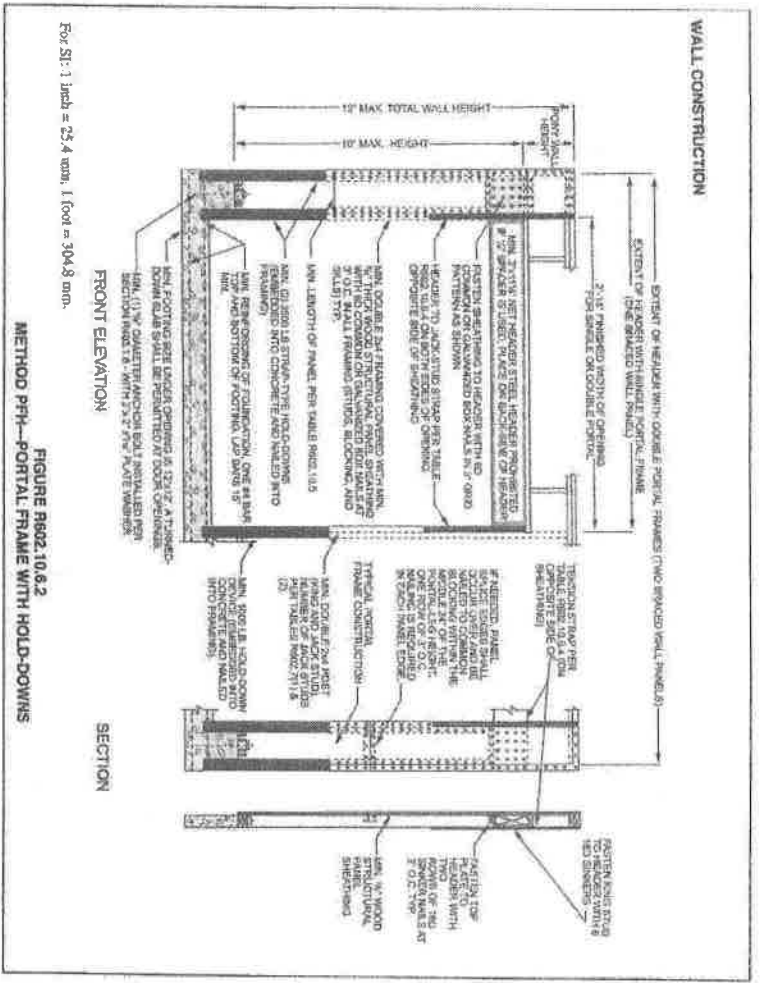
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23-036
REV 2023
SHEET 7 OF 9

A7



For SF: 1 Inch = 25.4 mm, 1 Foot = 304.8 mm.

FIGURE RB02.10.6.2
METHOD PPH—PORTAL FRAME WITH HOLD-DOWNS

13 METHOD PPH - PORTAL FRAME WITH HOLD-DOWNS
REV. 01/02/02 (02/02/02)

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REVISONS

20-0018	7/23/2003	SHEET 10 OF 6
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A8



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Fax: (603) 863-3333

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Donald and Jeanne Holman
21 Rousseau Heights
Greenville, NH 03048

*PA
3/28/23
02482*

Pedro Sousa, Chair
Town of Greenville
Zoning Board
46 Main Street
Greenville, NH 03048

RE: Variance Application for 0 Rousseau Heights (Map 7, Lot 17-1)

Chairman Sousa,

We, Donald and Jeanne Holman, hereby give permission for Jeffrey Knight and Christopher Knight to represent us before the Town of Greenville Zoning Board relative to the application for a variance, and all related matters.

Sincerely,

Donald and Jeanne Holman

Donald Holman
Donald Holman

03/28/23
Date

Jeanne A. Holman
Jeanne Holman

03/28/23
Date

1