

FORMER R.O.W. LINE		
LINE	BEARING	DISTANCE
L1	S11°05'41"W	100.53'
L2	N79°42'21"W	33.00'
L3	N11°05'41"E	100.53'

PROPOSED R.O.W. LINE		
LINE	BEARING	DISTANCE
L4	S51°39'45"E	19.09'
L5	S38°20'15"E	33.00'
L6	N51°39'45"W	23.06'
L7	S38°20'15"W	38.80'

**4-09**  
**MICHAEL T. DELVAL**  
**STACY DELVAL**  
 15 PLEASANT ST.  
 GREENVILLE, NH, 03048  
 BK 3134 PG 854 02/04/84

**2-23**  
**GIMAK PROPERTIES LLC.**  
 PLEASANT STREET  
 GREENVILLE, NH, 03048  
 BK 9386 PG 470 11/24/20

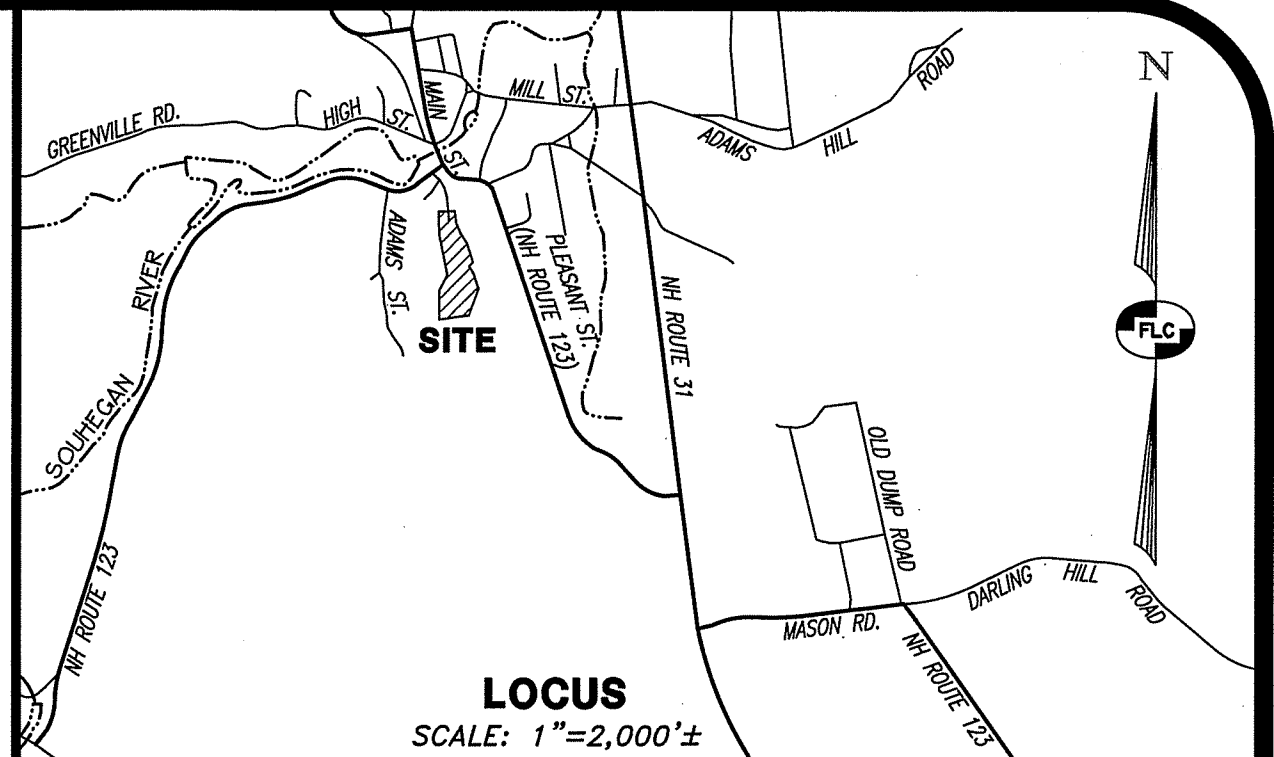
**5-11**  
**JOHN ROW III**  
 23 COLUMBIAN AVE  
 GREENVILLE, NH, 03048  
 BK 8148 PG 869 10/26/09  
 (23 COLUMBIAN AVE)

**5-12**  
**JOHN ROW III**  
 23 COLUMBIAN AVE  
 GREENVILLE, NH, 03048  
 BK 8945 PG 1152 2/22/17  
 (23 COLUMBIAN AVE)

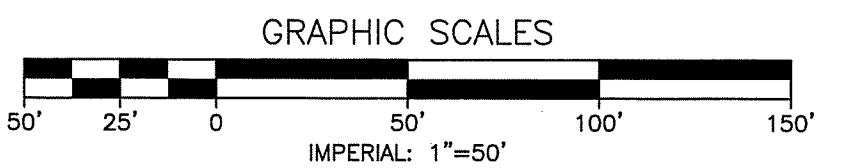
**5-17**  
**MASCENIC REGIONAL**  
**SCHOOL DISTRICT - SAU #87**  
 16 ADAMS ST  
 GREENVILLE, NH, 03048

**2-33**  
**PETER LIZOTTE**  
 P.O. BOX 162  
 GREENVILLE, NH, 03048  
 BK 8830 PG 1224 02/16/2016

**2-25**  
**MARGUERITE S. VAILLANCOURT**  
 44 ADAMS ST  
 GREENVILLE, NH, 03048  
 PG 1041 12/31/01  
 (36 ADAMS ST)



- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP 2 LOT 35 IS ADAM AMES, 370 BOSTON POST ROAD, SUDBURY, MA 01776. DEED REFERENCE FOR LOT 2-35 IS BOOK 9387 PAGE 709 DATED NOVEMBER 27, 2020 IN THE H.C.R.D.
  - THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP LOT 2-35 INTO 4 CONVENTIONAL LOTS AND TO EXTEND COLUMBIAN AVENUE RIGHT OF WAY AS SHOWN.
  - THE TOTAL AREA OF THE LOT 2-35 IS 7.416 ACRES OR 323,056 SQ.FT. WITH 234.06 FT OF FRONTAGE ALONG COLUMBIAN AVENUE.
  - ZONING FOR LOT 2-35 IS THE RESIDENTIAL(R) DISTRICT.  
 FOR SINGLE-FAMILY BUILDINGS SERVICED BY MUNICIPAL SEWER, THE MINIMUM LOT SIZE IS 1 ACRES WITH 150 FT. OF FRONTAGE ON AN APPROVED CLASS V OR BETTER ROAD. MINIMUM STREET SETBACK IS 30 FT. MINIMUM LOT LINE SETBACK IS 15 FT.
  - PERIMETER BOUNDARY INFORMATION FOR LOT 2-35 IS THE RESULT OF A PRECISE FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH OF JUNE 2021 TOGETHER WITH THE REFERENCE PLANS CITED HEREON.
  - THE TOPOGRAPHY SHOWN IS THE RESULT OF A FIELD TOPOGRAPHIC SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JUNE 2021 TOGETHER WITH NEW HAMPSHIRE GRANIT LIDAR (LIGHT DETECTION AND RANGING).
  - JURISDICTIONAL WETLANDS WERE FOUND AND MAPPED ON THE SUBJECT PARCELS AS A RESULT OF AN ON-SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN JUNE 2021 IN ACCORDANCE WITH THE "CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
  - LOT 2-35 LIES OUTSIDE THE BOUNDARY OF THE 100 YEAR FLOOD HAZARD PER FLOOD INSURANCE RATE MAP FOR THE TOWN OF GREENVILLE, HILLSBOROUGH COUNTY NH, COMMUNITY 330088, PANEL NUMBER 33011C0443D DATED SEPTEMBER 25, 2009.
  - LOT 2-35 IS CURRENTLY SERVICED BY MUNICIPAL WATER AND SEWER AND OVERHEAD UTILITIES.
  - LOT 2-35 IS SUBJECT TO A R.O.W. DESCRIBED IN BK.3058 PG.239-241 07/19/1983, A R.O.W. AND EASEMENT DESCRIBED IN BK.3130 PG.879 02/29/1984 AND, A WATER AND SEWER EASEMENT (SEE REF. PLAN #3).
  - THE SUBDIVISION REGULATIONS OF THE TOWN OF GREENVILLE ARE PART OF THIS PLAT AND APPROVAL OF THIS PLAT IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.
  - A DRIVEWAY PERMIT SHALL BE ACQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
  - NHDES SUBDIVISION APPROVAL NUMBER IS PENDING.



**CURVE TABLE**

CURVE	RADIUS	LENGTH
C1	R=20.00'	L=3.36'
C2	R=133.50'	L=6.56'
C3	R=128.50'	L=6.23'
C4	R=166.50'	L=19.71'

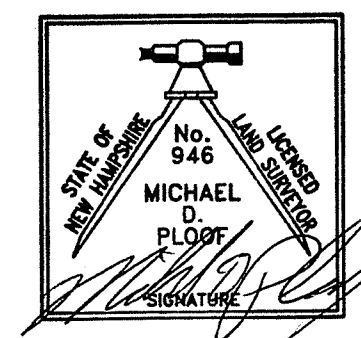
**SMH 1**  
 RIM=500.96  
 TABLE=495.75  
 INV.IN=495.51(6')  
 INV.OUT=495.78(4')  
 INV.OUT=495.42

**SMH 2**  
 RIM=500.57  
 TABLE=494.97  
 INV.IN=494.08  
 INV.OUT=494.07

- LEGEND:**
- RIGHT-OF-WAY LINE
  - ZONE LINE
  - BOUNDARY LINE
  - ABUTTING LOT LINE
  - BUILDING SETBACK LINE
  - EASEMENT LINE
  - EDGE OF PAVED ROAD
  - GRAVEL ROAD/DRIVE
  - STONE WALL
  - UTILITY POLE AND GUY WIRE
  - DRAIN PIPE OR CULVERT
  - EDGE OF WETLANDS
  - 10' CONTOUR INTERVAL
  - 2' CONTOUR INTERVAL
  - CHAINLINK FENCE
  - OVERHEAD UTILITY LINE
  - WATER LINE
  - SEWER LINE
  - EXISTING SEWER EASEMENT
  - DRILL HOLE PER REF. PLAN
  - IRON PIN PER REF. PLAN
  - DRILL HOLE FOUND
  - IRON PIPE FOUND
  - IRON PIN FOUND
  - IRON PIN SET
  - IRON PIPE PER REF. PLAN
  - EXISTING WELL
  - AND GUY WIRE
  - TAX MAP AND LOT NUMBER
  - EXISTING BUILDING
  - DRAIN MAN-HOLE
  - SEWER MAN-HOLE
  - WATER HYDRANT
  - WATER VALVE
  - WATER SHUT-OFF
  - PROPOSED DRIVEWAY LOCATION
  - TO BE REMOVED

**CERTIFICATION:**  
 "I HEREBY CERTIFY THAT LOT 2-35 IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR A RURAL CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAN 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."

**CERTIFICATION:**  
 WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JUNE, 2021.  
 DATE: 4/2/22



- REFERENCE PLANS:**
- "SUBDIVISION PLAN OF - LAND OF STANLEY PUCKO HEIRS - COLUMBIAN AVE., GREENVILLE, N.H. - LAND OF JULIETTE LEBLANC - SCHOOL ST. GREENVILLE, N.H. - PREPARED FOR - MASCENIC REGIONAL SCHOOL DISTRICT", SCALE 1"=50', DATED JUNE 29, 1983, BY ALLAN H. SWANSON, INC. RECORDED AS PLAN #15976 IN THE H.C.R.D.
  - "BOUNDARY & CONSOLIDATION PLAN - (MAP 2, LOT 35; MAP 5, LOTS 17 & 18) - GREENVILLE ELEMENTARY SCHOOL - SCHOOL ST. GREENVILLE, N.H. - PREPARED FOR - MASCENIC REGIONAL SCHOOL DISTRICT", SCALE 1"=50', DATED JUNE 29, 1983, BY ALLAN H. SWANSON, INC. RECORDED AS PLAN #15977 IN THE H.C.R.D.
  - "EASEMENT PLAN (MAP 5 LOT 17; MAP 2 LOT 34) - GREENVILLE ELEMENTARY SCHOOL - SCHOOL ST. GREENVILLE, NH - PREPARED FOR MASCENIC REGIONAL SCHOOL DISTRICT", SCALE 1"=50', DATED SEPTEMBER 9, 1983, BY ALLAN H. SWANSON, INC. RECORDED AS PLAN #16413 IN THE H.C.R.D.

**NRCS SOILS LEGEND:**  
 SOURCE: USDA NRCS WEB SOIL SURVEY

- 78C PERU FINE SANDY LOAM 8 TO 15% SLOPES
- 76D MARLOW FINE SANDY LOAM 15 TO 25% SLOPES
- 77C MARLOW FINE SANDY LOAM 8 TO 15% SLOPES VERY STONY
- 78B PERU FINE SANDY LOAM 3 TO 8% SLOPES
- 161C LYMAN-TUNBRIDGE-ROCK OUTCROP 3 TO 15% SLOPES

**APPROVED BY GREENVILLE PLANNING BOARD**

ON: \_\_\_\_\_ CERTIFIED BY  
 CHAIRMAN: \_\_\_\_\_ AND  
 VICE CHAIRMAN: \_\_\_\_\_

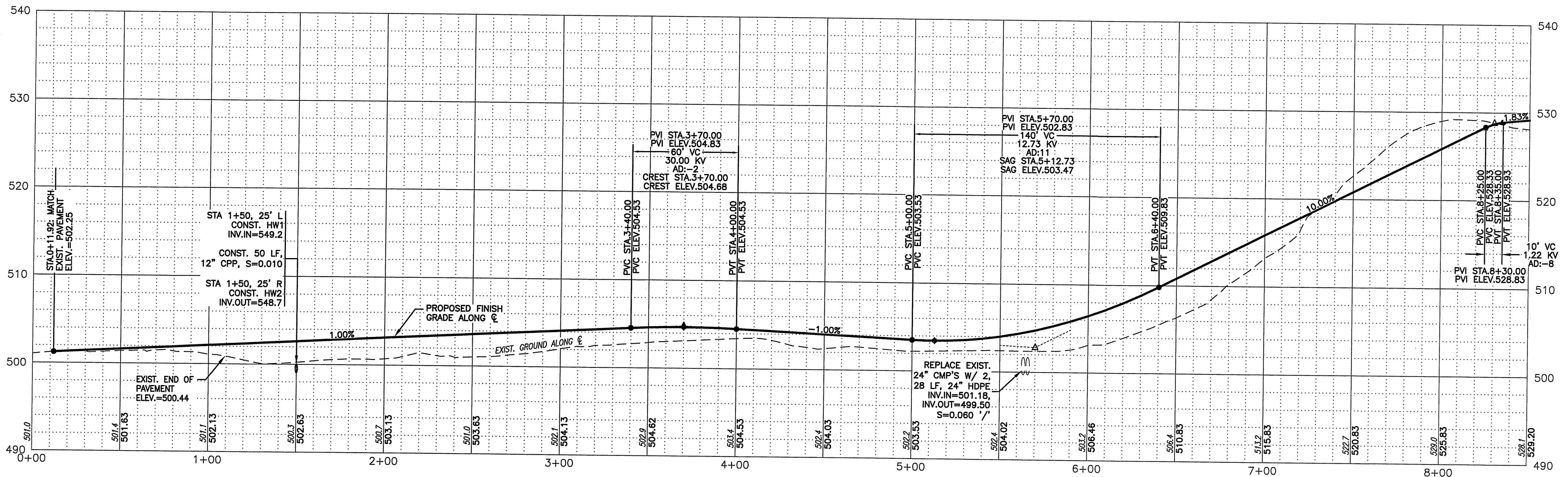
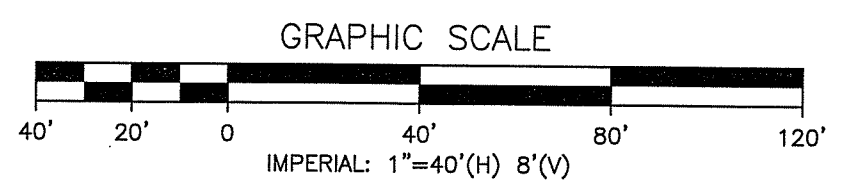
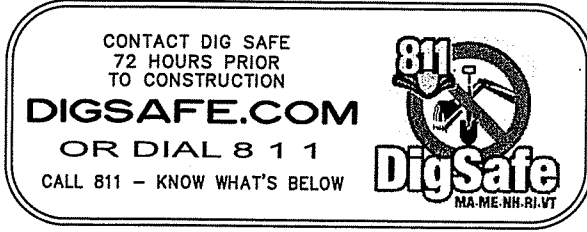
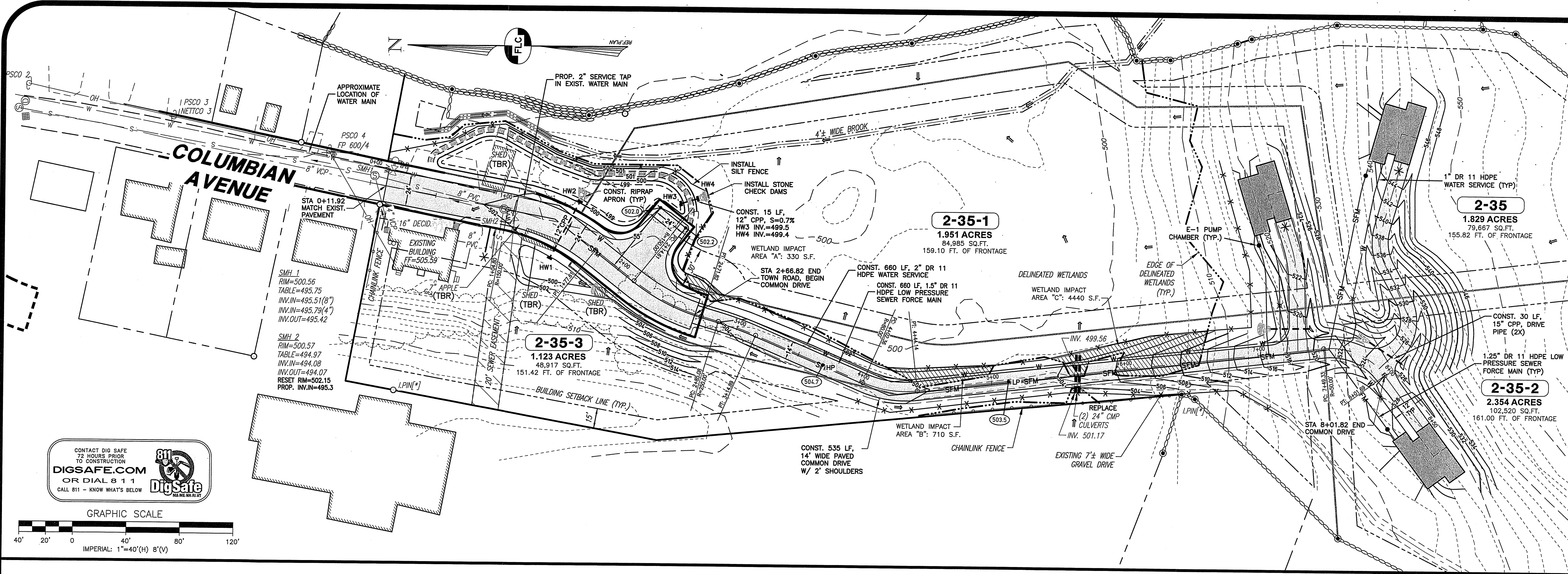
REV.	DATE	DESCRIPTION	C/O	DR	MDP	CK
A	3/28/22	REVISE ROAD DESIGN & LOT FRONTAGE				

**SUBDIVISION PLAN**  
**TAX MAP 2 LOT 35**  
**(27 COLUMBIAN AVENUE)**  
**GREENVILLE, NEW HAMPSHIRE**  
 PREPARED FOR AND LAND OF:  
**ADAM AMES**  
 370 BOSTON POST ROAD, SUDBURY, MA 01776

SCALE: 1" = 50' FEBRUARY 10, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

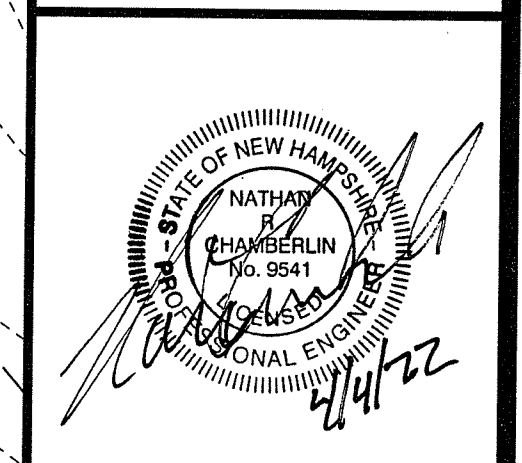
206 Elm Street, Milford, NH 03055  
 Phone: (603) 672-5456 Fax: (603) 413-5456  
 www.FieldstoneLandConsultants.com



Surveying • Engineering • Land Planning • Permitting • Septic Designs

**FIELDSTONE**  
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03065  
Phone: (603) 672-5456 Fax: (603) 413-5456  
www.FieldstoneLandConsultants.com



REV.	DATE	DESCRIPTION
A	3/29/22	REV. HAMMERHEAD LOCATION
CLF	CEB	CK

**ROAD A**  
STA 0+00 - STA 10+00

**ADAM AMES**  
370 BOSTON POST ROAD  
SUDBURY, MA 01776

**COLUMBIAN AVENUE - EXTENSION**

PLANS ISSUED FOR:  
**TAX MAP 2 LOT 35**  
**GREENVILLE, NEW HAMPSHIRE**

FEBRUARY 10, 2022  
SCALE: 1" = 40' HORIZ. / 8' VERT.

**PP-1**  
SHEET

PROJECT NO. 2868.00  
SHEET NO. 1 OF 1

FILE: 2868PP00A.dwg