

**GREENVILLE PLANNING BOARD'S
CONDITIONS OF APPROVAL**

AT THE MEETING ON MAY 9, 2019, A MAJORITY OF THE GREENVILLE PLANNING BOARD VOTED TO APPROVE (WITH MEMBERS CHAIRMAN EDWARD WHITE, SCOTT TENNEY, & MICHAEL SADOWSKI VOTING IN FAVOR AND MILES HORSLEY VOTING AGAINST) THIS SITE PLAN APPLICATION WITH THE FOLLOWING CONDITIONS.

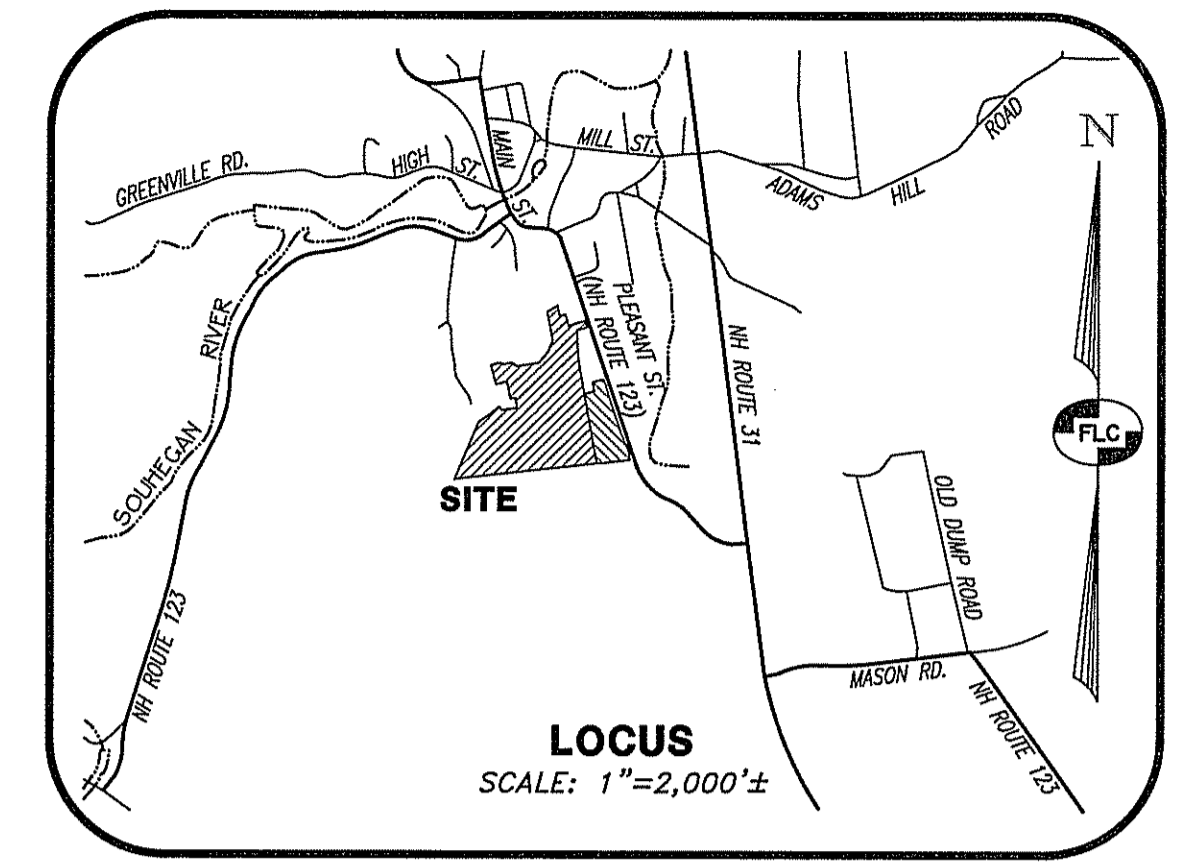
CONDITIONS OF APPROVAL:

1. E911 ADDRESSING APPROVAL REQUIRED FROM THE GREENVILLE FIRE CHIEF.
2. ALL DEPARTMENT OF ENVIRONMENTAL SERVICES (DES) PERMITTING APPROVALS WILL INCLUDE, BUT NOT LIMITED TO, AN ALTERATION OF TERRAIN PERMIT, SEWER EXTENSION PERMIT, AND A WETLANDS IMPACT PERMIT (WETLAND CROSSING) WITH COPIES FILED WITH THE GREENVILLE PLANNING BOARD.
3. FINAL COMPLIANCE HEARING BEING HELD AT THE END OF THE ENTIRE PROJECT. PROJECT COMPLETION AS-BUILT SITE PLANS PROVIDED TO THE GREENVILLE PLANNING BOARD.
4. MEETINGS BEING HELD WITH GREENVILLE PLANNING BOARD UPON COMPLETION OF EACH OF THE FIVE INDIVIDUAL PHASES.
5. A REVISED PHASE SCHEDULE AS APPROVED BY THE GREENVILLE FIRE DEPARTMENT.
6. APPROVAL OF GREENVILLE'S WATER & SEWER COMMISSIONERS FOR THE RESPECTIVE SYSTEMS, WITH AN ESCROW FOR THIRD PARTY REVIEW BY UNDERWOOD ENGINEERING, FUNDED BY THE PROJECT'S PROPERTY OWNER.
7. A VOLUNTARY LOT MERGER TO COMBINE TAX MAP 2-21 & 2-23 INTO ONE LOT AND APPROVED BY THE GREENVILLE PLANNING BOARD.
8. A REVIEW OF THE CONDOMINIUM DOCUMENTS/DECLARATIONS, WITH AN ESCROW FOR A THIRD PARTY REVIEW BY THE GREENVILLE TOWN ATTORNEY, FUNDED BY THE PROJECT'S PROPERTY OWNER.
9. BARTON'S RIDGE ROAD WILL INTERSECT WITH PLEASANT STREET WITH NH DOT APPROVAL FILED WITH THE GREENVILLE PLANNING BOARD.

AMENDED SITE CONSTRUCTION PLANS

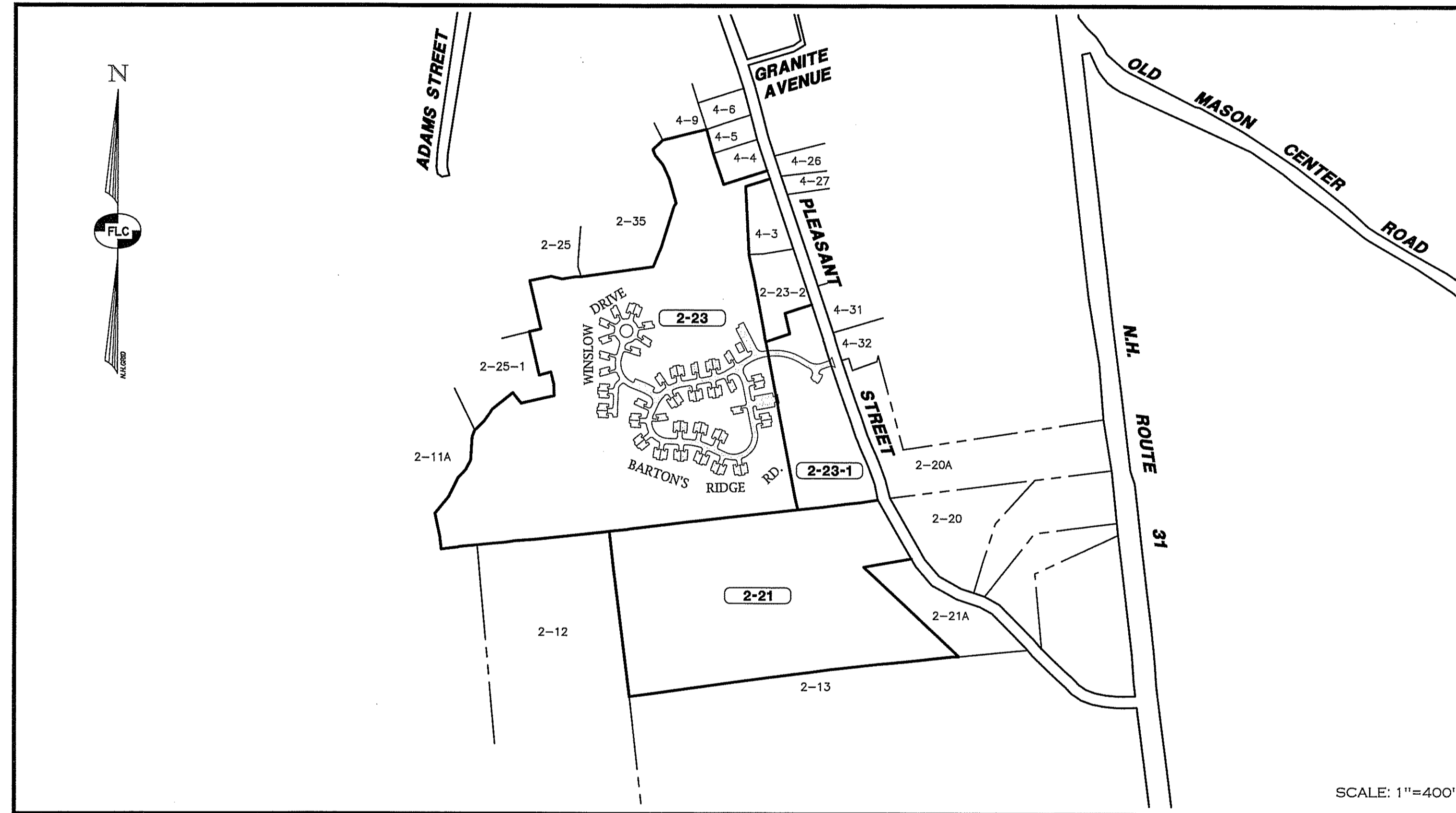
BARTON'S RIDGE

**OPEN SPACE RESIDENTIAL DEVELOPMENT
GREENVILLE, NH**



ABUTTER INFORMATION:

- | | | |
|--|--|--|
| MAP 2, LOTS 23-1 & 35
ADAM AMES
370 BOSTON POST ROAD
SUDBURY, MA 01776
(PLEASANT STREET) | MAP 2 LOT 23-2
MAUREEN J. GAUVIN-LIZOTTE
59 PLEASANT STREET
GREENVILLE, NH 03048
VOL.5386 PG.229 10/15/1992
(59 PLEASANT STREET) | MAP 4 LOT 4
JOHN & LINDA M. GIARDINA
37 PLEASANT STREET
GREENVILLE, NH 03048
VOL.7434 PG.774 3/30/2005
(37 PLEASANT STREET) |
| MAP 2, LOTS 11A, 12 & 13
ROBERT TAFT FAMILY TRUST,
ROBERT TAFT, TRUSTEE
105 KAUFMANN DRIVE
PETERBOROUGH, NH 03458
VOL.8301 PG.2893 3/15/2011
(BARRETT HILL ROAD) | MAP 2 LOT 25
MARGUERITE S. VAILLANCOURT
36 ADAMS STREET
GREENVILLE, NH 03048
VOL.2489 PG.815 10/25/1976
(36 ADAMS STREET) | MAP 4 LOT 5
GREENVILLE COMMUNITY
CHRISTIAN CHURCH
31 PLEASANT STREET
GREENVILLE, NH 03048
VOL.6327 PG.1238 12/1/2000
(31 PLEASANT STREET) |
| MAP 2, LOT 20
PATRICK & KESHA DIBUONO
206 MEADOWBROOK LANE, UNIT 201
FITCHBURG, MA, 01420
(116 PLEASANT STREET) | MAP 2 LOT 25-1
JEAN L. & ANN M. BOULEY
46 ADAMS STREET
GREENVILLE, NH 03048
VOL.7739 PG.2535 9/18/2006
(46 ADAMS STREET) | MAP 4 LOT 6
MICHAEL J. PSTRAGOWSKI
CHRISTEN A McALLISTER
27 PLEASANT STREET
GREENVILLE, NH 03048
VOL.8865 PG.944 6/14/2016
(27 PLEASANT STREET) |
| MAP 2, LOT 20A
TOWN OF GREENVILLE
TOWN HALL
48 MAIN STREET, PO BOX 343
GREENVILLE, NH 03048
(PLEASANT STREET CEMETARY) | MAP 4 LOT 2
JOHN VENTO
55 PLEASANT STREET
GREENVILLE, NH 03048
VOL.8323 PG.2272 6/8/2011
(55 PLEASANT STREET) | MAP 4 LOT 9
MICHAEL T. & STACY DELVAL
15 PLEASANT STREET
GREENVILLE, NH 03048
VOL.3134 PG.854 2/4/1984
(15 PLEASANT STREET) |
| MAP 2, LOTS 21A
TOWN OF GREENVILLE
TOWN HALL
46 MAIN STREET, PO BOX 343
GREENVILLE, NH 03048
(PLEASANT STREET) | MAP 4 LOT 3
GREENVILLE INVESTMENT
GLENN GIDLEY, TRUSTEE
72 SOUTH BROADWAY
SALEM, NH 03079
VOL.3981 PG.231 2/27/1987
(51 PLEASANT STREET) | MAP 4 LOT 31
JOHN O. HILL, JR. &
D. MICHELLE ANDERSON-HILL
66 PLEASANT STREET
GREENVILLE, NH 03048
VOL.6328 PG.67 12/8/2000
(66 PLEASANT STREET) |
| MAP 4, LOT 27
ROBERT W. TIRRELL, SR.
44 PLEASANT STREET
GREENVILLE, NH 03048 | MAP 2 LOTS 23, U1 THROUGH U55
GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD
HOLLIS, NH 03049 | MAP 4 LOT 32
DAVID KASSIN
74 PLEASANT STREET
GREENVILLE, NH 03048
VOL.8851 PG.2457 5/3/2016
(74 PLEASANT STREET) |



**TAX MAP 2 - LOTS 23 & 23-U01 THRU U55
PLEASANT STREET (N.H. ROUTE 123)**

GREENVILLE, NEW HAMPSHIRE

PREPARED: APRIL 11, 2019

AMENDED: AUGUST 30, 2022



1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.
CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
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SHEET INDEX

PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	CD-1	OVERALL CONDOMINIUM SITE PLAN
3	CD-2	CONDOMINIUM SITE PLAN - EAST VIEW
4	CD-3	CONDOMINIUM SITE PLAN - WEST VIEW
5	EX-1	PARTIAL EXISTING CONDITIONS PLAN
6	EX-2	PARTIAL EXISTING CONDITIONS PLAN
7	SP-1	OVERALL SITE PLAN
8	SP-2	SITE PLAN 1
9	SP-3	SITE PLAN 2
10	GR-1	OVERALL GRADING PLAN
11	GR-2	GRADING & EROSION CONTROL PLAN 1
12	GR-3	GRADING & EROSION CONTROL PLAN 2
13	UT-1	UTILITY PLAN 1
14	UT-2	UTILITY PLAN 2
15	LT-1	LIGHTING PLAN
16	LS-1	BUILDING ELEVATIONS
17	LS-2	BUILDING PLANS & LANDSCAPE DETAIL
18	PP-1	(ROADWAY PLAN & PROFILE) BARTON'S RIDGE ROAD - STA. -0+73.4 TO STA. 8+50
19	PP-2	(ROADWAY PLAN & PROFILE) BARTON'S RIDGE ROAD - STA. 8+50 TO STA. 17+54
20	PP-3	(ROADWAY PLAN & PROFILE) WINSLOW DRIVE - STA. 0+00 TO STA. 6+17
21	DT-1	EROSION CONTROL DETAILS
22	DT-2	CONSTRUCTION DETAILS
23	DT-3	CONSTRUCTION DETAILS
24	DT-4	CONSTRUCTION DETAILS
25	DT-5	DRAINAGE DETAILS
26	DT-6	STORMWATER MANAGEMENT DETAILS
27	DT-7	WATER DETAILS
28	DT-8	SEWER DETAILS

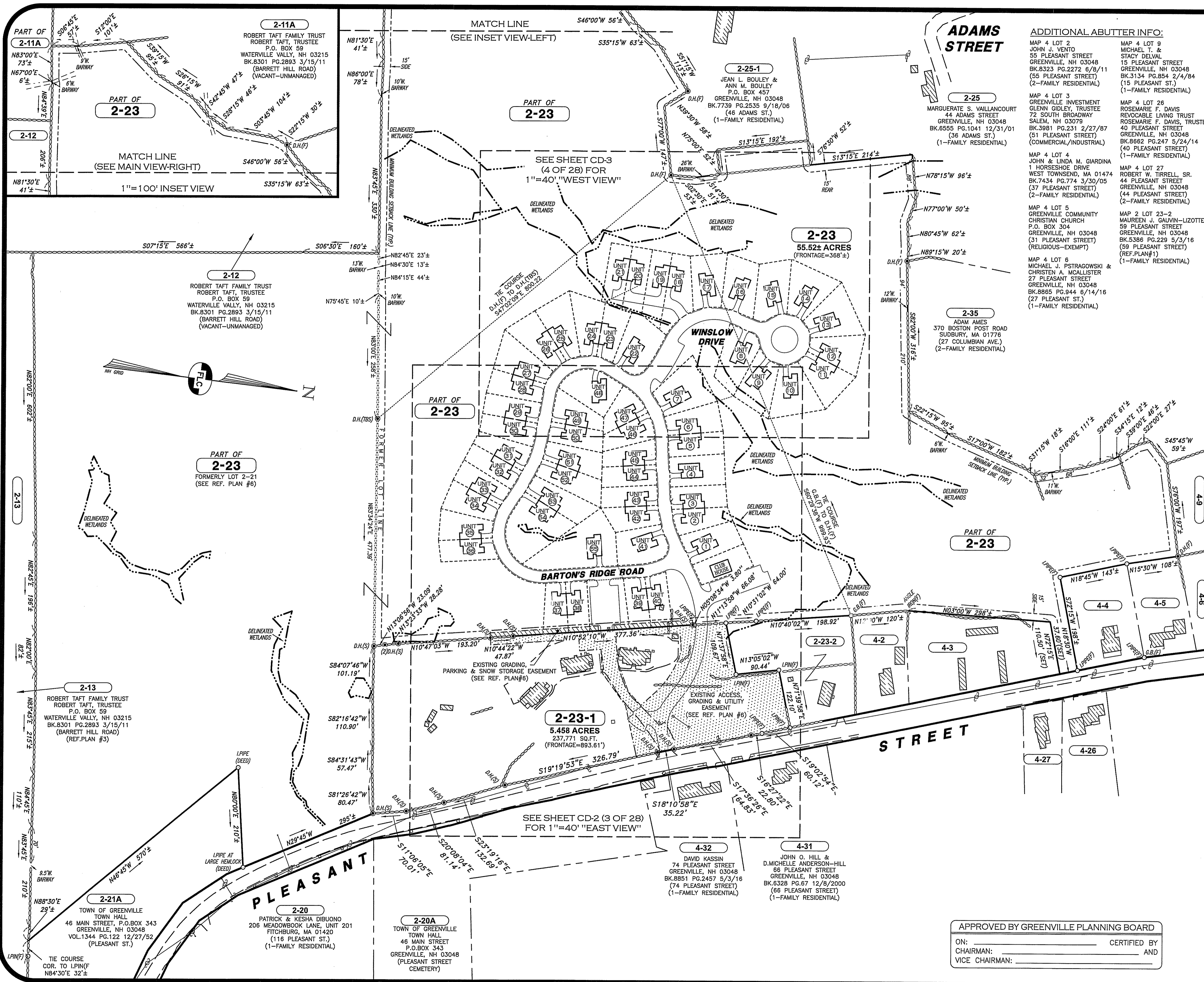
APPROVED BY GREENVILLE PLANNING BOARD

ON: _____ AND
CHAIRMAN: _____ AND
VICE CHAIRMAN: _____

**PREPARED FOR AND LAND OF:
GIMAK PROPERTIES, LLC**
9 PROCTOR HILL ROAD
HOLLIS, NH 03049

REV.	DATE	DESCRIPTION	C/O	DR	CK
I	8/30/22	REVISED LOT NUMBERS		CLR	CEB
H	8/24/22	AMENDED UNIT LOCATION AND PHASING		CLR	CEB
G	11/19/20	PER 11/12/2020 PLANNING BOARD MEETING		DSL	CEB
F	8/13/20	CONDITIONS OF APPROVAL AND PERMITTING		CLR	CEB
E	7/22/20	MINOR - ADD PRESSURE SEWER NOTES, SHEET 20 OF 28		NRC	CEB
D	6/23/20	SITE ACCESS, DES-WWE 4/8/20 COMMENTS		NRC	CEB
C	1/23/20	MINOR, ADDRESS 1/22/20 AOT EMAIL COMMENT		NRC	CEB
B	1/8/20	ADDRESS AOT (10/16/19) & UEI (10/11/19) COMMENTS		NRC	CEB
A	8/6/19	REV. PER STATE PERMITTING		PWH	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

FILE: 1688CV001.dwg PROJ. NO. 1688.00 SHEET: CV-1 PAGE NO. 1 OF 28



ADDITIONAL ABUTTER INFO:

MAP 4 LOT 2
JOHN J. VENTO
55 PLEASANT STREET
GREENVILLE, NH 03048
BK.8323 PG.2272 6/8/11
(55 PLEASANT STREET)
(2-FAMILY RESIDENTIAL)

MAP 4 LOT 3
GREENVILLE INVESTMENT
GLENN GIDLEY, TRUSTEE
72 SOUTH BROADWAY
SALEM, NH 03079
BK.3981 PG.231 2/27/87
(51 PLEASANT STREET)
(COMMERCIAL/INDUSTRIAL)

MAP 4 LOT 4
JOHN & LINDA M. GIARDINA
1 HORSESHOE DRIVE
WEST TOWNSEND, MA 01474
BK.7434 PG.774 3/30/05
(37 PLEASANT STREET)
(2-FAMILY RESIDENTIAL)

MAP 4 LOT 5
GREENVILLE COMMUNITY
CHRISTIAN CHURCH
P.O. BOX 304
GREENVILLE, NH 03048
(31 PLEASANT STREET)
(RELIGIOUS-EXEMPT)

MAP 4 LOT 6
MICHAEL J. PSTRAGOWSKI &
CHRISTEN A. MCALLISTER
27 PLEASANT STREET
GREENVILLE, NH 03048
BK.8865 PG.944 6/14/16
(27 PLEASANT ST.)
(1-FAMILY RESIDENTIAL)

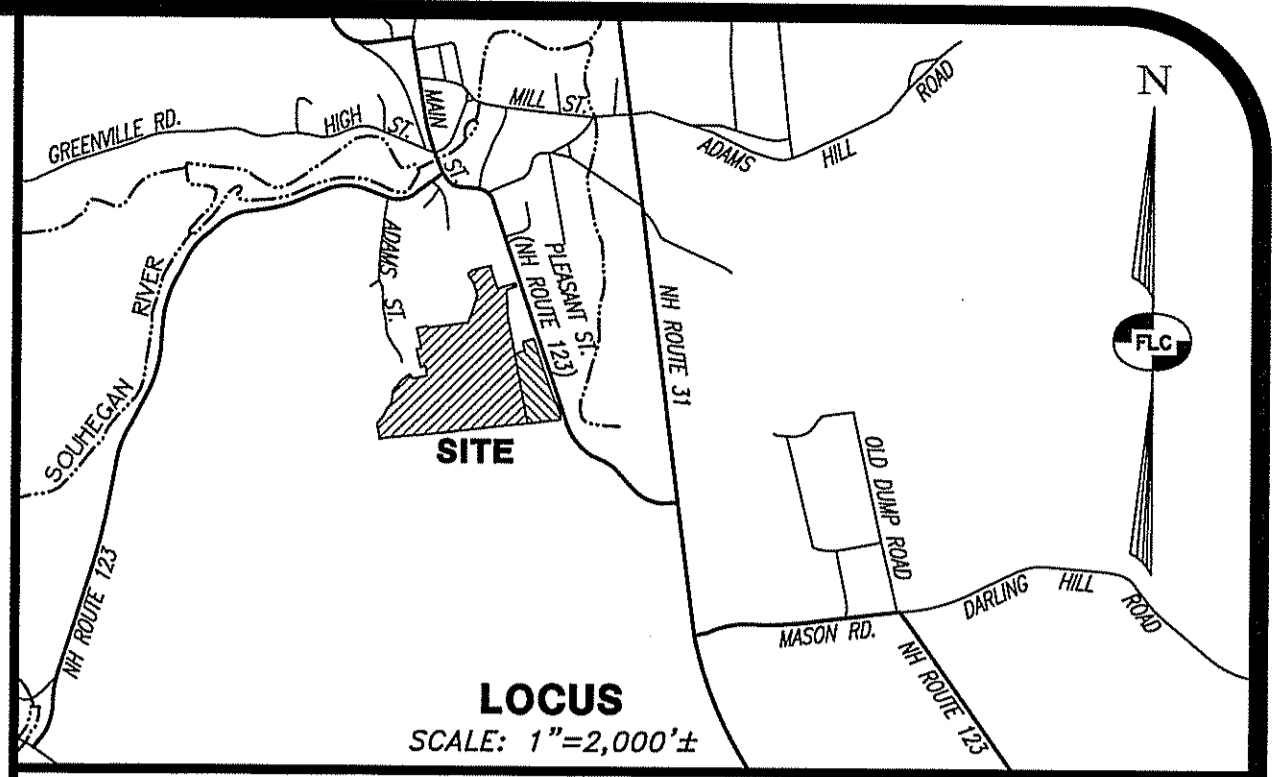
MAP 4 LOT 9
MICHAEL T. &
STACY DELVAL
15 PLEASANT STREET
GREENVILLE, NH 03048
BK.3134 PG.854 2/4/84
(15 PLEASANT ST.)
(1-FAMILY RESIDENTIAL)

MAP 4 LOT 26
ROSEMARIE F. DAVIS
REYOCABLE LIVING TRUST
ROSEMARIE F. DAVIS, TRUSTEE
40 PLEASANT STREET
GREENVILLE, NH 03048
BK.8662 PG.247 5/24/14
(40 PLEASANT STREET)
(1-FAMILY RESIDENTIAL)

MAP 4 LOT 27
ROBERT W. TIRRELL, SR.
44 PLEASANT STREET
GREENVILLE, NH 03048
(44 PLEASANT STREET)
(2-FAMILY RESIDENTIAL)

MAP 2 LOT 23-2
MAUREEN J. GAUVIN-LIZOTTE
59 PLEASANT STREET
GREENVILLE, NH 03048
BK.5358 PG.229 5/3/16
(59 PLEASANT STREET)
(REF.PLAN#1)
(1-FAMILY RESIDENTIAL)

MAP 4 LOT 6
MICHAEL J. PSTRAGOWSKI &
CHRISTEN A. MCALLISTER
27 PLEASANT STREET
GREENVILLE, NH 03048
BK.8865 PG.944 6/14/16
(27 PLEASANT ST.)
(1-FAMILY RESIDENTIAL)



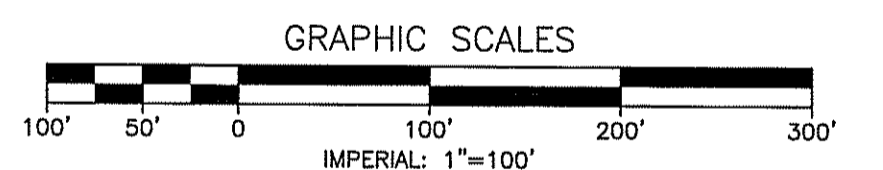
CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND IN COMPLIANCE RELATIVE TO THE CONTEMPLATED IMPROVEMENTS PROVISIONS OF NH-RSA, TITLE XXXI, SECTION 356-B:20, PARAGRAPH 1, AS SHOWN OR NOTED HEREON.

DATE: _____

CERTIFICATION:
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN NOVEMBER, 2017.

DATE: _____

NOTE - SEE SHEET CD-3 (SHEET 4 OF 28) FOR NOTES REFERENCE PLANS & LEGENDS



REV.	DATE	DESCRIPTION	C/O	DR	CK
F	8/30/22	REVISED LOT NUMBERS		CLR	MDP
E	8/25/22	AMENDED UNIT LOCATION AND PHASING		DSL	MDP
D	12/3/20	MINOR PLAN REVISIONS, ADD REF.PLAN #6		CDF	MDP
C	11/19/20	PER 11/12/2020 PLANNING BOARD MEETING		DSL	CEB
B	8/13/20	CONDITIONS OF APPROVAL AND PERMITTING		CLR	CEB
A	7/30/20	LABELLED LIMITED COMMON AREAS AND EASEMENT.		DSL	MDP
REV.	DATE	DESCRIPTION	C/O	DR	CK

OVERALL CONDOMINIUM SITE PLAN
TAX MAP 2 - LOTS 23 & 23-U01 THRU U55
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD - HOLLIS, NH 03049

SCALE: 1" = 100' APRIL 11, 2019

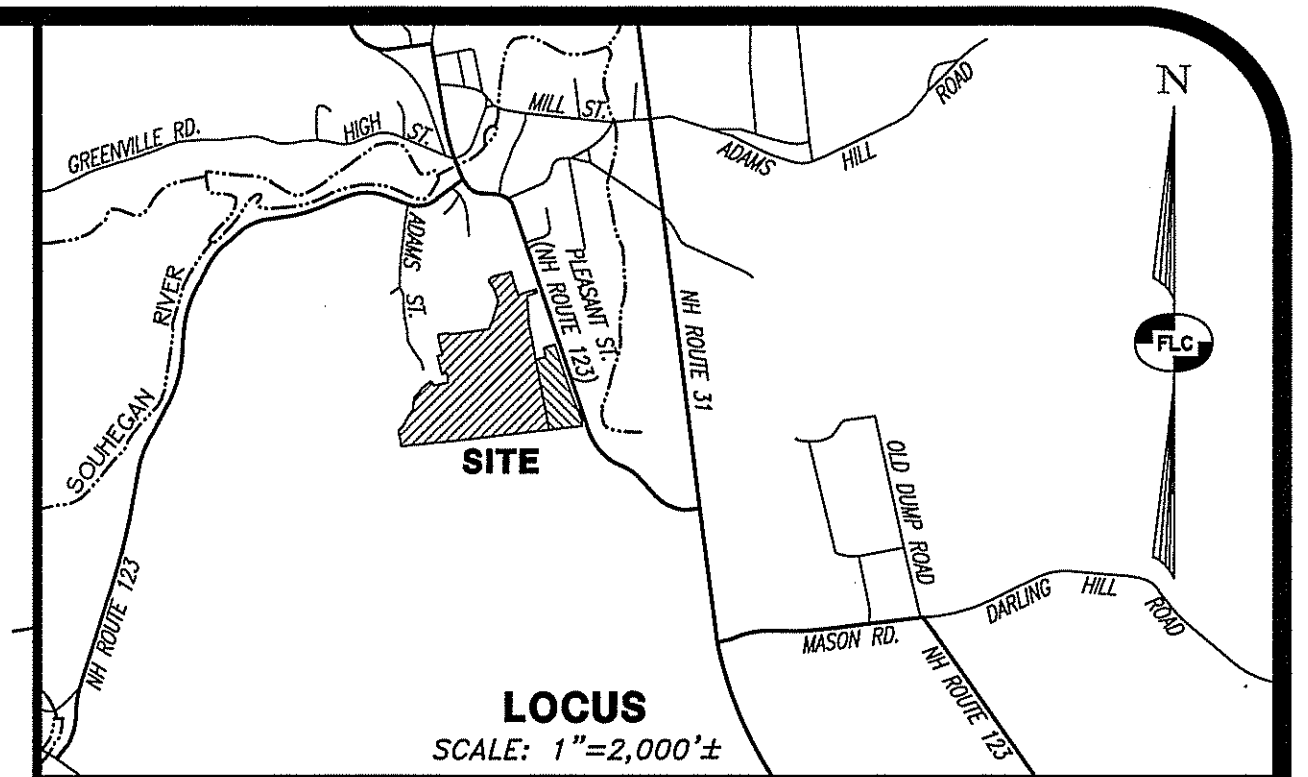
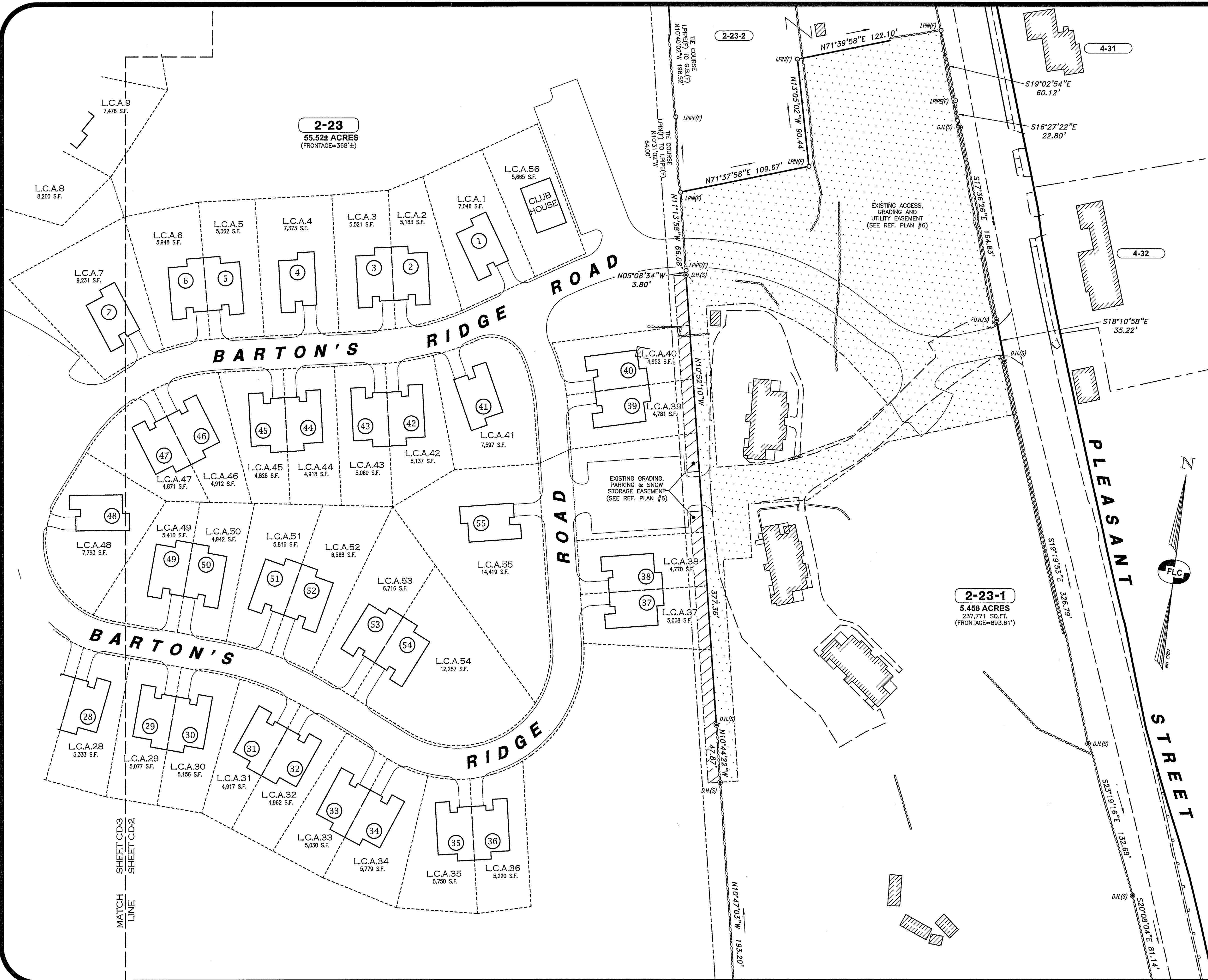
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APPROVED BY GREENVILLE PLANNING BOARD

ON: _____ CERTIFIED BY _____ AND _____
CHAIRMAN: _____ VICE CHAIRMAN: _____



CERTIFICATION:
"I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND IN COMPLIANCE RELATIVE TO THE CONTEMPLATED IMPROVEMENTS PROVISIONS OF NH-RSA, TITLE XXXI, SECTION 356-B:20, PARAGRAPH 1, AS SHOWN OR NOTED HEREON"

DATE: _____

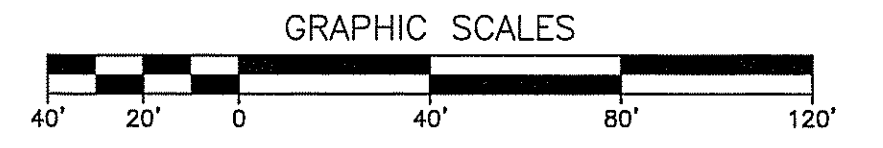
CERTIFICATION:
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN NOVEMBER, 2017.

DATE: _____

NOTE - SEE SHEET CD-3 (SHEET 4 OF 28) FOR NOTES REFERENCE PLANS & LEGENDS SEE SHEET CD-1 (SHEET 2 OF 28) FOR ABUTTER INFORMATION

APPROVED BY GREENVILLE PLANNING BOARD

ON: _____ CERTIFIED BY _____
CHAIRMAN: _____ AND _____
VICE CHAIRMAN: _____



REV.	DATE	DESCRIPTION	C/O	DR	CK
F	8/30/22	REVISED LOT NUMBERS		CLR	MDP
E	8/25/22	AMENDED UNIT LOCATION AND PHASING		DSL	MDP
D	12/3/20	MINOR PLAN REVISIONS, ADD REF. PLAN #6		DSL	CEB
C	11/19/20	PER 11/12/2020 PLANNING BOARD MEETING		DSL	CEB
B	8/13/20	CONDITIONS OF APPROVAL AND PERMITTING		CLR	CEB

CONDOMINIUM SITE PLAN - EAST VIEW

TAX MAP 2 - LOTS 23 & 23-U01 THRU U55

77 PLEASANT STREET

GREENVILLE, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD - HOLLIS, NH 03049

SCALE: 1" = 40' APRIL 11, 2019

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LEGEND:

- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - CURB LINE
 - STONE WALL
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
- 2-23-1 TAX MAP & LOT NUMBER**
- G.B.(f) GRANITE BOUND FOUND
 - D.H.(f) DRILL HOLE FOUND
 - L.PIN(f) IRON PIN FOUND
 - L.PIN(f) IRON PIPE FOUND
 - D.H.(f) DRILL HOLE PER REF. PLAN
 - G.B.(s) GRANITE BOUND SET
 - L.PIN(s) IRON PIN SET
- ▨ EXISTING BUILDING

- PROPOSED FEATURES**
- ▨ ACCESS, GRADING, UTILITY AND/OR PARKING EASEMENT
 - EDGE OF PAVEMENT
 - LIMITED COMMON AREA LINE
 - L.C.A. 55 LIMITED COMMON AREA NUMBER
 - ▭ PROPOSED BUILDING
 - (55) UNIT NUMBER

REFERENCE PLAN:

1. "(2) LOT SUBDIVISION FOR - HENRY B. RICHARDSON - PLEASANT STREET - GREENVILLE, NEW HAMPSHIRE, SCALE 1"=20', DATED SEPTEMBER 21, 1978, BY HERBERT E. RUSSELL, SR. RECORDED AS PLAN #11660 IN THE H.C.R.D.
2. "SUBDIVISION PLAN OF - LAND OF STANLEY PUCKO HEIRS - COLUMBIAN AVE., GREENVILLE, N.H. - LAND OF JULIETTE LEBLANC - SCHOOL ST., GREENVILLE, N.H. - PREPARED FOR - MASCENIC REGIONAL SCHOOL DISTRICT, SCALE 1"=50', DATED JUNE 29, 1983, BY ALLAN H. SWANSON, INC. RECORDED AS PLAN #15976 IN THE H.C.R.D.
3. "SUBDIVISION PLAN OF - IN - GREENVILLE, NEW HAMPSHIRE - HILLSBOROUGH COUNTY - TAX MAP 2 LOT 13 - FOR - ALEXANDER M. & ROBERT TAFT", SCALE 1"=100', DATED APRIL 26, 1999, BY SANDFORD SURVEYING AND ENGINEERING. RECORDED AS PLAN #29961 IN THE H.C.R.D.
4. "2-LOT SUBDIVISION OF LAND - LOCATED ON - PLEASANT STREET AND ROUTE 31 - IN GREENVILLE, N.H. - OWNED BY - MARY LINDA HUSZAR AS TRUSTEE OF - THE MARY LINDA HUSZAR REVOCABLE TRUST, SCALE 1"=50', DATED JANUARY 8, 2010 AND LAST REVISED FEBRUARY 26, 2010, BY VORCE, SONEY AND ASSOCIATES, INC. RECORDED AS PLAN #37364 IN THE H.C.R.D.
5. "2-LOT SUBDIVISION OF LAND IN - GREENVILLE, N.H. - OWNED BY - GEORGE J. & MARY LINDA HUSZAR, SCALE 1"=50', DATED SEPTEMBER 13, 1985, BY VORCE, SONEY AND ASSOCIATES, INC. RECORDED AS PLAN #18619 IN THE H.C.R.D.
6. "CONSOLIDATION & EASEMENT PLAN - TAX MAP 2 LOTS 21, 23 & 23-1 - 77 PLEASANT STREET - GREENVILLE, NH - PREPARED FOR AND LAND OF ADAM AMES, SCALE: 1"=100' DATED: NOVEMBER 20, 2020, PREPARED BY FIELDSTONE LAND CONSULTANTS, PLLC RECORDED AS PLAN #40768 IN THE H.C.R.D.

CERTIFICATION:

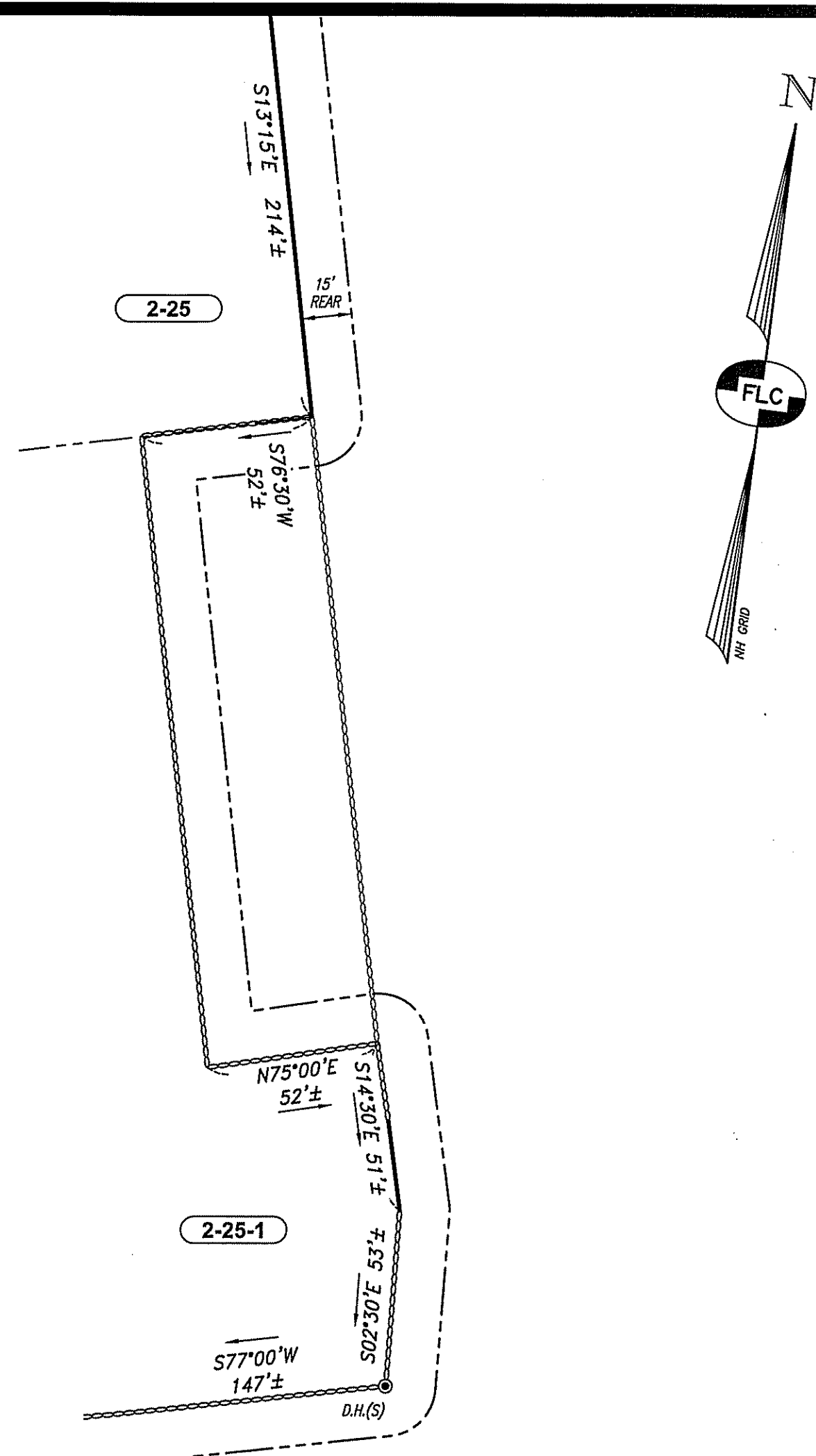
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DATE: _____

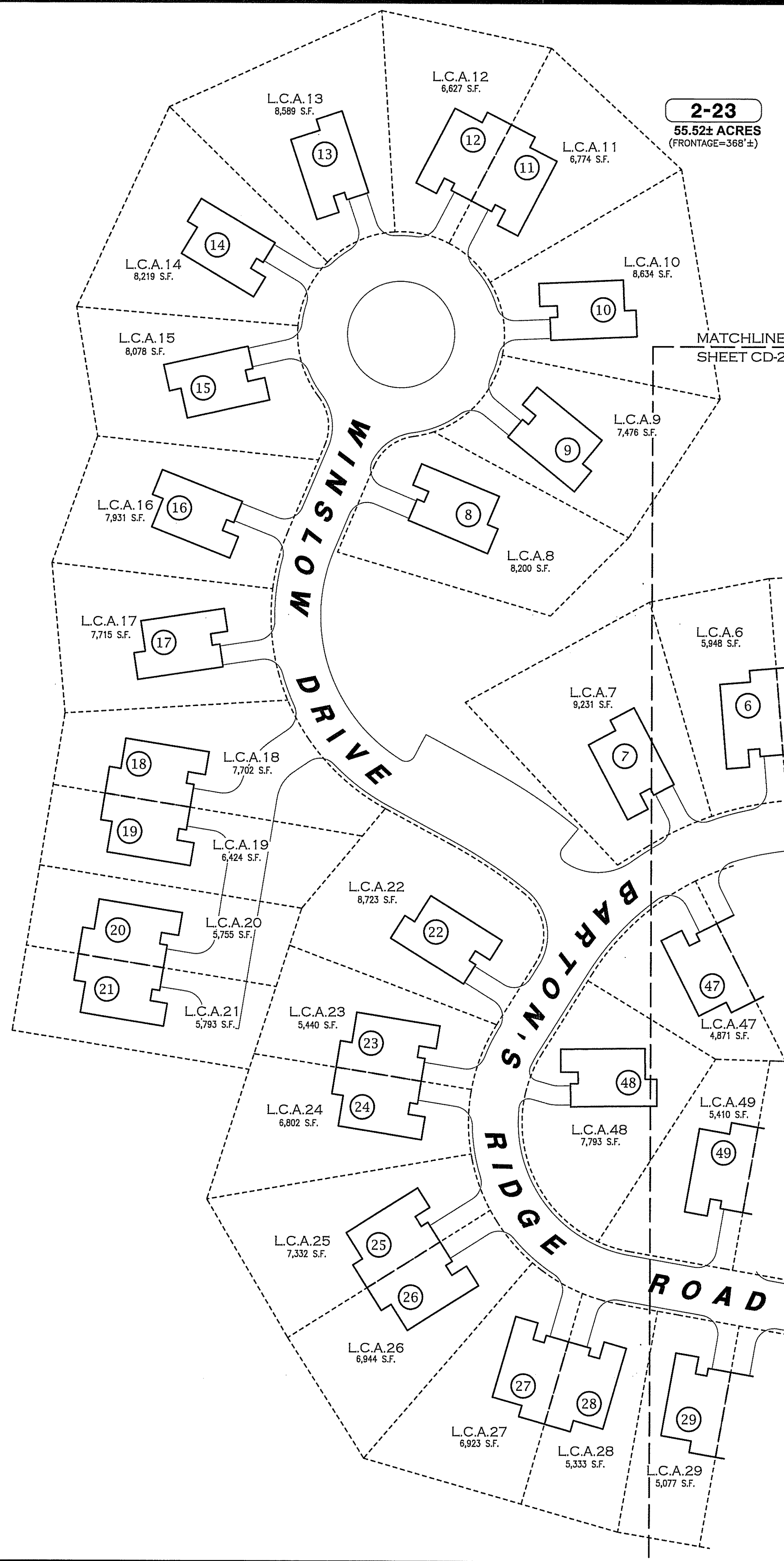
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DATE: _____



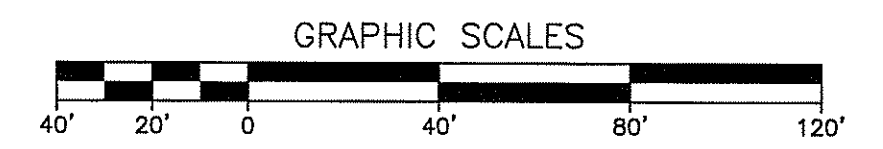
NOTE - SEE SHEET CD-1 (SHEET 2 OF 28) FOR LOCUS AND ABUTTER INFORMATION



NOTES:

1. THE OWNER OF RECORD FOR TAX MAP LOTS 2-23, 2-23-U01 THRU U55 IS GIMAK PROPERTIES, LLC - 9 PROCTOR HILL ROAD - HOLLIS, NH 03049.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT A 55 UNIT OPEN SPACE RESIDENTIAL DEVELOPMENT ON TAX MAP LOT 2-23 (FORMERLY TAX MAP LOTS 2-23 & 2-21).
3. THE TOTAL AREA OF LOT 2-23 IS 55.52± ACRES WITH 368± OF FRONTAGE ALONG PLEASANT STREET.
4. LOT NUMBERS REFER TO THE TOWN OF GREENVILLE ASSESSOR'S MAPS 2S, 2N & 4.
5. ZONING FOR LOT 2-23 IS THE RESIDENTIAL(R) DISTRICT.
FOR SINGLE-FAMILY BUILDINGS SERVICED BY MUNICIPAL SEWER, THE MINIMUM LOT SIZE IS 1 ACRE WITH 150 FT OF FRONTAGE ON AN APPROVED CLASS V OR BETTER ROAD. MINIMUM STREET SETBACK IS 30 FT. MINIMUM LOT LINE SETBACK IS 15 FT.
FOR AN OPEN SPACE RESIDENTIAL DEVELOPMENT SERVICED BY MUNICIPAL SEWER, THE MINIMUM LOT SIZE IS 20 ACRES. LOT FRONTAGE REQUIREMENT IS 250 FT. ON AN APPROVED CLASS V OR BETTER ROAD. MINIMUM STREET SETBACK IS 30 FT. MINIMUM LOT LINE SETBACK IS 15 FT.
LOT 2-23-1 IS INCLUDED FOR PROJECT ACCESS ONLY AND IS NOT PART OF THE PROJECT DENSITY.
6. ROADS SHALL BE A PRIVATE ROADS MAINTAINED BY THE HOME OWNERS ASSOCIATION. THE ROADWAY WOULD HAVE TO MEET ALL PUBLIC ROAD STANDARDS SHOULD ANYONE PETITION TO CHANGE THE STATUS OF THE ROAD.
7. PERIMETER BOUNDARY INFORMATION SHOWN FOR LOT 2-23 AND 2-21 WAS DEVELOPED FROM THE REFERENCE PLANS AND DEEDS CITED TOGETHER WITH GPS LOCATION OF THE MAJOR LOT CORNERS AS SHOWN. HORIZONTAL ORIENTATION IS THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM, NAD83.
8. THE TOPOGRAPHY SHOWN IS THE RESULT OF A FIELD TOPOGRAPHIC SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JANUARY AND FEBRUARY 2018. VERTICAL DATUM IS NAVD88.
9. JURISDICTIONAL WETLANDS WERE FOUND AND MAPPED ON THE SUBJECT PARCELS AS A RESULT OF AN ON-SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN NOVEMBER 2017 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
10. ALL LOTS LIE OUTSIDE THE BOUNDARY OF THE 100 YEAR FLOOD HAZARD PER FLOOD INSURANCE RATE MAP FOR THE TOWN OF GREENVILLE, HILLSBOROUGH COUNTY NH, COMMUNITY 330088, PANEL NUMBER 33011C0443D DATED SEPTEMBER 25, 23009.
11. LOT 2-23-1 IS CURRENTLY SERVICED BY MUNICIPAL WATER AND SEWER AND UNDERGROUND UTILITIES.
12. LOT 2-23 HAS THE BENEFIT OF A RIGHT-OF-WAY FROM COLUMBIAN AVENUE TO THE NORTH SIDE OF THE PARCEL THROUGH THE LAND IDENTIFIED AS LOT 2-35 ON REFERENCE PLAN #2 (BK.8813 PG. 1897 DATED DECEMBER 4, 2015). ALSO SEE DEEDS FROM GRANTORS IN BK.3058 PG.239 (BARBARA KING), PG.240 (JUDITH BROWNELL) & PG.241 (STANLEY M. PUCKO AND SANDRA DESROSIERS).
13. LOT 2-23 IS SUBJECT TO THE RIGHTS OF OTHERS (THE HEIRS AND ASSIGNS OF FREDERICK S. LANE) TO KEEP, REPLACE, ENLARGE, REPAIR, MAINTAIN, USE AND OPERATE CERTAIN "UTILITY FACILITIES THAT ARE NOW LOCATED ON THE PREMISES" (SEE BK.999 PG.238 DATED NOVEMBER 25, 1939 (SEE BK.999 PG.238 DATED NOVEMBER 25, 1939, IT IS BELIEVED THAT "THE PREMISES" IS OTHER THAN LOT 2-23 AND NOT LOCUS TO THIS SITE).
14. THERE IS AN EXISTING ACCESS, GRADING AND UTILITY EASEMENT OVER TAX MAP LOT 2-23-1 FOR THE BENEFIT OF THE PROJECT ON LOT 2-23.
15. THE FOLLOWING STATE PERMITS ARE REQUIRED FOR THIS PROJECT:
NHDES - ALTERATION OF TERRAIN PERMIT - APPROVED 1/24/2020
NHDES - DREDGE AND FILL WETLANDS PERMIT - APPROVED 1/31/2020
NH DEPARTMENT OF TRANSPORTATION - AMENDED DRIVEWAY PERMIT GRANTED 3/6/2020
NHDES - SEWER CONNECTION PERMIT - APPROVAL GRANTED 7/23/2020.
ALL PERMITS ARE TO BE ON FILE AT THE TOWN
16. FINAL COMPLIANCE HEARING BEING HELD AT THE END OF THE ENTIRE PROJECT. PROJECT COMPLETION AS-BUILT SITE PLANS PROVIDED TO THE GREENVILLE PLANNING BOARD.
17. MEETINGS BEING HELD WITH GREENVILLE PLANNING BOARD UPON COMPLETION OF EACH OF THE FIVE INDIVIDUAL PHASES.

APPROVED BY GREENVILLE PLANNING BOARD
ON: _____ CERTIFIED BY
CHAIRMAN: _____ AND
VICE CHAIRMAN: _____



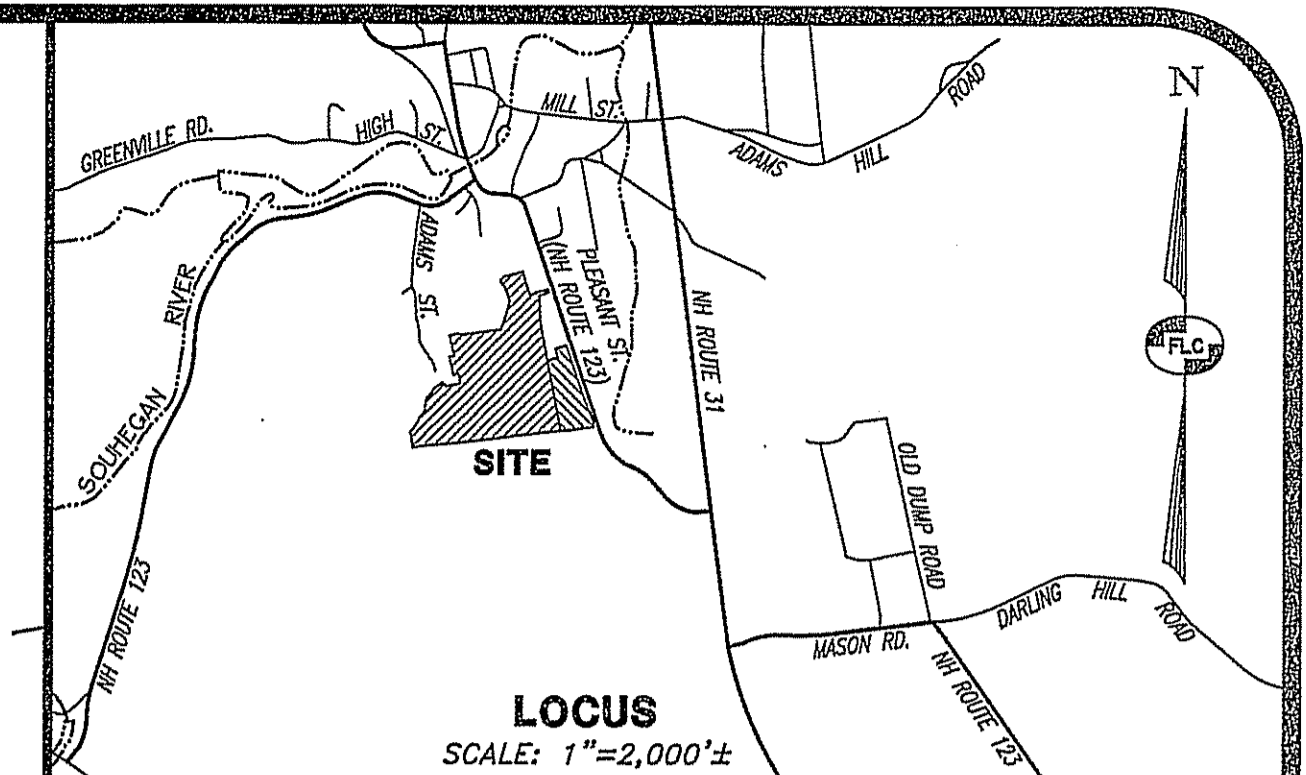
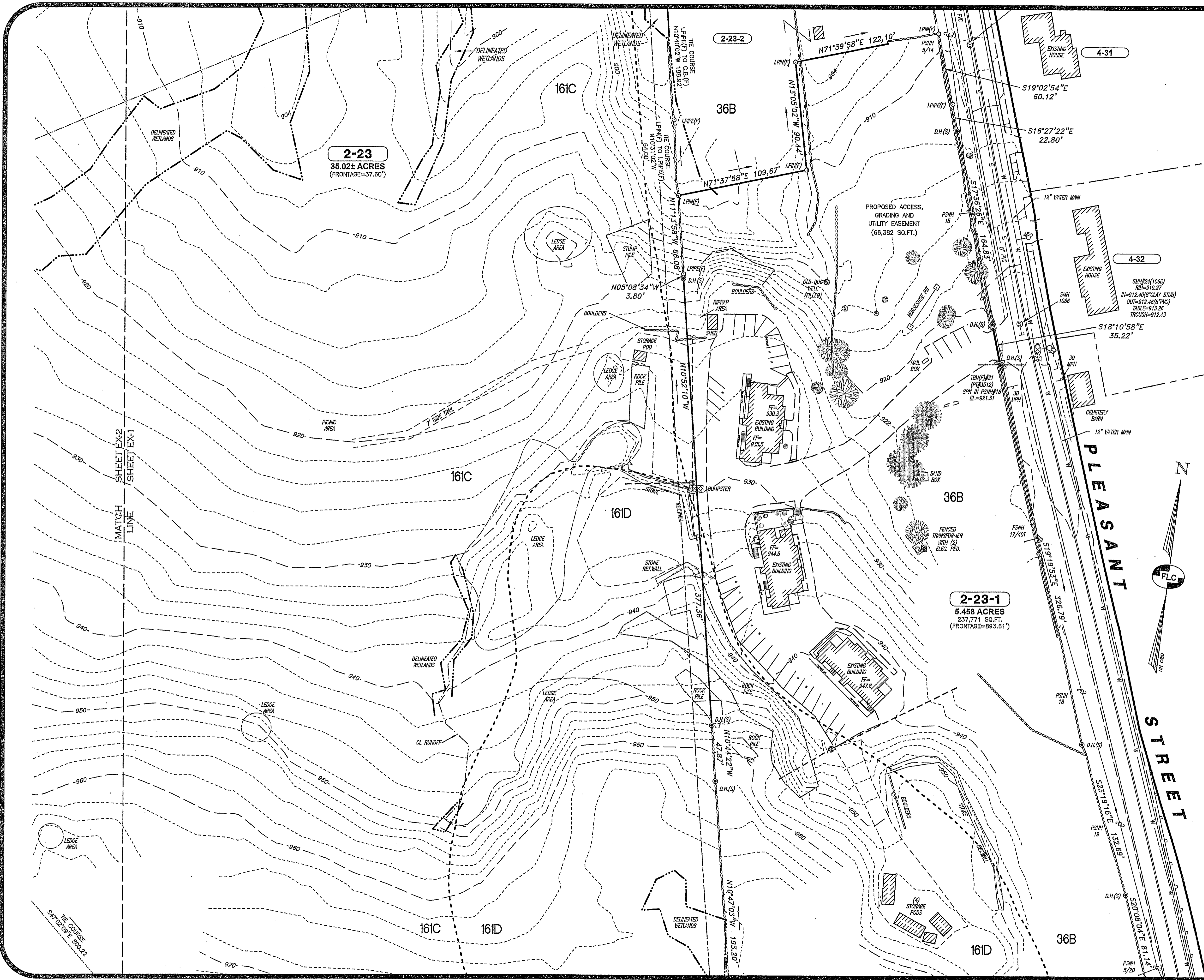
F	8/30/22	REVISED LOT NUMBERS	CLR	MDP
E	8/25/22	AMENDED UNIT LOCATION AND PHASING	DSL	MDP
D	12/3/20	MINOR PLAN REVISIONS, ADD REF. PLAN #6	DSL	CEB
C	11/19/20	PER 11/12/2020 PLANNING BOARD MEETING	DSL	CEB
B	8/13/20	CONDITIONS OF APPROVAL AND PERMITTING	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

CONDOMINIUM SITE PLAN - WEST VIEW
TAX MAP 2 - LOTS 23 & 23-U01 THRU U55
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD - HOLLIS, NH 03049

SCALE: 1" = 40' APRIL 11, 2019

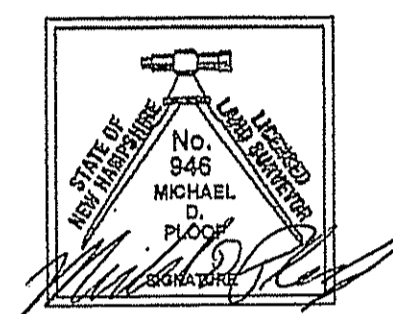
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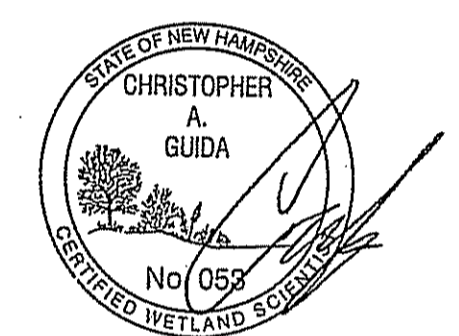
CERTIFICATION:
 I HEREBY CERTIFY THAT THE EXISTING IMPROVEMENTS SHOWN ARE THE RESULT OF A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTHS OF JANUARY AND FEBRUARY, 2018.

DATE: 4/11/19

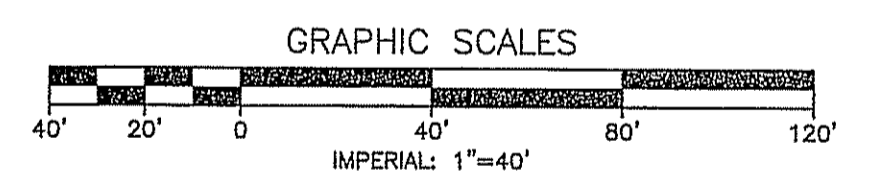


CERTIFICATION:
 WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN NOVEMBER, 2017.

DATE: 4/11/19



NOTE - SEE SHEET EX-2 (SHEET 6 OF 28) FOR NOTES REFERENCE PLANS & LEGENDS



REV.	DATE	DESCRIPTION	C/O	DR	CK

PARTIAL EXISTING CONDITIONS PLAN
TAX MAP 2 - LOTS 23-1 & 23
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
ADAM AMES
 370 BOSTON POST ROAD - SUDBURY, MA 01776

SCALE: 1" = 40' APRIL 11, 2019

Surveying + Engineering + Land Planning + Permitting + Septic Designs

FIELDSTONE
 LAND CONSULTANTS, PLLC

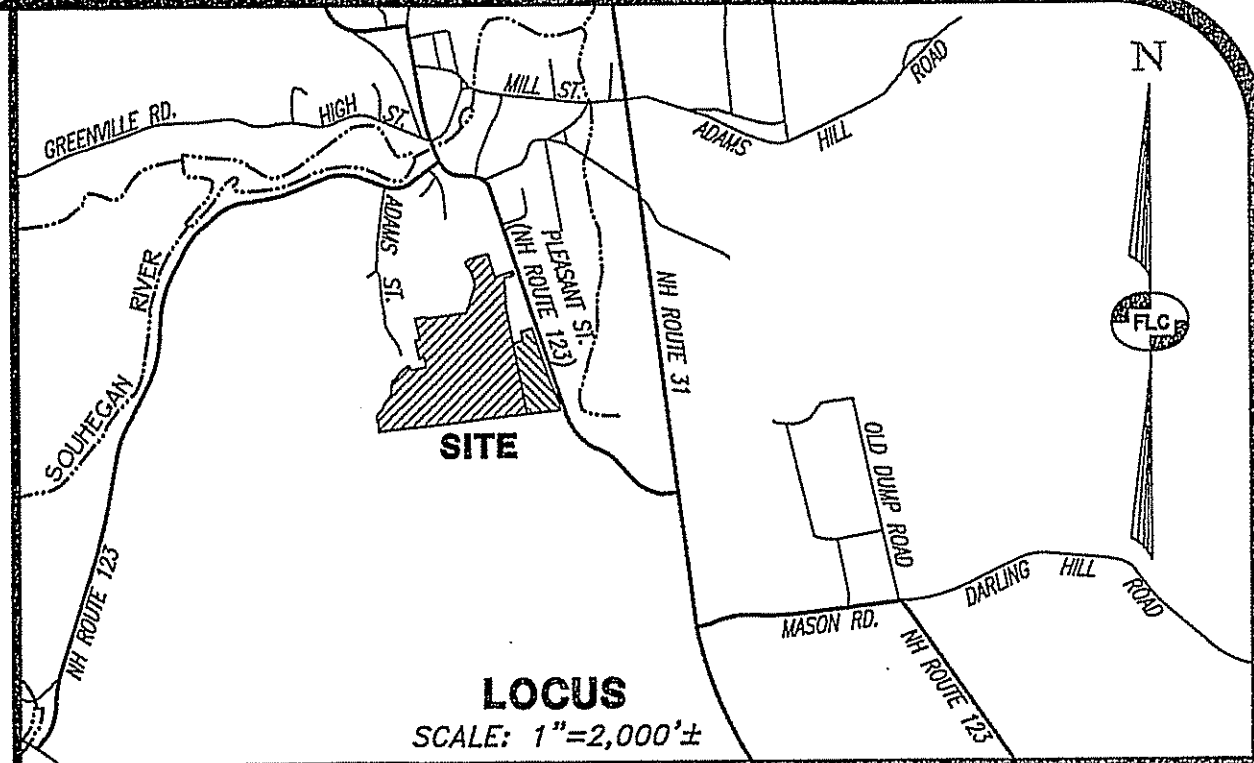
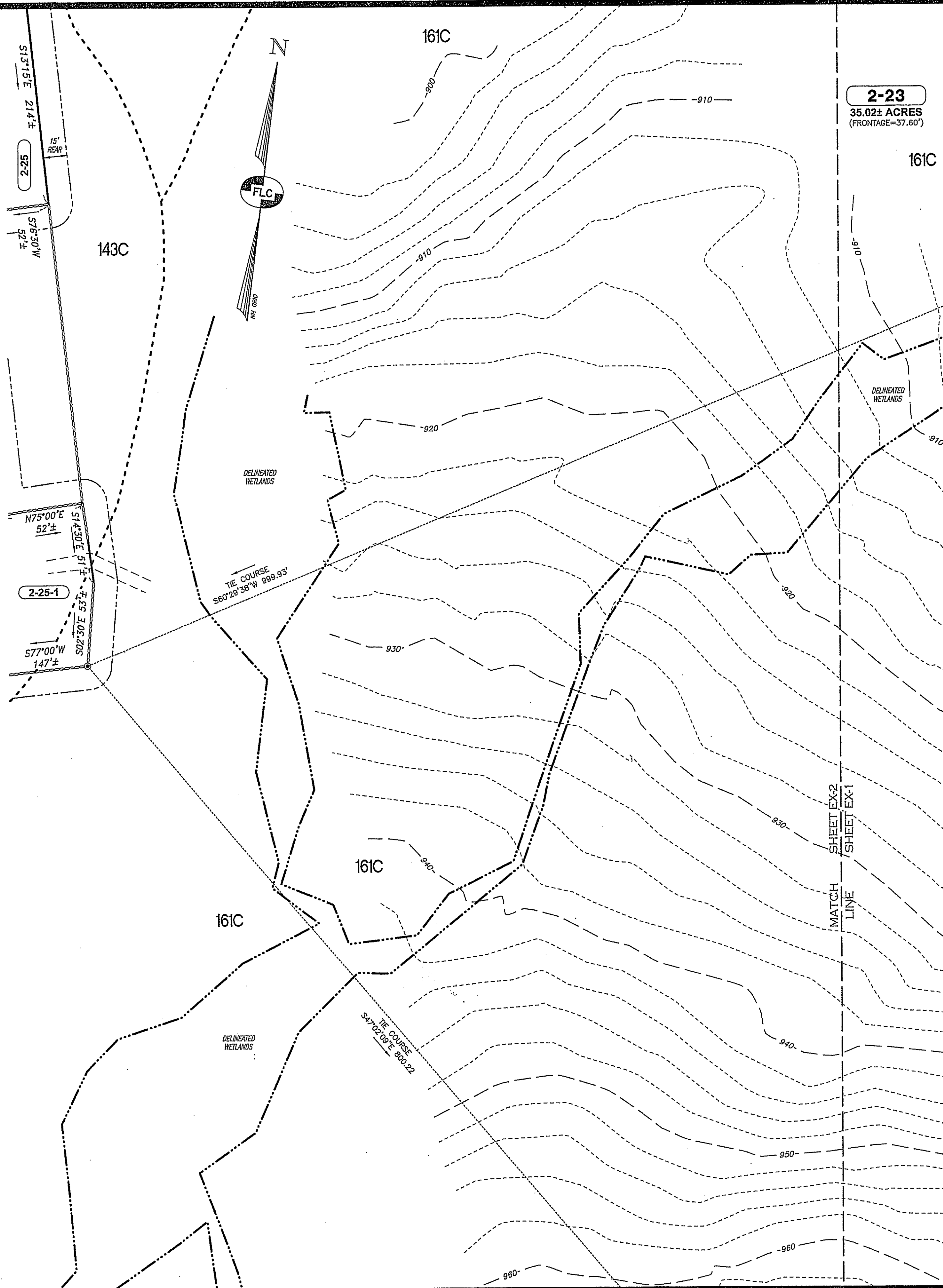
206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
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LEGEND:

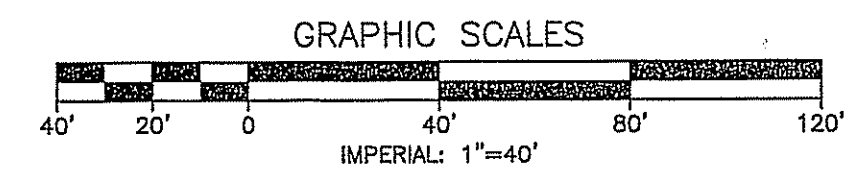
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - CURB LINE
 - STONE WALL
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - EXISTING PILE
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - WIRE FENCE
 - TIE COURSE LINE
 - CULVERT
 - OVERHEAD UTILITY LINE
 - UNDERGROUND UTILITY LINE
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - TAX MAP & LOT NUMBER
- G.B.(F) GRANITE BOUND FOUND
 - D.H.(F) DRILL HOLE FOUND
 - LPIN(F) IRON PIN FOUND
 - LPPE(F) IRON PIPE FOUND
 - D.H.(S) DRILL HOLE PER REF. PLAN
 - G.B.(S) GRANITE BOUND SET
 - LPIN(S) IRON PIN SET
 - UTILITY POLE & GUY
 - CATCH BASIN (SQUARE)
 - CATCH BASIN (ROUND)
 - DRAIN MAN-HOLE
 - SEWER MAN-HOLE
 - SEWER CLEAN-OUT
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - WELL
 - ELECTRIC PEDESTAL
 - SINGLE SIGN POST
 - EXISTING BUILDING

NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

36B	ADAMS LOAMY SAND 3 TO 8% SLOPES
76D	MARLOW FINE SANDY LOAM 15 TO 25% SLOPES
77C	MARLOW FINE SANDY LOAM 8 TO 15% SLOPES VERY STONY
79C	PERU FINE SANDY LOAM SAND 8 TO 15% SLOPES, VERY STONY
143C	MONADNOCK FINE SANDY LOAM 8 TO 15% SLOPES, VERY STONY
160B	TUNBRIDGE-LYMAN-MONADNOCK 3 TO 8% SLOPES, STONY
161C	TUNBRIDGE-LYMAN-ROCK OUTCROP 3 TO 15% SLOPES
161D	TUNBRIDGE-LYMAN-ROCK OUTCROP 15 TO 25% SLOPES



- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP LOTS 2-23-1 & 2-23 IS ADAM AMES, 370 BOSTON POST ROAD, SUDBURY, MA 01776. DEED REFERENCE FOR LOT 2-23-1 IS BOOK 7896 PAGE 761 DATED AUGUST 31, 2007 IN THE H.C.R.D. THE DEED REFERENCE FOR LOT 2-23 IS BOOK 8813 PAGE 1895 DATED DECEMBER 8, 2015 IN THE H.C.R.D.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR PORTIONS OF TAX MAP LOTS 2-23-1 & 2-23.
 - THE TOTAL AREA OF THE LOT 2-23-1 IS 5.458 ACRES OR 237,771 SQ.FT. WITH 893.61' OF FRONTAGE ALONG PLEASANT STREET. THE TOTAL AREA OF LOT 2-23 IS 35.02± ACRES WITH 37.60' OF FRONTAGE ALONG PLEASANT STREET.
 - ZONING FOR LOTS 2-23 & 2-21 IS THE RESIDENTIAL(R) DISTRICT.
FOR SINGLE-FAMILY BUILDINGS SERVICED BY MUNICIPAL SEWER, THE MINIMUM LOT SIZE IS 1 ACRE WITH 150 FT. OF FRONTAGE ON AN APPROVED CLASS V OR BETTER ROAD. MINIMUM STREET SETBACK IS 30 FT. MINIMUM LOT LINE SETBACK IS 15 FT.
FOR AN OPEN SPACE RESIDENTIAL DEVELOPMENT SERVICED BY MUNICIPAL SEWER, THE MINIMUM LOT SIZE IS 1 ACRE. LOT FRONTAGE REQUIREMENT IS 250 FT. ON AN APPROVED CLASS V OR BETTER ROAD. MINIMUM STREET SETBACK IS 30 FT. MINIMUM LOT LINE SETBACK IS 15 FT.
LOT 2-23-1 IS INCLUDED FOR PROJECT ACCESS ONLY AND IS NOT PART OF THE PROJECT DENSITY.
 - PERIMETER BOUNDARY INFORMATION FOR LOT 2-23-1 IS THE RESULT OF A PRECISE FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JANUARY AND FEBRUARY 2018. PERIMETER BOUNDARY INFORMATION SHOWN FOR LOT 2-23 WAS DEVELOPED FROM THE REFERENCE PLANS AND DEEDS CITED TOGETHER WITH GPS LOCATION OF THE MAJOR LOT CORNERS AS SHOWN. HORIZONTAL ORIENTATION IS THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM, NAD83.
 - THE TOPOGRAPHY SHOWN IS THE RESULT OF A FIELD TOPOGRAPHIC SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JANUARY AND FEBRUARY 2018. VERTICAL DATUM IS NAVD83.
 - JURISDICTIONAL WETLANDS WERE FOUND AND MAPPED ON THE SUBJECT PARCELS AS A RESULT OF AN ON-SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN NOVEMBER 2017 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
 - BOTH LOTS LIE OUTSIDE THE BOUNDARY OF THE 100 YEAR FLOOD HAZARD PER FLOOD INSURANCE RATE MAP FOR THE TOWN OF GREENVILLE, HILLSBOROUGH COUNTY NH, COMMUNITY 330088, PANEL NUMBER 33011C0443D DATED SEPTEMBER 25, 23009.
 - LOT 2-23-1 IS CURRENTLY SERVICED BY MUNICIPAL WATER AND SEWER AND UNDERGROUND UTILITIES.
 - LOT 2-23 HAS THE BENEFIT OF A RIGHT-OF-WAY FROM COLUMBIAN AVENUE TO THE NORTH SIDE OF THE PARCEL THROUGH THE LAND IDENTIFIED AS LOT 2-35 ON REFERENCE PLAN #2 (BK.8813 PG. 1897 DATED DECEMBER 4, 2015). ALSO SEE DEEDS FROM GRANTORS IN BK.3058 PG.239 (BARBARA KING), PG.240 (JUDITH BROWNELL) & PG.241 (STANLEY M. PUCKO AND SANDRA DESROSIERES).
 - LOT 2-23 MAY BE SUBJECT TO THE RIGHTS OF OTHERS (THE HEIRS AND ASSIGNS OF FREDERICK S. LANE) TO KEEP, REPLACE, ENLARGE, REPAIR, MAINTAIN, USE AND OPERATE CERTAIN "UTILITY FACILITIES THAT ARE NOW LOCATED ON THE PREMISES" (SEE BK.999 PG.238 DATED NOVEMBER 25, 1939. IT IS BELIEVED THAT "THE PREMISES" IS OTHER THAN LOT 2-23 AND NOT LOCUS TO THIS SITE).

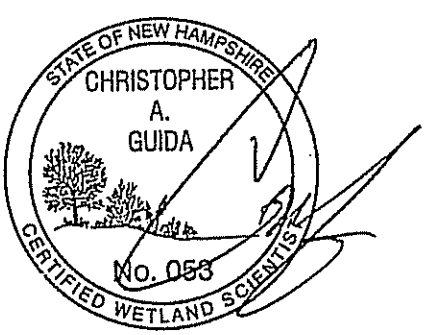


- REFERENCE PLAN:**
- "(2) LOT SUBDIVISION FOR - HENRY B. RICHARDSON - PLEASANT STREET - GREENVILLE, NEW HAMPSHIRE", SCALE 1"=20', DATED SEPTEMBER 21, 1978, BY HERBERT E. RUSSELL, SR. RECORDED AS PLAN #11660 IN THE H.C.R.D.
 - "SUBDIVISION PLAN OF - LAND OF STANLEY PUCKO HEIRS - COLUMBIAN AVE., GREENVILLE, N.H. - LAND OF JULIETTE LEBLANC - SCHOOL ST., GREENVILLE, N.H. - PREPARED FOR - MASCENIC REGIONAL SCHOOL DISTRICT", SCALE 1"=50', DATED JUNE 29, 1983, BY ALLAN H. SWANSON, INC. RECORDED AS PLAN #15976 IN THE H.C.R.D.
 - "SUBDIVISION PLAN OF - IN - GREENVILLE, NEW HAMPSHIRE - HILLSBOROUGH COUNTY - TAX MAP 2 LOT 13 - FOR - ALEXANDER M. & ROBERT TAFT", SCALE 1"=100', DATED APRIL 26, 1999, BY SANDFORD SURVEYING AND ENGINEERING. RECORDED AS PLAN #29961 IN THE H.C.R.D.
 - "2-Lot SUBDIVISION OF LAND - LOCATED ON - PLEASANT STREET AND ROUTE 31 - IN GREENVILLE, N.H. - OWNED BY - MARY LINDA HUSZAR AS TRUSTEE OF - THE MARY LINDA HUSZAR REVOCABLE TRUST", SCALE 1"=50', DATED JANUARY 8, 2010 AND LAST REVISED FEBRUARY 26, 2010, BY VORCE, SONEY AND ASSOCIATES, INC. RECORDED AS PLAN #37384 IN THE H.C.R.D.
 - "2-Lot SUBDIVISION OF LAND IN - GREENVILLE, N.H. - OWNED BY - GEORGE J. & MARY LINDA HUSZAR", SCALE 1"=50', DATED SEPTEMBER 13, 1985, BY VORCE, SONEY AND ASSOCIATES, INC. RECORDED AS PLAN #18619 IN THE H.C.R.D.

CERTIFICATION:
"I HEREBY CERTIFY THAT THE EXISTING IMPROVEMENTS SHOWN ARE THE RESULT OF A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTHS OF JANUARY AND FEBRUARY, 2018."

DATE: 4/11/19

CERTIFICATION:
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN NOVEMBER, 2017.

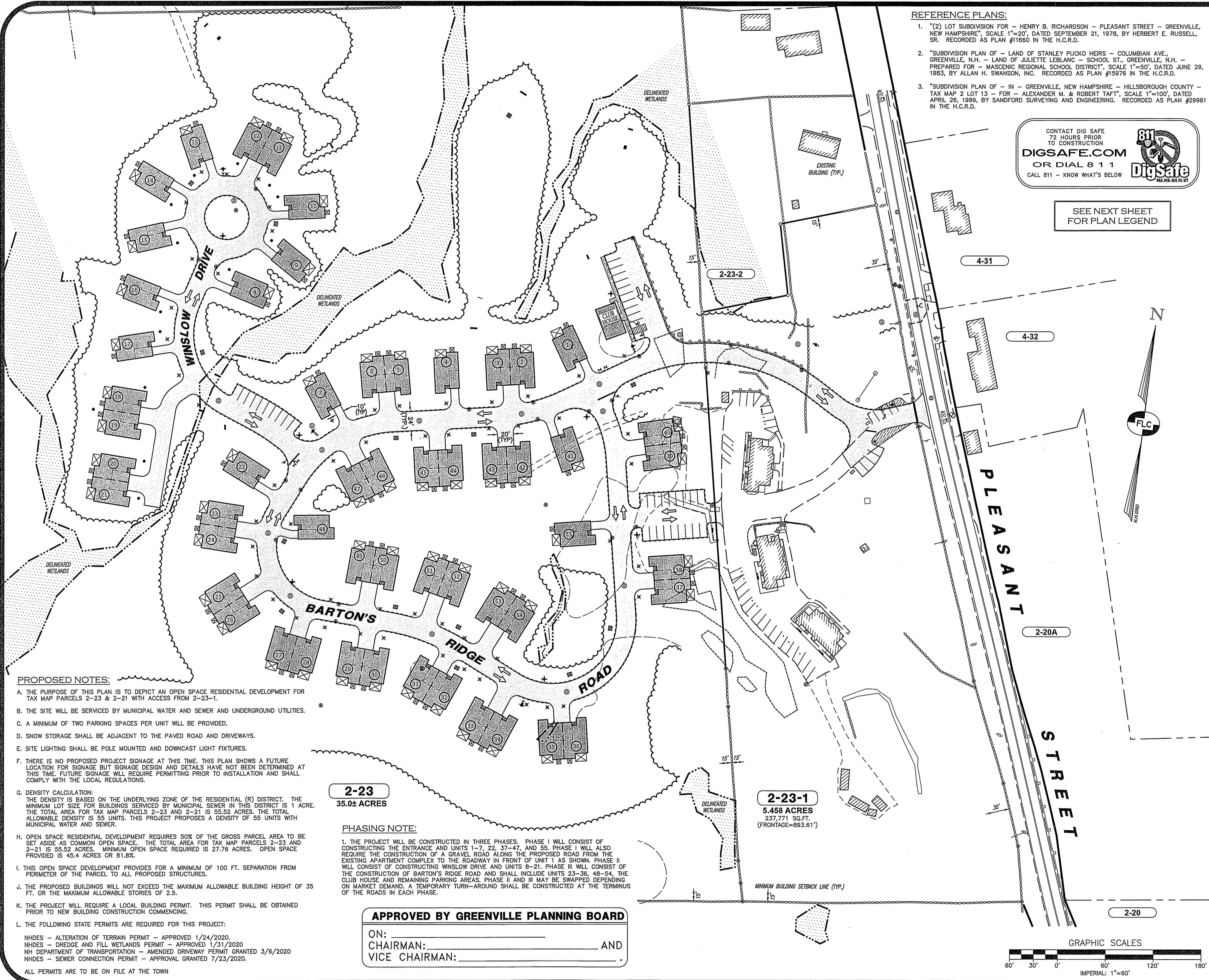


REV.	DATE	DESCRIPTION	C/O	DR	CK

PARTIAL EXISTING CONDITIONS PLAN
TAX MAP 2 - LOT 23
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
ADAM AMES
370 BOSTON POST ROAD - SUDBURY, MA 01776

SCALE: 1" = 40' APRIL 11, 2019
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

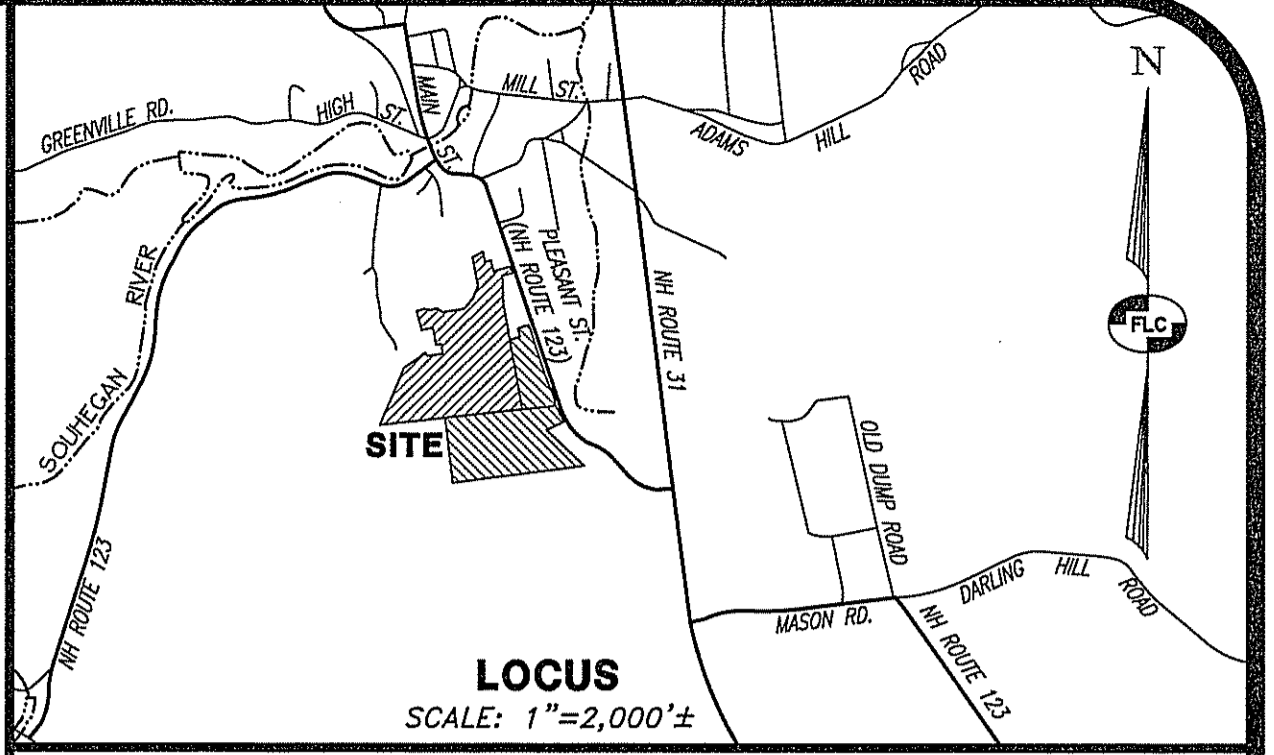
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- REFERENCE PLANS:**
- "(2) LOT SUBDIVISION FOR - HENRY B. RICHARDSON - PLEASANT STREET - GREENVILLE, NEW HAMPSHIRE", SCALE 1"=20', DATED SEPTEMBER 21, 1978, BY HERBERT E. RUSSELL, SR. RECORDED AS PLAN #11660 IN THE H.C.R.D.
 - "SUBDIVISION PLAN OF - LAND OF STANLEY PUCKO HEIRS - COLUMBIAN AVE., GREENVILLE, N.H. - LAND OF JULIETTE LEBLANC - SCHOOL ST., GREENVILLE, N.H. - PREPARED FOR - MASCENIC REGIONAL SCHOOL DISTRICT", SCALE 1"=50', DATED JUNE 29, 1983, BY ALLAN H. SWANSON, INC. RECORDED AS PLAN #15976 IN THE H.C.R.D.
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FOR PLAN LEGEND



- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP LOTS 2-23 & 2-23-U01 THRU U55 IS GIMAK PROPERTIES, LLC, 9 PROCTOR HILL ROAD, HOLLIS, NH 03049.
 - THE TOTAL AREA OF LOT 2-23 IS 35.02± ACRES WITH 37.60' OF FRONTAGE ALONG PLEASANT STREET. THE TOTAL AREA OF THE LOT 2-21 IS 20.5± ACRES OR 894,151± SQ.FT. WITH 295±' OF FRONTAGE ALONG PLEASANT STREET. TOTAL AREA IS 55.52± ACRES.
 - LOT NUMBERS REFER TO THE TOWN OF GREENVILLE ASSESSORS MAPS 2S, 2N & 4.
 - ZONING FOR LOTS 2-23 & 2-23-U01 THRU U55 IS THE RESIDENTIAL(R) DISTRICT.
FOR SINGLE-FAMILY BUILDINGS SERVICED BY MUNICIPAL SEWER, THE MINIMUM LOT SIZE IS 1 ACRES WITH 150 FT. OF FRONTAGE ON AN APPROVED CLASS V OR BETTER ROAD. MINIMUM STREET SETBACK IS 30 FT. MINIMUM LOT LINE SETBACK IS 15 FT.
FOR AN OPEN SPACE RESIDENTIAL DEVELOPMENT SERVICED BY MUNICIPAL SEWER, THE MINIMUM LOT SIZE IS 20 ACRES. LOT FRONTAGE REQUIREMENT IS 250 FT. ON AN APPROVED CLASS V OR BETTER ROAD. MINIMUM STREET SETBACK IS 30 FT. MINIMUM LOT LINE SETBACK IS 15 FT.
LOT 2-23-1 IS INCLUDED FOR PROJECT ACCESS ONLY AND IS NOT PART OF THE PROJECT DENSITY.
 - ROADS SHALL BE A PRIVATE ROADS MAINTAINED BY THE HOME OWNERS ASSOCIATION. THE ROADWAY WOULD HAVE TO MEET ALL PUBLIC ROAD STANDARDS SHOULD ANYONE PETITION TO CHANGE THE STATUS OF THE ROAD.
 - PERIMETER BOUNDARY INFORMATION SHOWN FOR LOT 2-23 AND 2-21 WAS DEVELOPED FROM THE REFERENCE PLANS AND DEEDS CITED TOGETHER WITH GPS LOCATION OF THE MAJOR LOT CORNERS AS SHOWN. HORIZONTAL ORIENTATION IS THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM, NAD83.
 - THE TOPOGRAPHY SHOWN IS THE RESULT OF A FIELD TOPOGRAPHIC SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JANUARY AND FEBRUARY 2018. VERTICAL DATUM IS NAVD88.
 - JURISDICTIONAL WETLANDS WERE FOUND AND MAPPED ON THE SUBJECT PARCELS AS A RESULT OF AN ON-SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN NOVEMBER 2017 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
 - ALL LOTS LIE OUTSIDE THE BOUNDARY OF THE 100 YEAR FLOOD HAZARD PER FLOOD INSURANCE RATE MAP FOR THE TOWN OF GREENVILLE, HILLSBOROUGH COUNTY NH, COMMUNITY 330088, PANEL NUMBER 3301100443D DATED SEPTEMBER 25, 23009.
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 - LOT 2-23 HAS THE BENEFIT OF A RIGHT-OF-WAY FROM COLUMBIAN AVENUE TO THE NORTH SIDE OF THE PARCEL THROUGH THE LAND IDENTIFIED AS LOT 2-35 ON REFERENCE PLAN #2 (BK-8813 PG. 1897 DATED DECEMBER 4, 2015). ALSO SEE DEEDS FROM GRANTORS IN BK.3058 PG.239 (BARBARA KING), PG.240 (JUDITH BROWNELL) & PG.241 (STANLEY M. PUCKO AND SANDRA DESROSIERS).
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 - THERE IS A PROPOSED ACCESS, GRADING AND DRAINAGE EASEMENT OVER TAX MAP LOT 2-23-1 FOR THE BENEFIT OF THE PROJECT ON LOT 2-23.

PROPOSED NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT AN OPEN SPACE RESIDENTIAL DEVELOPMENT FOR TAX MAP PARCELS 2-23 & 2-21 WITH ACCESS FROM 2-23-1.
- THE SITE WILL BE SERVICED BY MUNICIPAL WATER AND SEWER AND UNDERGROUND UTILITIES.
- A MINIMUM OF TWO PARKING SPACES PER UNIT WILL BE PROVIDED.
- SNOW STORAGE SHALL BE ADJACENT TO THE PAVED ROAD AND DRIVEWAYS.
- SITE LIGHTING SHALL BE POLE MOUNTED AND DOWNCAST LIGHT FIXTURES.
- THERE IS NO PROPOSED PROJECT SIGNAGE AT THIS TIME. THIS PLAN SHOWS A FUTURE LOCATION FOR SIGNAGE BUT SIGNAGE DESIGN AND DETAILS HAVE NOT BEEN DETERMINED AT THIS TIME. FUTURE SIGNAGE WILL REQUIRE PERMITTING PRIOR TO INSTALLATION AND SHALL COMPLY WITH THE LOCAL REGULATIONS.
- DENSITY CALCULATION:
THE DENSITY IS BASED ON THE UNDERLYING ZONE OF THE RESIDENTIAL (R) DISTRICT. THE MINIMUM LOT SIZE FOR BUILDINGS SERVICED BY MUNICIPAL SEWER IN THIS DISTRICT IS 1 ACRE. THE TOTAL AREA FOR TAX MAP PARCELS 2-23 AND 2-21 IS 55.52 ACRES. MINIMUM OPEN SPACE REQUIRED IS 27.76 ACRES. OPEN SPACE PROVIDED IS 45.4 ACRES OR 81.8%.
- OPEN SPACE RESIDENTIAL DEVELOPMENT REQUIRES 50% OF THE GROSS PARCEL AREA TO BE SET ASIDE AS COMMON OPEN SPACE. THE TOTAL AREA FOR TAX MAP PARCELS 2-23 AND 2-21 IS 55.52 ACRES. MINIMUM OPEN SPACE REQUIRED IS 27.76 ACRES. OPEN SPACE PROVIDED IS 45.4 ACRES OR 81.8%.
- THIS OPEN SPACE DEVELOPMENT PROVIDES FOR A MINIMUM OF 100 FT. SEPARATION FROM PERIMETER OF THE PARCEL TO ALL PROPOSED STRUCTURES.
- THE PROPOSED BUILDINGS WILL NOT EXCEED THE MAXIMUM ALLOWABLE BUILDING HEIGHT OF 35 FT. OR THE MAXIMUM ALLOWABLE STORIES OF 2.5.
- THE PROJECT WILL REQUIRE A LOCAL BUILDING PERMIT. THIS PERMIT SHALL BE OBTAINED PRIOR TO NEW BUILDING CONSTRUCTION COMMENCING.
- THE FOLLOWING STATE PERMITS ARE REQUIRED FOR THIS PROJECT:
NHDES - ALTERATION OF TERRAIN PERMIT - APPROVED 1/24/2020.
NHDES - DREDGE AND FILL WETLANDS PERMIT - APPROVED 1/31/2020
NH DEPARTMENT OF TRANSPORTATION - AMENDED DRIVEWAY PERMIT GRANTED 3/6/2020
NHDES - SEWER CONNECTION PERMIT - APPROVAL GRANTED 7/23/2020.
ALL PERMITS ARE TO BE ON FILE AT THE TOWN

2-23
35.0± ACRES

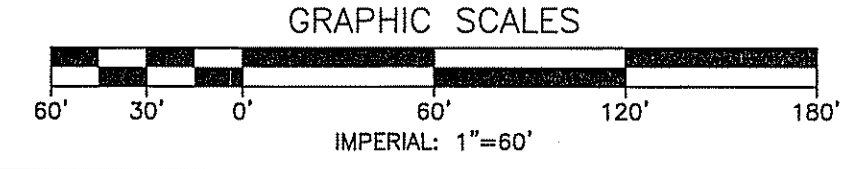
PHASING NOTE:

- THE PROJECT WILL BE CONSTRUCTED IN THREE PHASES. PHASE I WILL CONSIST OF CONSTRUCTING THE ENTRANCE AND UNITS 1-7, 22, 37-47, AND 55. PHASE I WILL ALSO REQUIRE THE CONSTRUCTION OF A GRAVEL ROAD ALONG THE PROPOSED ROAD FROM THE EXISTING APARTMENT COMPLEX TO THE ROADWAY IN FRONT OF UNIT 1 AS SHOWN. PHASE II WILL CONSIST OF CONSTRUCTING WINSLOW DRIVE AND UNITS 8-21. PHASE III WILL CONSIST OF THE CONSTRUCTION OF BARTON'S RIDGE ROAD AND SHALL INCLUDE UNITS 23-36, 48-54, THE CLUB HOUSE AND REMAINING PARKING AREAS. PHASE II AND III MAY BE SWAPPED DEPENDING ON MARKET DEMAND. A TEMPORARY TURN-AROUND SHALL BE CONSTRUCTED AT THE TERMINUS OF THE ROADS IN EACH PHASE.

APPROVED BY GREENVILLE PLANNING BOARD

ON: _____ AND
CHAIRMAN: _____
VICE CHAIRMAN: _____

2-23-1
5.458 ACRES
237,771 SQ.FT.
(FRONTAGE=893.61')



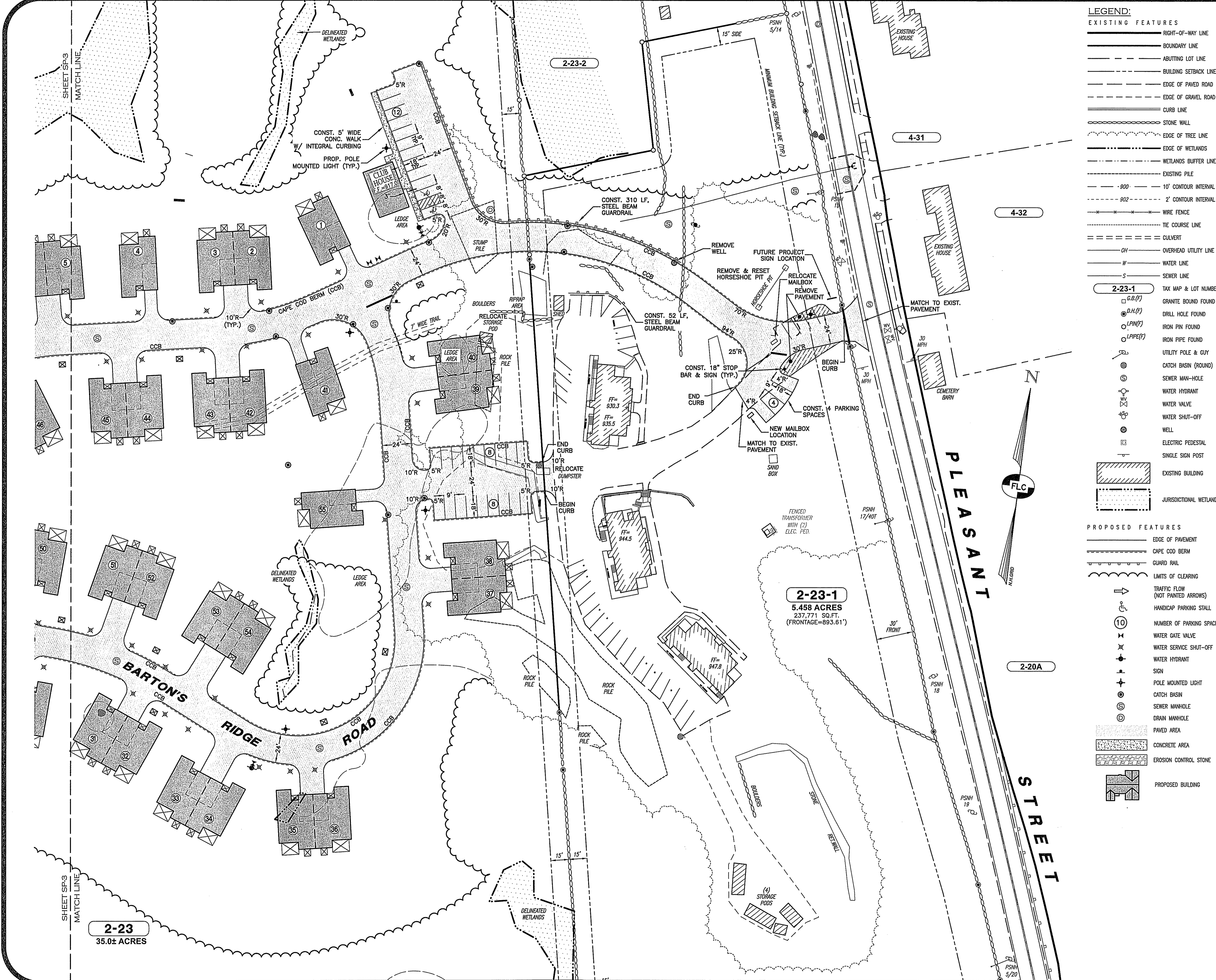
REV.	DATE	DESCRIPTION	C/O	DR	CK
G	8/30/22	REVISED LOT NUMBERS		CLR	CEB
F	11/19/20	PER 11/12/2020 PLANNING BOARD MEETING		DSL	CEB
E	8/13/20	CONDITIONS OF APPROVAL AND PERMITTING		CLR	CEB
D	6/23/20	SITE ACCESS, DES-WWEB 4/8/20 COMMENTS		NRC	CEB
C	1/23/20	ADDRESS AOT 1/22/20 EMAIL COMMENT		NRC	CEB
B	1/8/20	ADDRESS AOT (10/16/19) & UEI (10/11/19) COMMENTS		NRC	CEB
A	8/6/19	REV. PER STATE PERMITTING		PWH	CEB
REV.					

OVERALL SITE PLAN
TAX MAP 2 - LOTS 23 & 23-U01 THRU U55
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
PREPARED FOR:
GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD - HOLLIS, NH 03049

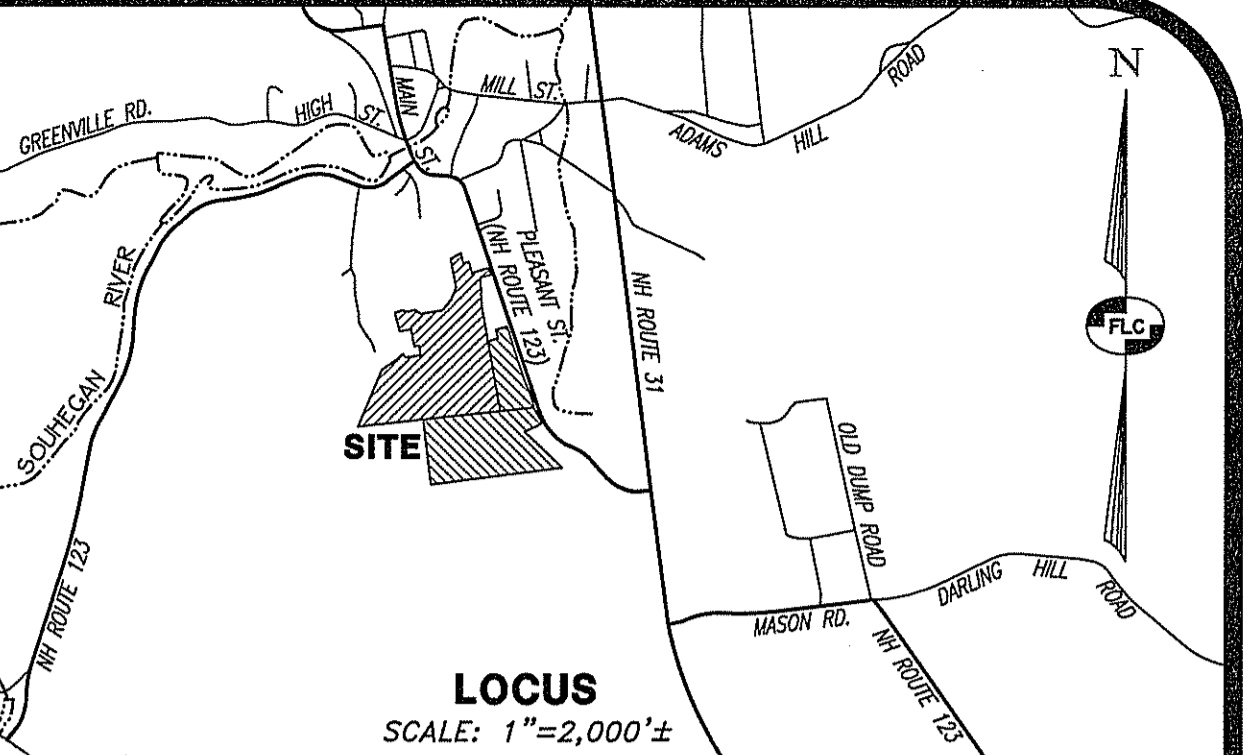
SCALE: 1" = 60' APRIL 11, 2019

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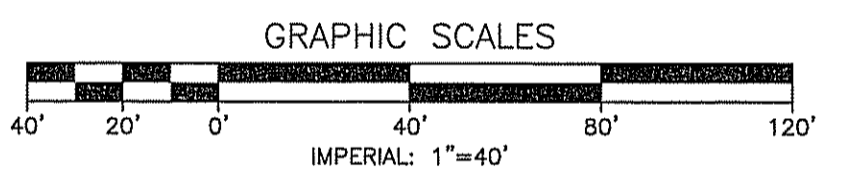
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Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - CURB LINE
 - STONE WALL
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - EXISTING PILE
 - - - 10' CONTOUR INTERVAL
 - - - 2' CONTOUR INTERVAL
 - WIRE FENCE
 - TIE COURSE LINE
 - CULVERT
 - OH — OVERHEAD UTILITY LINE
 - WATER LINE
 - S — SEWER LINE
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- G.B.(F) GRANITE BOUND FOUND
 - D.H.(F) DRILL HOLE FOUND
 - I.PIN(F) IRON PIN FOUND
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 - ⊕ SEWER MAN-HOLE
 - ⊕ WATER HYDRANT
 - ⊕ WATER VALVE
 - ⊕ WATER SHUT-OFF
 - ⊕ WELL
 - ⊕ ELECTRIC PEDESTAL
 - ⊕ SINGLE SIGN POST
 - ▨ EXISTING BUILDING
 - ▨ JURISDICTIONAL WETLANDS
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - CAPE COD BERM
 - GUARD RAIL
 - LIMITS OF CLEARING
 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - ⊕ HANDICAP PARKING STALL
 - ⊕ NUMBER OF PARKING SPACES
 - ⊕ WATER GATE VALVE
 - ⊕ WATER SERVICE SHUT-OFF
 - ⊕ WATER HYDRANT
 - ⊕ SIGN
 - ⊕ POLE MOUNTED LIGHT
 - ⊕ CATCH BASIN
 - ⊕ SEWER MANHOLE
 - ⊕ DRAIN MANHOLE
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CONTACT DIG SAFE
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OR DIAL 8 1 1
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REV.	DATE	DESCRIPTION	DR	CK
G	8/30/22	REVISED LOT NUMBERS	CLR	CEB
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REV.	DATE	DESCRIPTION	C/O	DR

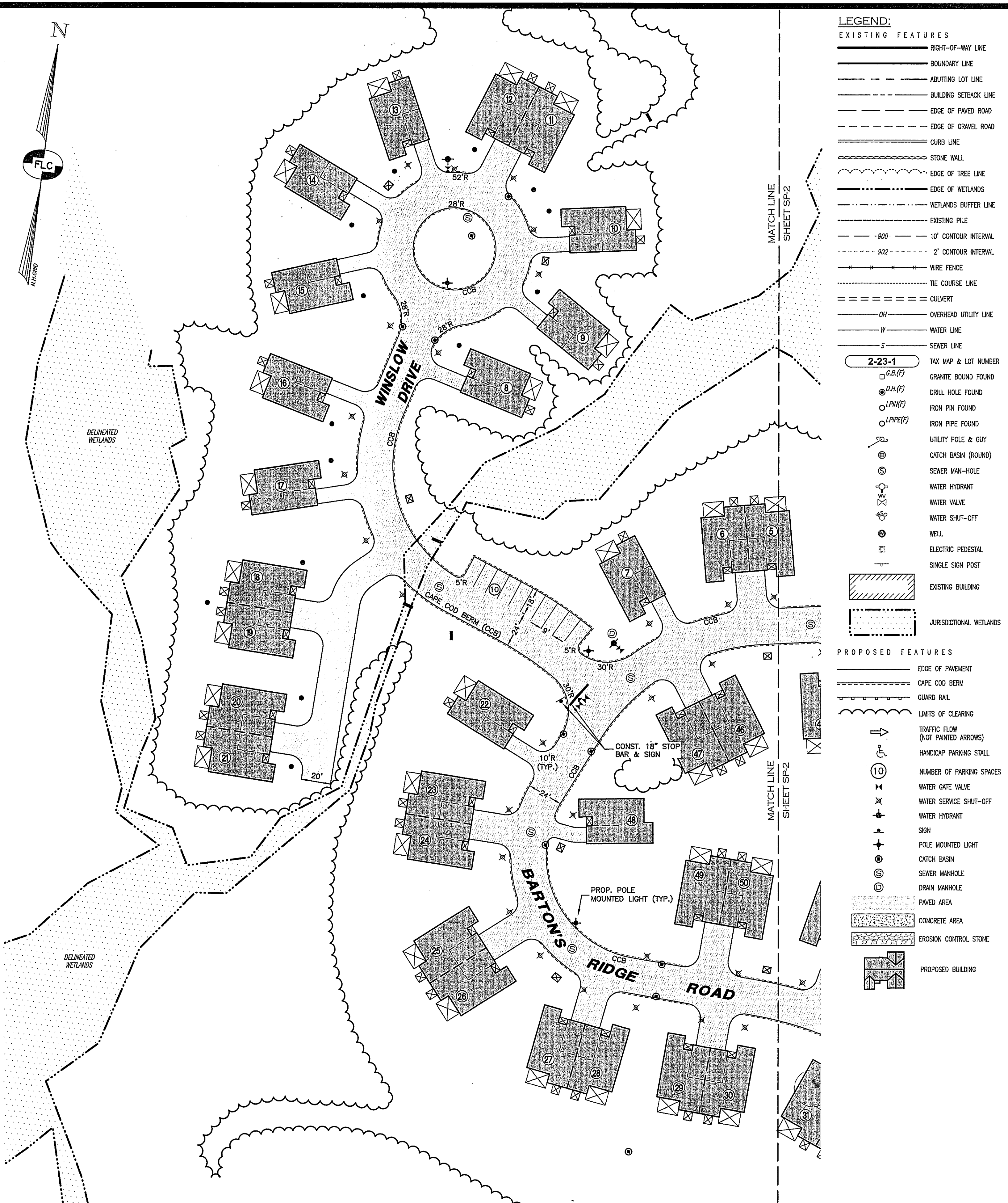
SITE PLAN 1
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SCALE: 1" = 40' APRIL 11, 2019

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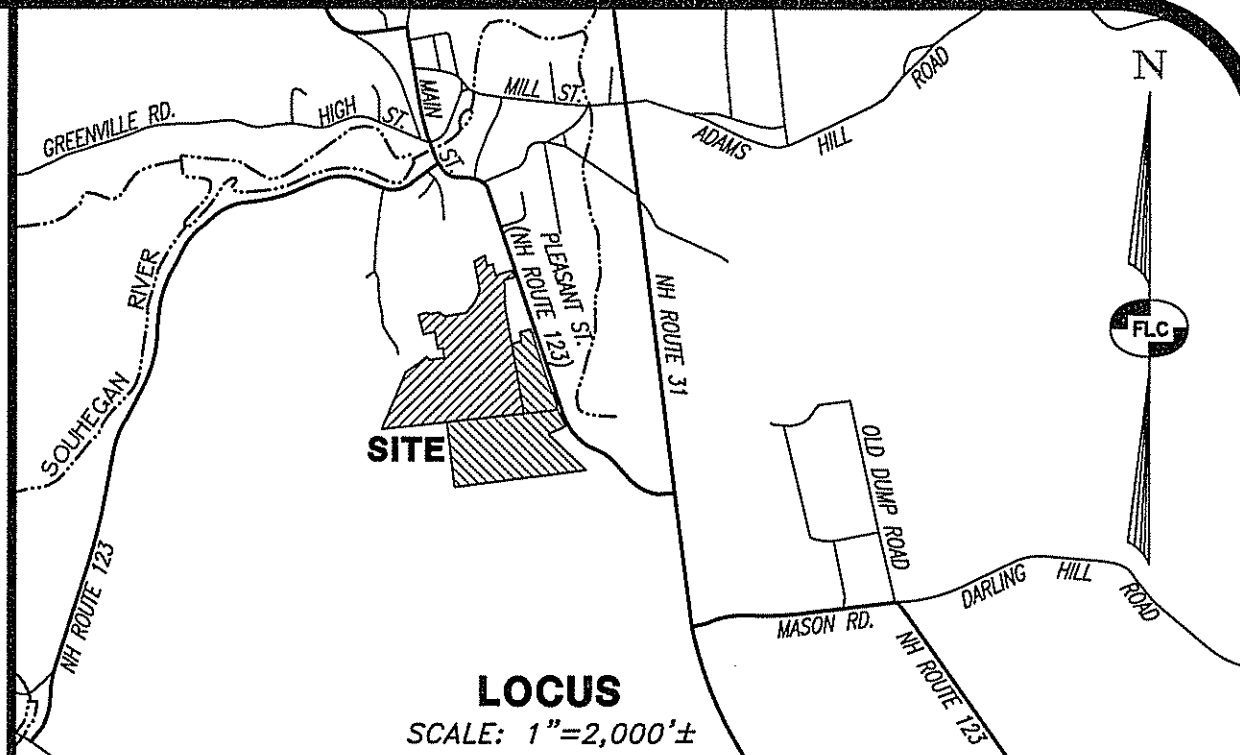
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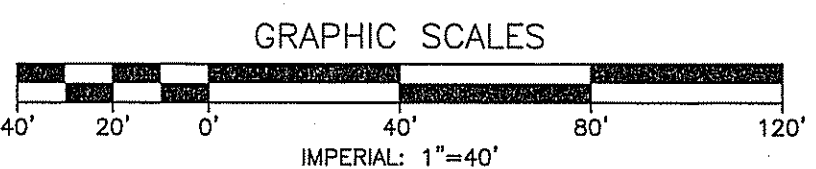


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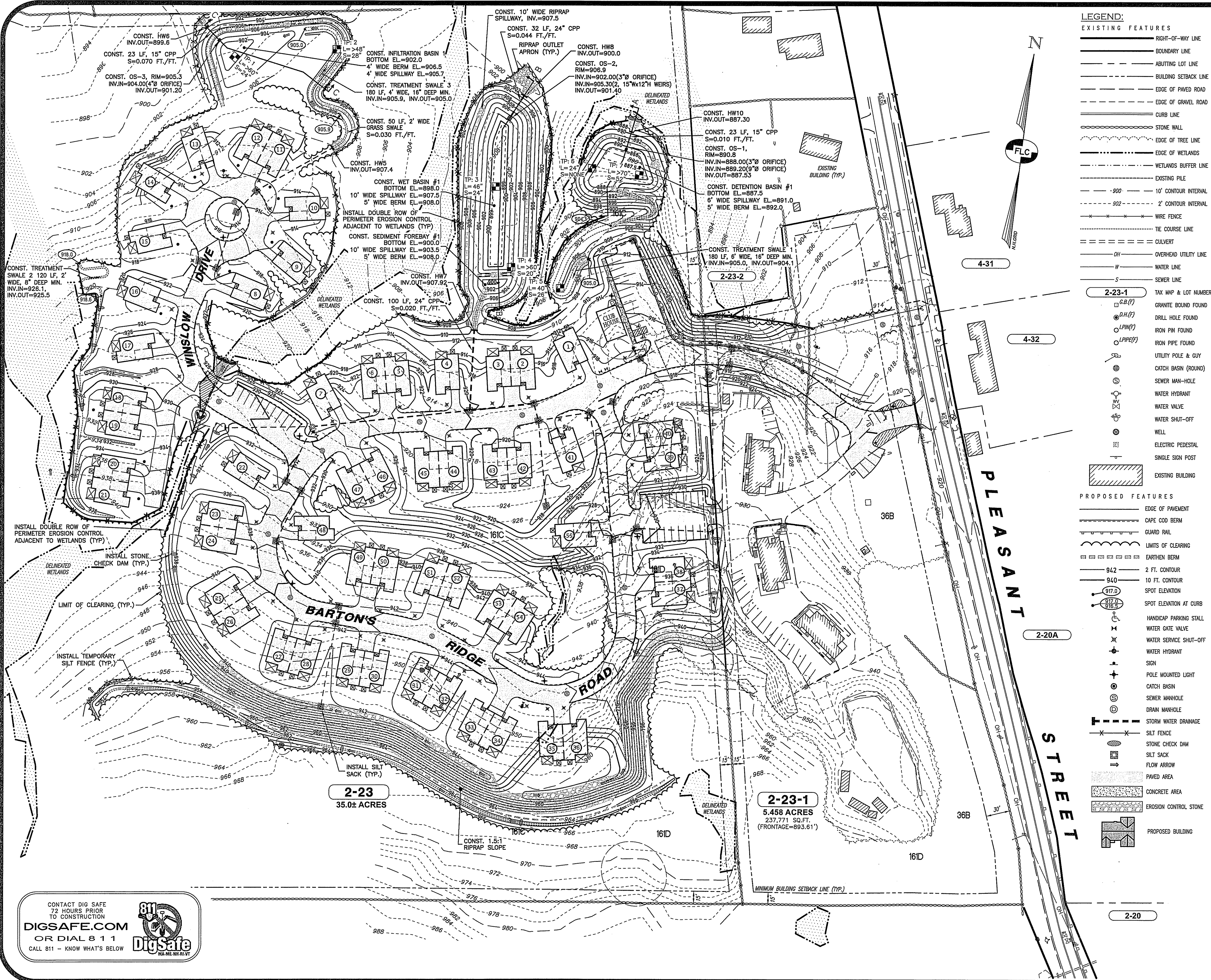
SITE PLAN 2
TAX MAP 2 - LOTS 23 & 23-U01 THRU U55
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SCALE: 1" = 40' APRIL 11, 2019

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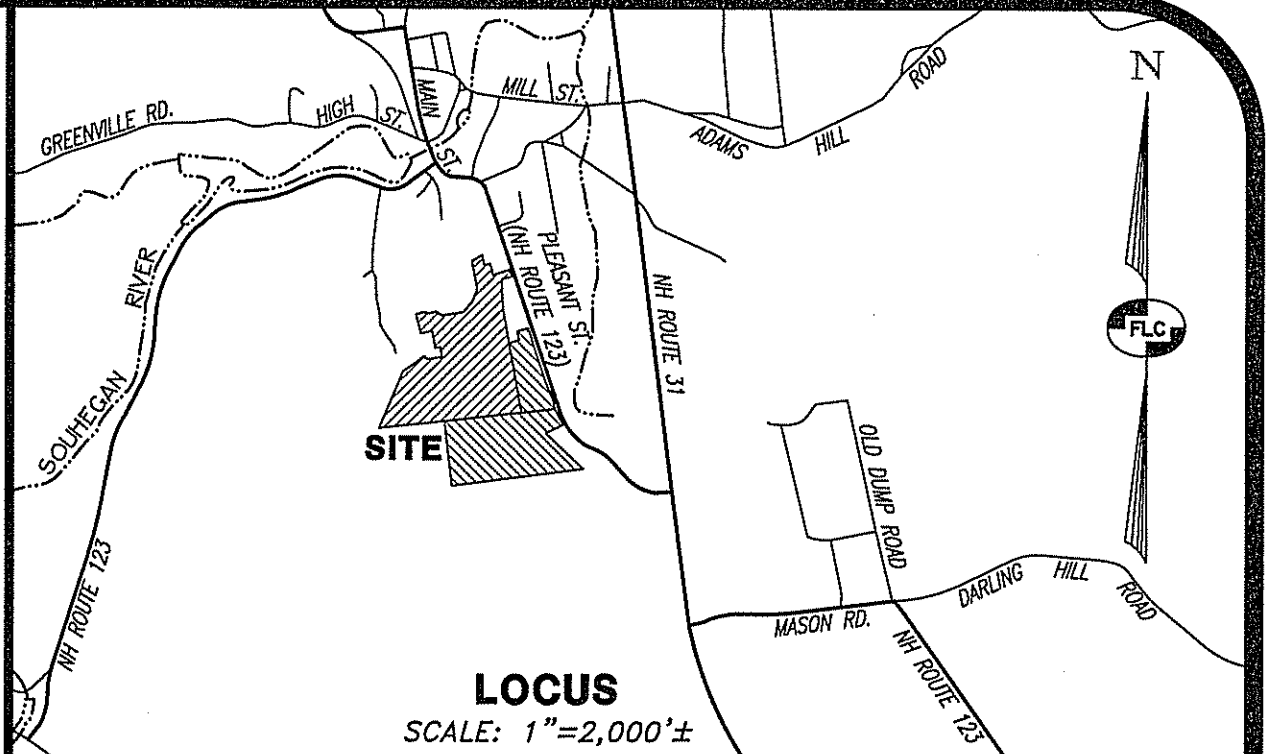


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- GUARD RAIL
- LIMITS OF CLEARING
- 942 2 FT. CONTOUR
- 940 10 FT. CONTOUR
- SPOT ELEVATION
- SPOT ELEVATION AT CURB
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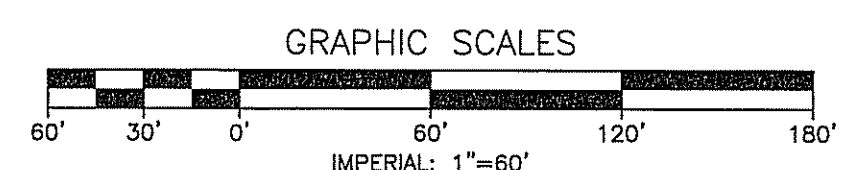


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REFERENCE PLANS:

1. "(2) LOT SUBDIVISION FOR - HENRY B. RICHARDSON - PLEASANT STREET - GREENVILLE, NEW HAMPSHIRE", SCALE 1"=20', DATED SEPTEMBER 21, 1978, BY HERBERT E. RUSSELL, SR. RECORDED AS PLAN #11660 IN THE H.C.R.D.
2. "SUBDIVISION PLAN OF - LAND OF STANLEY PUCKO HEIRS - COLUMBIAN AVE., GREENVILLE, N.H. - LAND OF JULIETTE LEBLANC - SCHOOL ST., GREENVILLE, N.H. - PREPARED FOR - MASCEVIC REGIONAL SCHOOL DISTRICT", SCALE 1"=50', DATED JUNE 29, 1983, BY ALLAN H. SWANSON, INC. RECORDED AS PLAN #15976 IN THE H.C.R.D.
3. "SUBDIVISION PLAN OF - IN - GREENVILLE, NEW HAMPSHIRE - HILLSBOROUGH COUNTY - TAX MAP 2 LOT 13 - FOR - ALEXANDER M. & ROBERT TAFT", SCALE 1"=100', DATED APRIL 26, 1999, BY SANDFORD SURVEYING AND ENGINEERING, RECORDED AS PLAN #29961 IN THE H.C.R.D.



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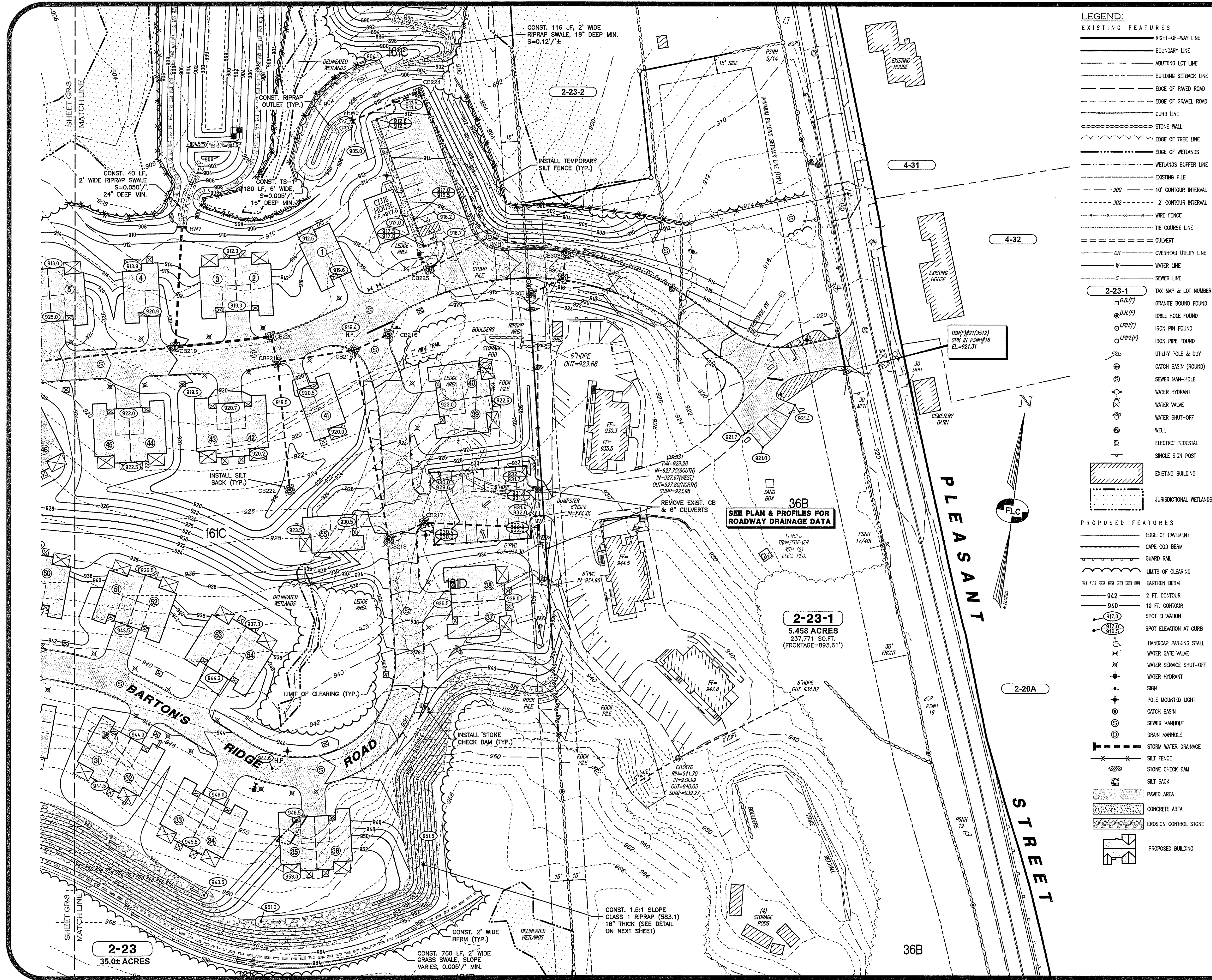
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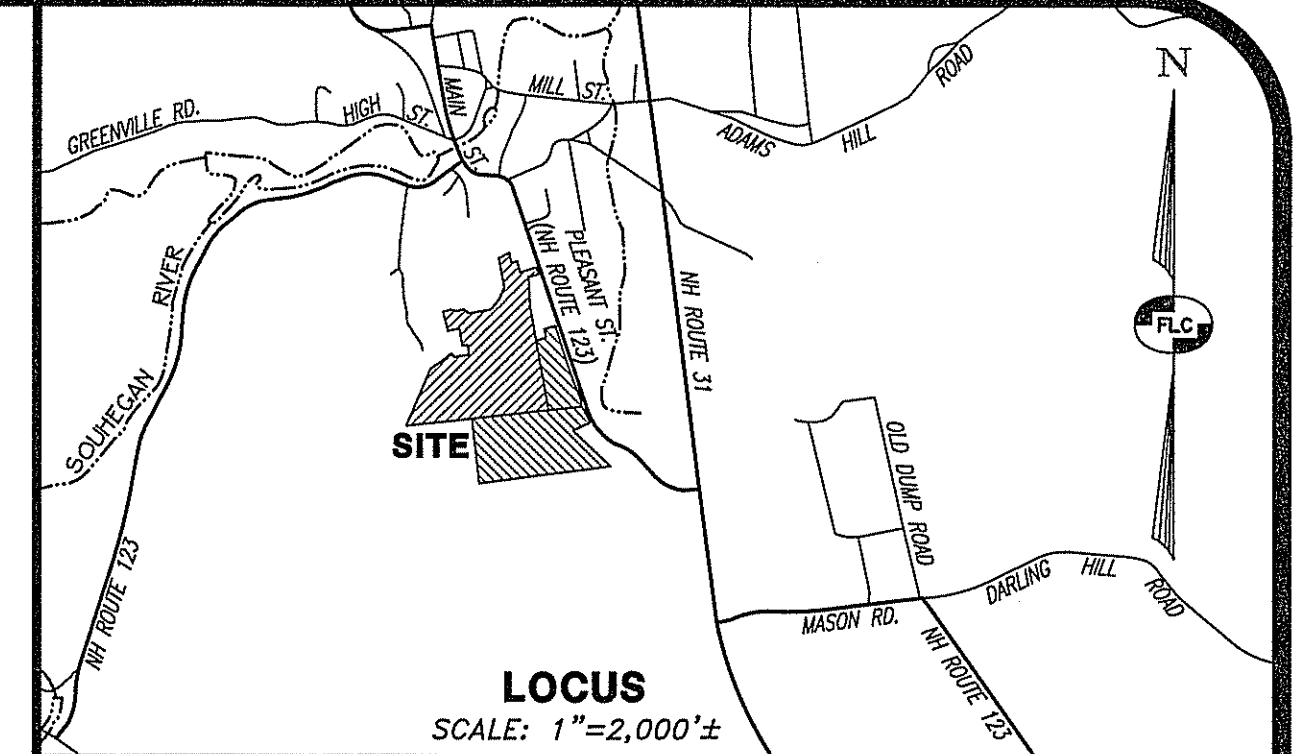
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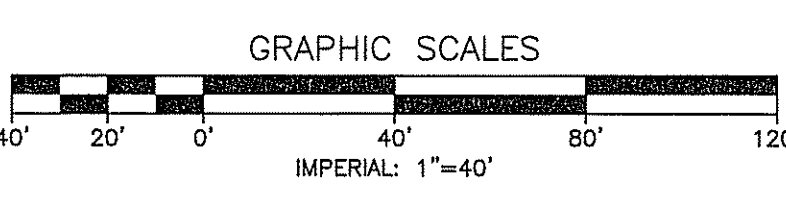


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G	8/30/22	REVISED LOT NUMBERS		CLR	CEB
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GRADING & EROSION CONTROL PLAN 1

TAX MAP 2 - LOTS 23 & 23-U01 THRU U55

77 PLEASANT STREET

GREENVILLE, NEW HAMPSHIRE

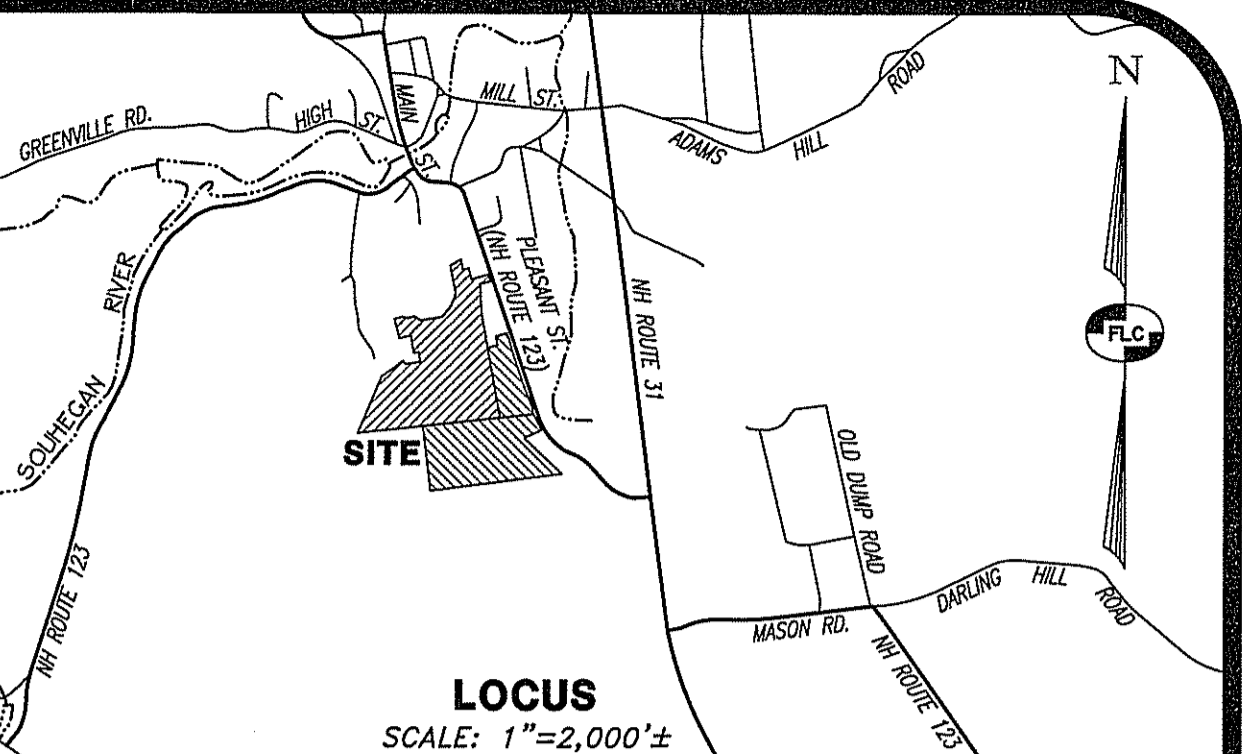
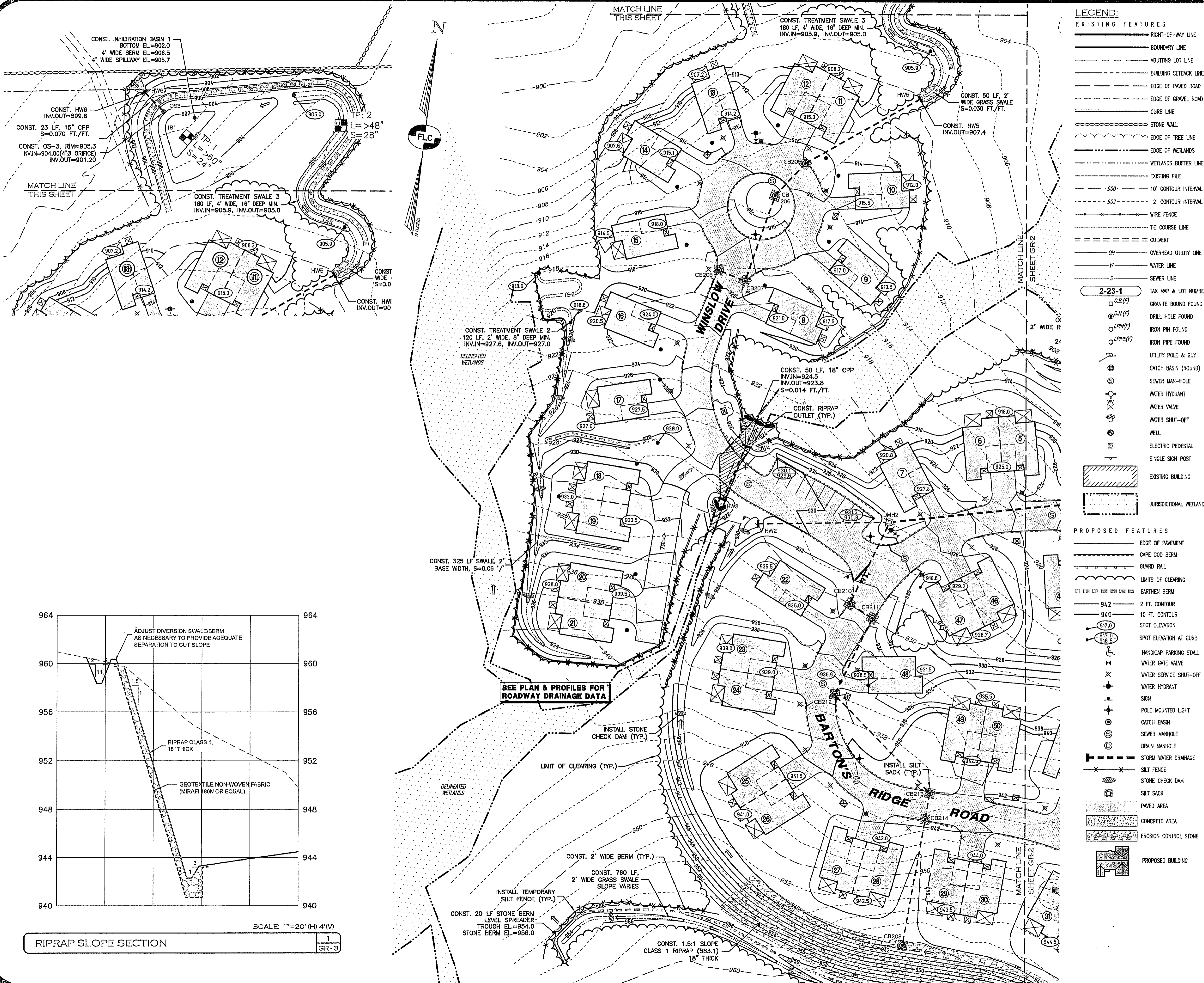
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GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD - HOLLIS, NH 03049

SCALE: 1" = 40' APRIL 11, 2019

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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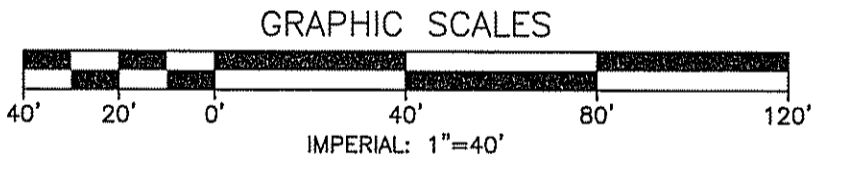
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 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - CURB LINE
 - STONE WALL
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - EXISTING PILE
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - WIRE FENCE
 - THE COURSE LINE
 - CULVERT
 - OVERHEAD UTILITY LINE
 - WATER LINE
 - SEWER LINE
- 2-23-1**
- GRANITE BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIN FOUND
 - IRON PIPE FOUND
 - UTILITY POLE & GUY
 - CATCH BASIN (ROUND)
 - SEWER MAN-HOLE
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - WELL
 - ELECTRIC PEDESTAL
 - SINGLE SIGN POST
 - EXISTING BUILDING
 - JURISDICTIONAL WETLANDS
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - CAPE COD BERM
 - GUARD RAIL
 - LIMITS OF CLEARING
 - EARTHEN BERM
 - 2 FT. CONTOUR
 - 10 FT. CONTOUR
 - SPOT ELEVATION
 - SPOT ELEVATION AT CURB
 - HANDICAP PARKING STALL
 - WATER GATE VALVE
 - WATER SERVICE SHUT-OFF
 - WATER HYDRANT
 - SIGN
 - POLE MOUNTED LIGHT
 - CATCH BASIN
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - STORM WATER DRAINAGE
 - SILT FENCE
 - STONE CHECK DAM
 - SILT SACK
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REV.					CK

GRADING & EROSION CONTROL PLAN 2

TAX MAP 2 - LOTS 23 & 23-U01 THRU U55

77 PLEASANT STREET

GREENVILLE, NEW HAMPSHIRE

PREPARED FOR:

GIMAK PROPERTIES, LLC

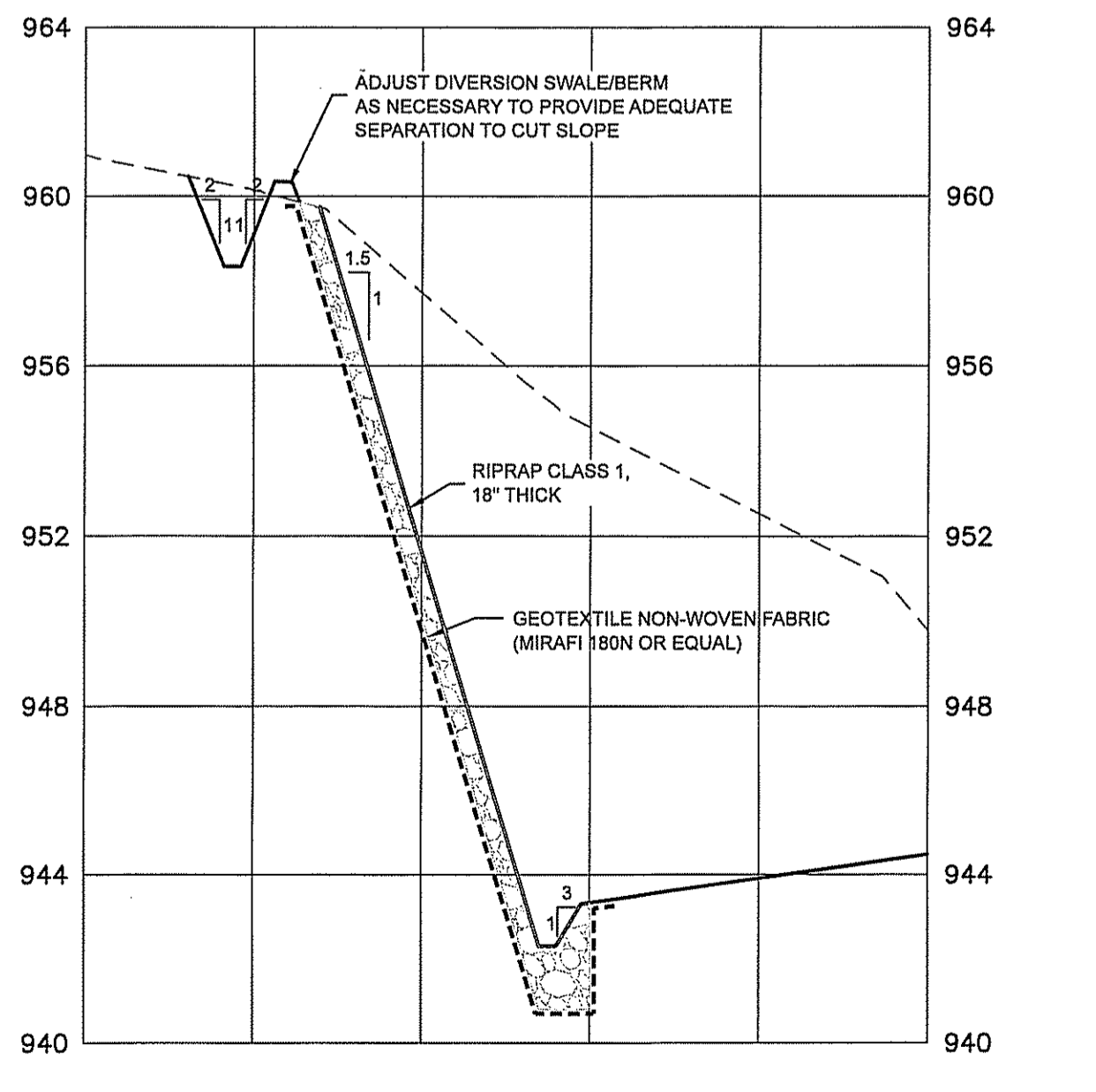
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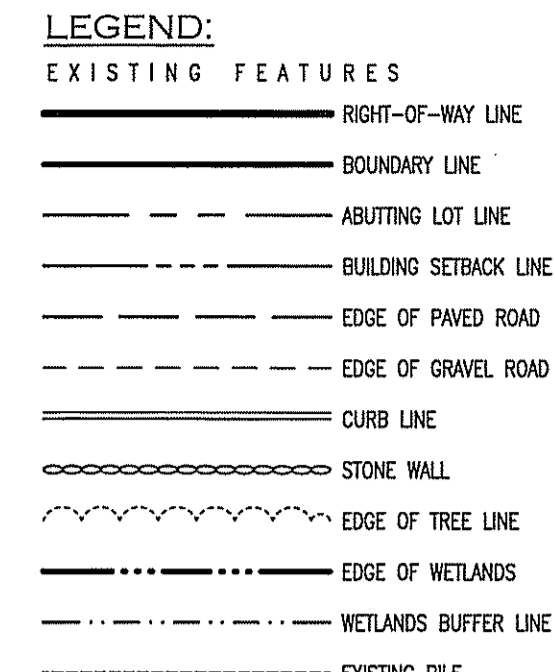
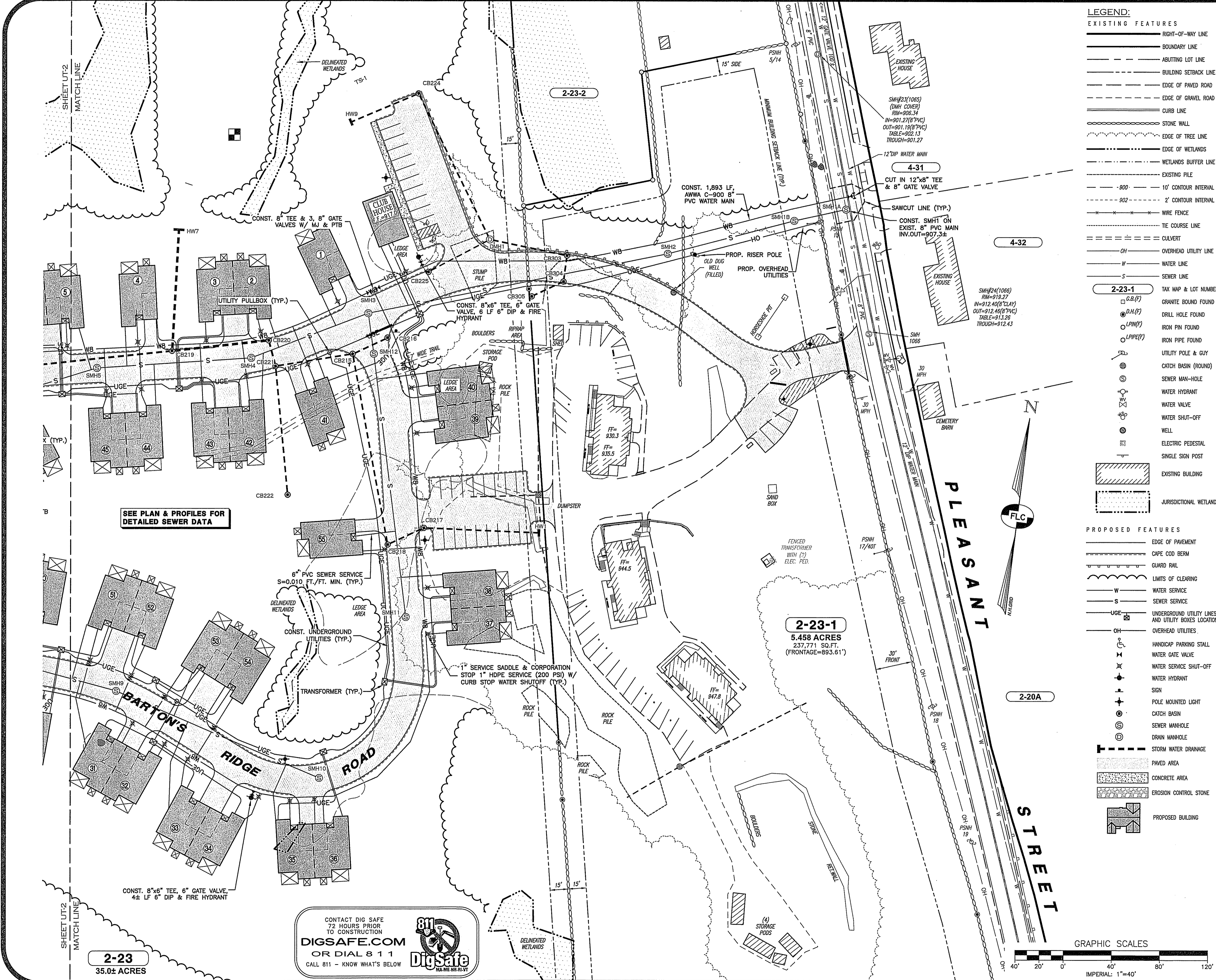
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RIPRAP SLOPE SECTION

1
GR-3

SEE PLAN & PROFILES FOR ROADWAY DRAINAGE DATA



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 - THE CONTRACTOR SHALL COORDINATE THE UTILITY CONNECTIONS WITH THE TOWN OF GREENVILLE WATER AND SEWER DEPARTMENTS. THE SEWER FLOW IN THE EXISTING SEWER SHALL BE MAINTAINED THROUGH BYPASS PUMPING OR OTHER ACCEPTABLE MEANS DURING SEWER CONNECTION.
 - AN NHDOT EXCAVATION PERMIT WILL BE REQUIRED FOR WORK WITHIN THE PLEASANT STREET (NH RTE 123) RIGHT OF WAY. THE CONTRACTOR SHALL COORDINATE WITH NHDOT REGARDING INSPECTIONS DURING THE WORK IN PLEASANT STREET.
 - EXISTING PAVEMENT MARKINGS SHALL BE REPAINTED FOLLOWING CONSTRUCTION.
 - THE STONE WALL ALONG PLEASANT STREET SHALL BE RESTORED TO EXISTING CONDITIONS.
 - INSTALLATION OF BACK FLOW PREVENTION DEVICES (LOCATION & STYLE) SHALL BE APPROVED BY GREENVILLE WATER DEPARTMENT.
 - INSTALLATION OF WATER METERS DEVICES (LOCATION & STYLE) SHALL BE APPROVED BY GREENVILLE WATER DEPARTMENT.
 - BACTERIA TESTS ARE REQUIRED FOR ALL WATER MAINS AND SERVICES 1 INCH AND GREATER.
 - THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR THE WORK IN PLEASANT STREET AND SUBMIT THE PLAN TO THE POLICE AND FIRE DEPARTMENTS FOR REVIEW PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 24 HOUR NOTICE TO THE OWNER OF LOT 4-31 PRIOR TO THE START OF UTILITY CONSTRUCTION IN PLEASANT STREET. A COPY OF THE NOTICE TO THE SHALL BE PROVIDED TO THE TOWN.
 - THE GRAVITY SEWER MAINS SHALL BE TESTED IN ACCORDANCE WITH NHDES ENV-WQ 704.06. THE PROPOSED FORCE MAINS SHALL BE TESTED IN ACCORDANCE WITH NHDES ENV-WQ 704.09.

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 - S SEWER LINE
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UTILITY PLAN 1
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77 PLEASANT STREET
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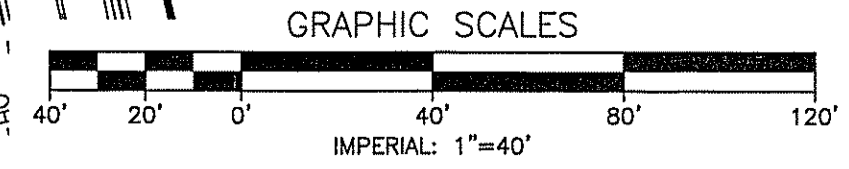
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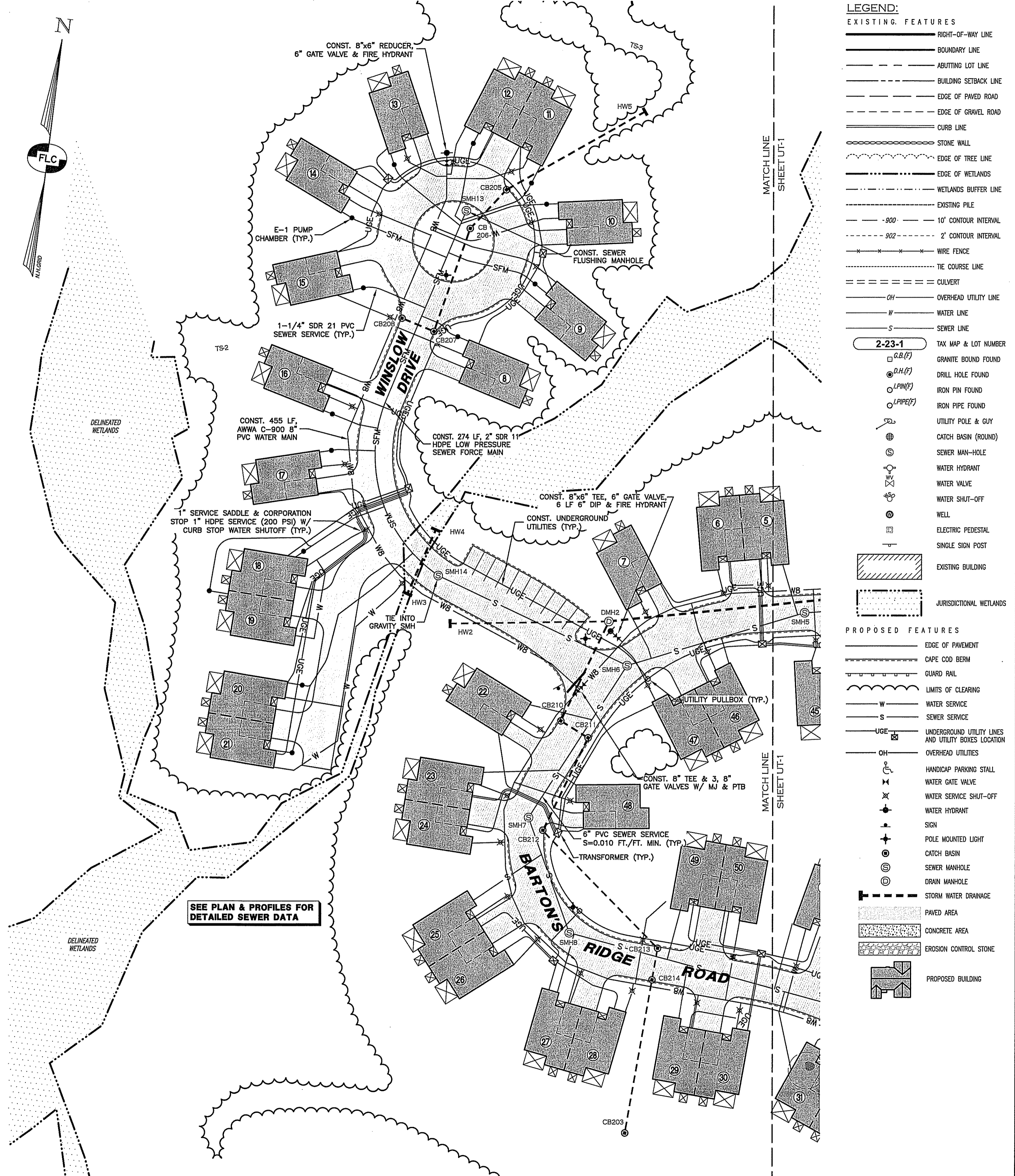
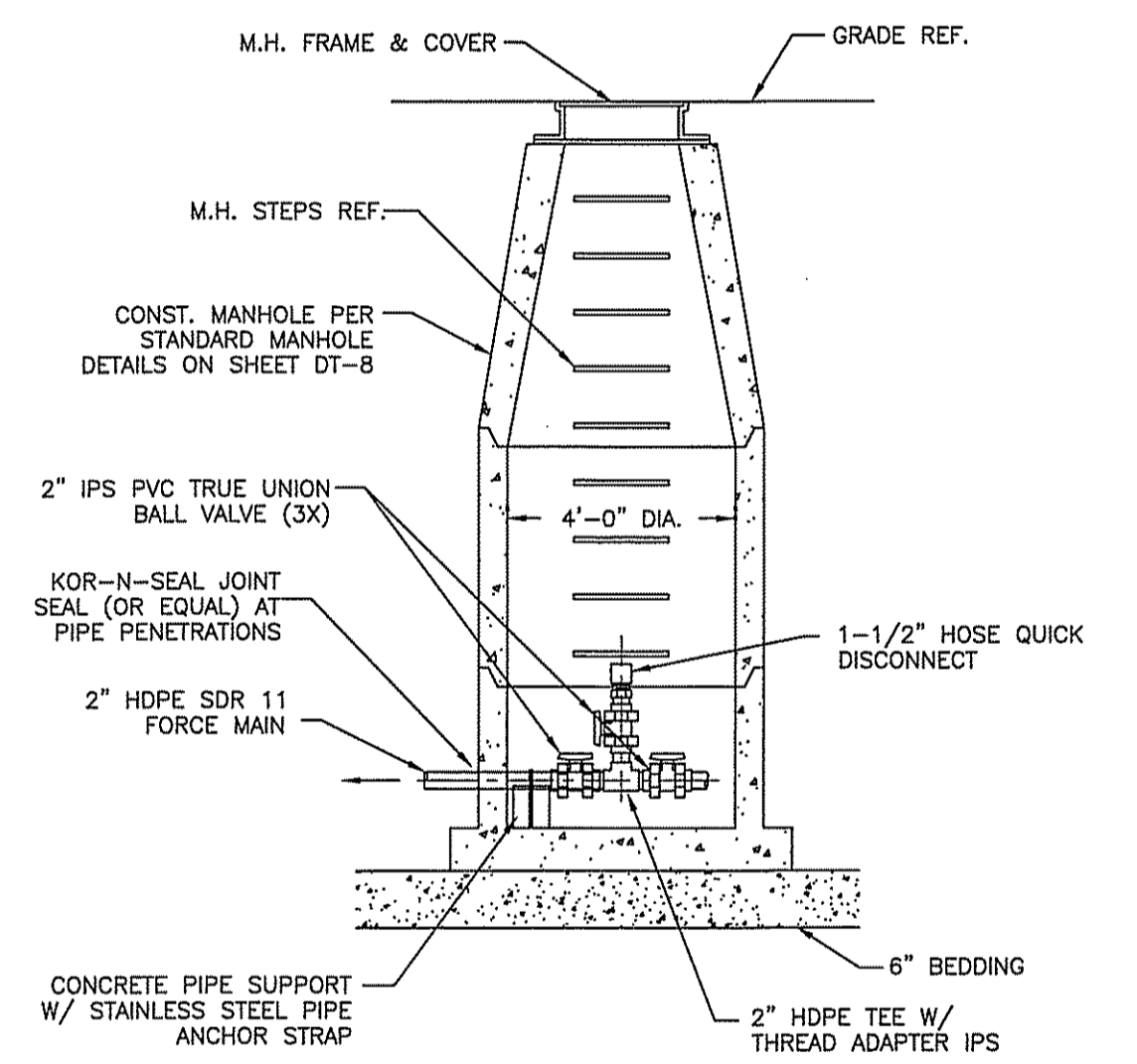
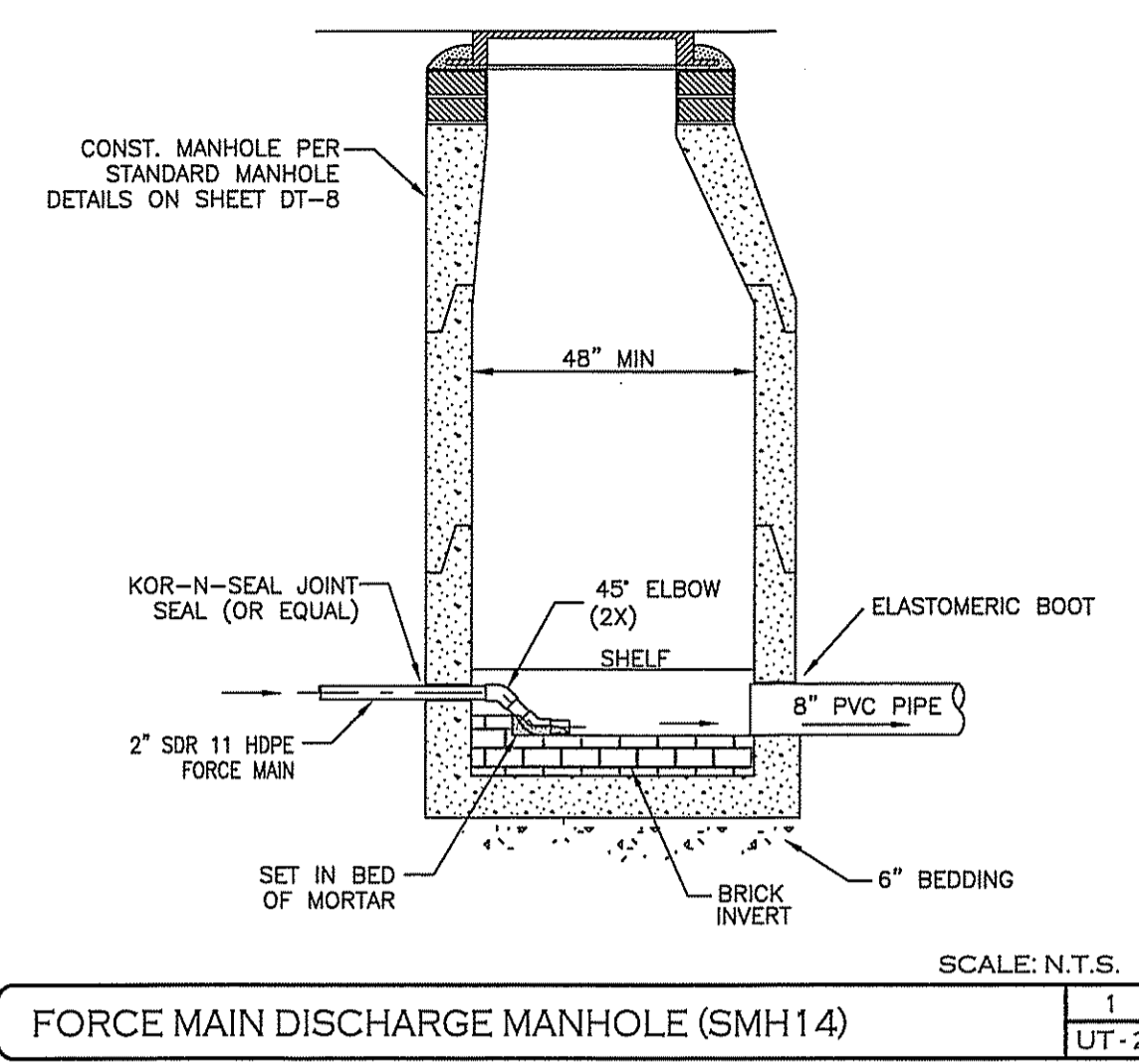
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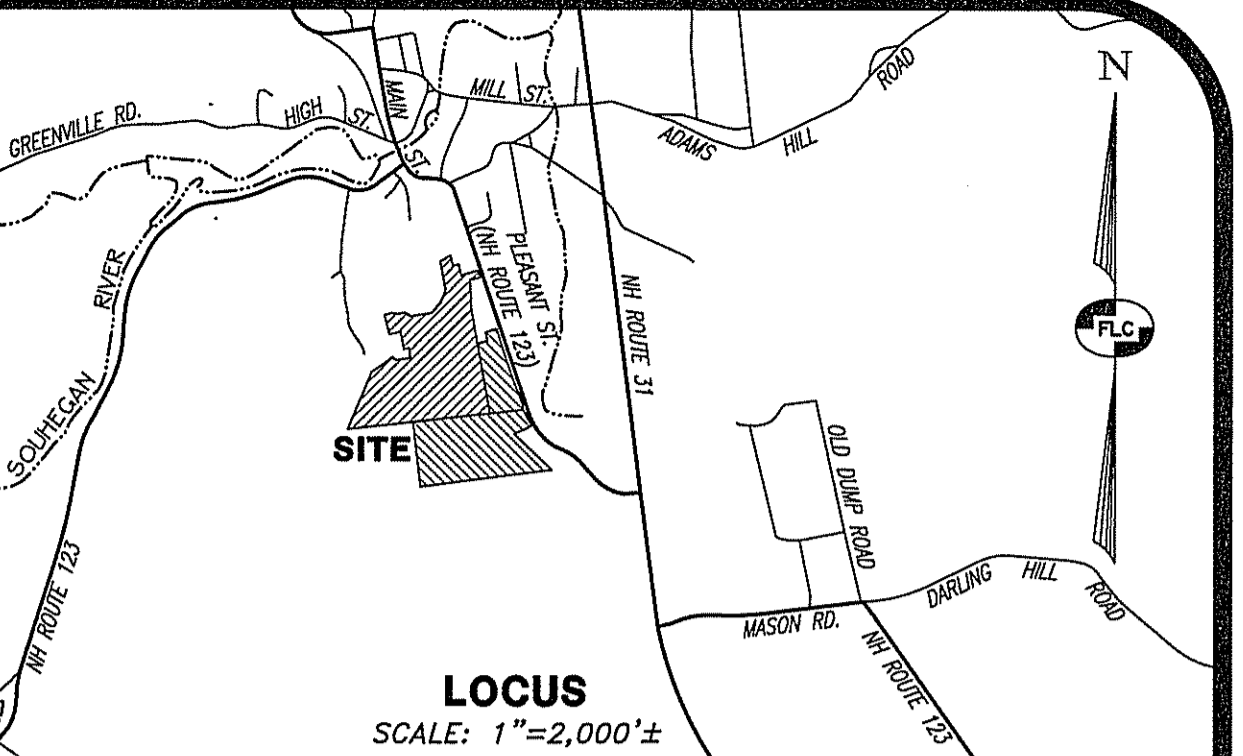
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2-23
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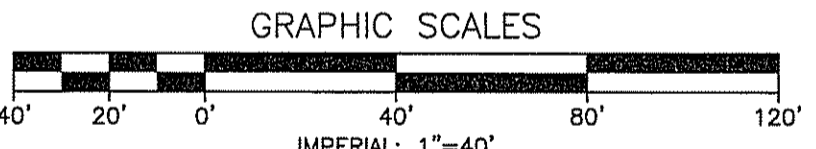


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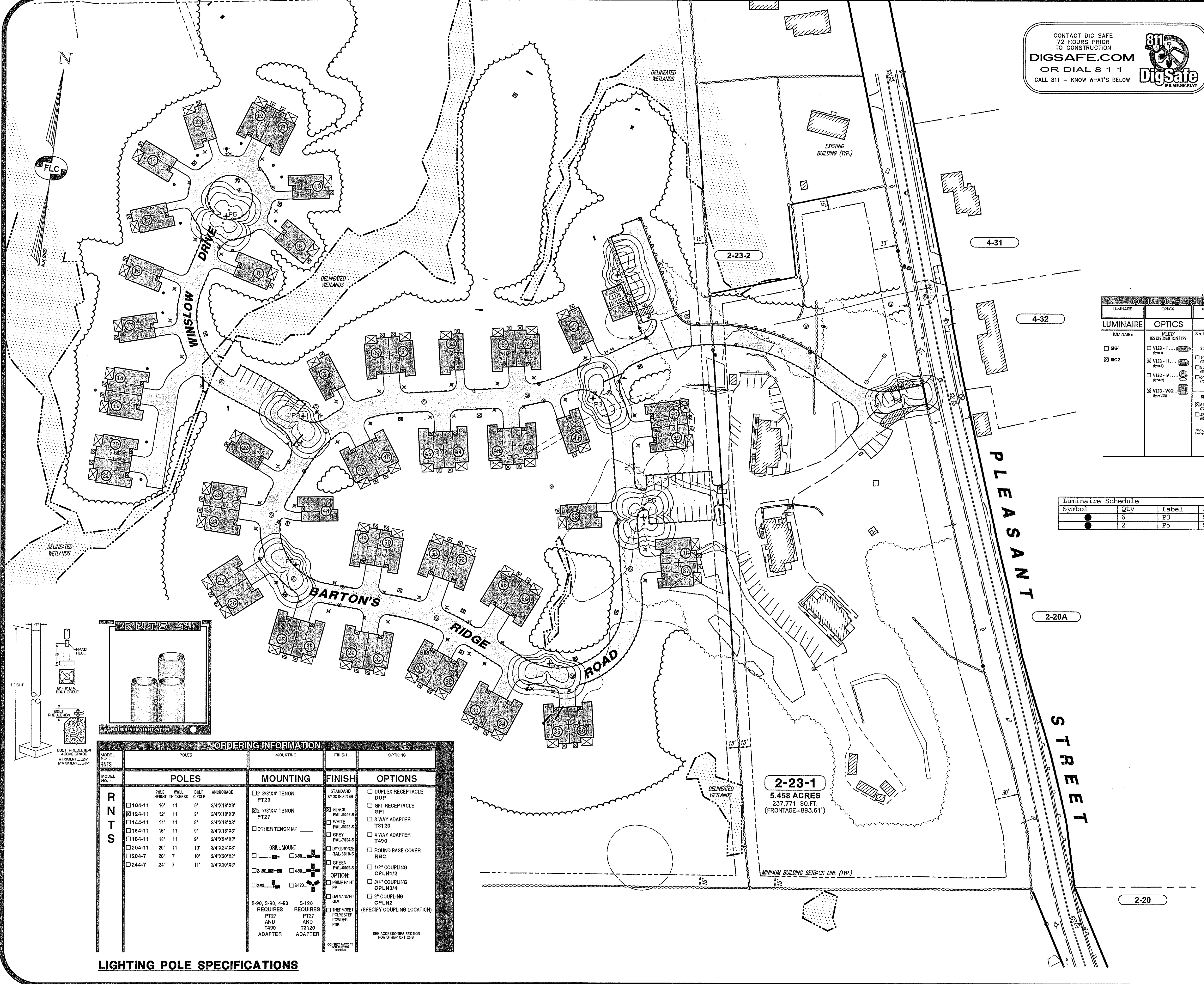
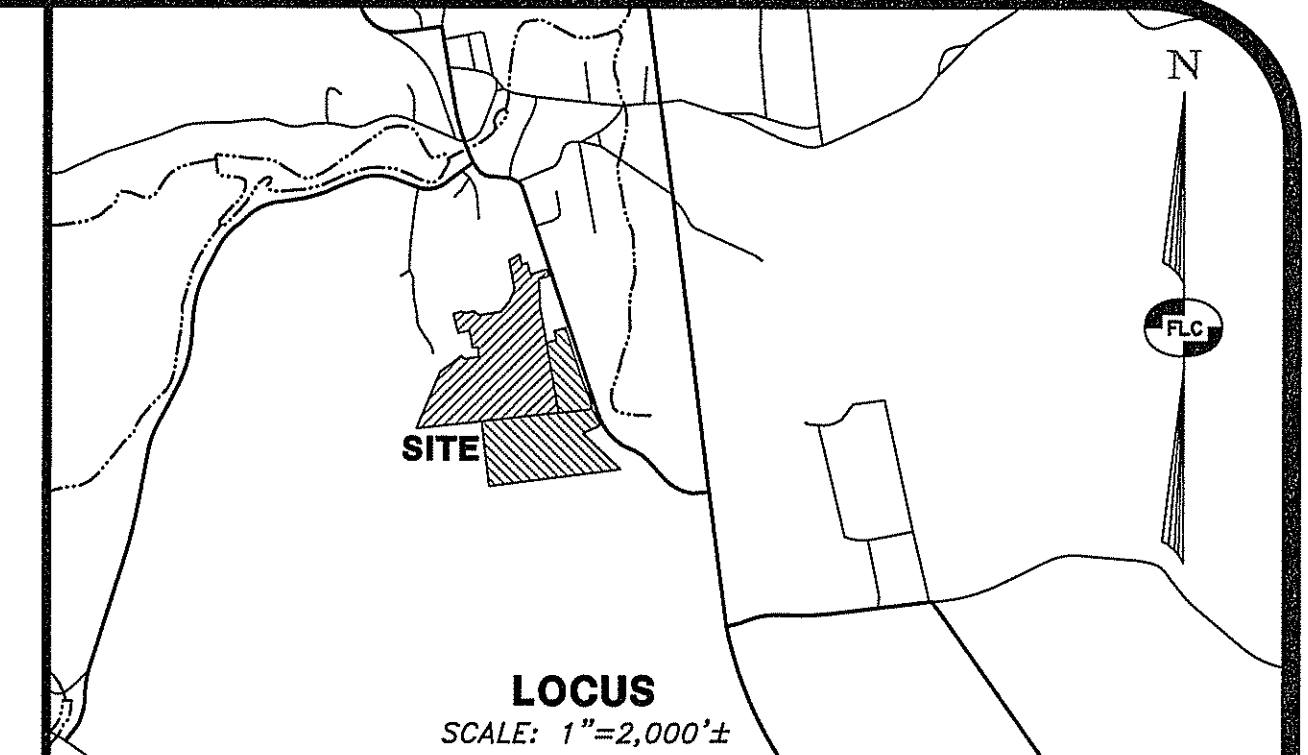
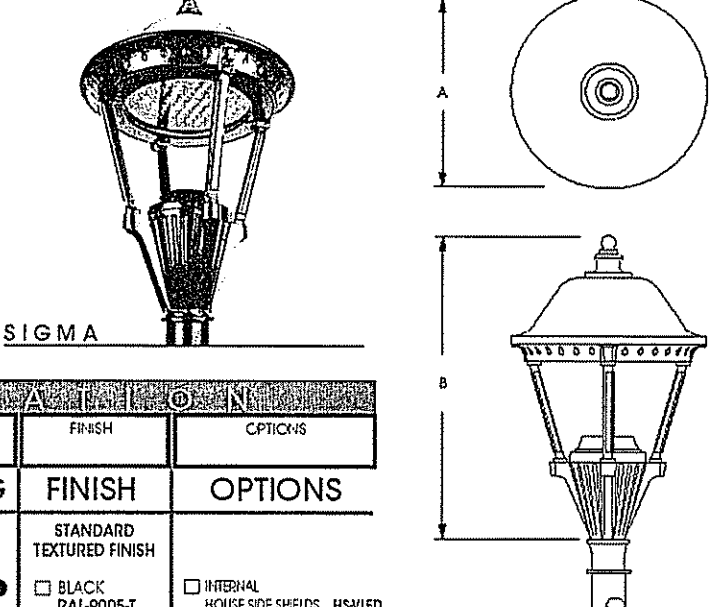
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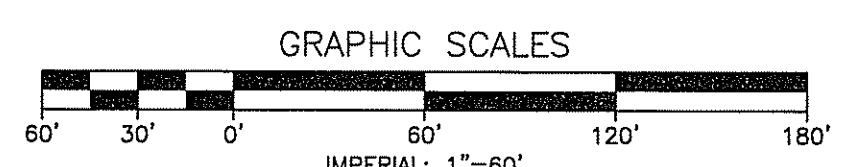
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LUMINAIRE	OPTICS	LED	MOUNTING	FINISH	OPTIONS
<input type="checkbox"/> SIG1 <input checked="" type="checkbox"/> SIG2	<input type="checkbox"/> VLED-I <input checked="" type="checkbox"/> VLED-II <input type="checkbox"/> VLED-III <input type="checkbox"/> VLED-IV <input checked="" type="checkbox"/> VLED-VSQ	No. LEDs: <input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 347 <input type="checkbox"/> 480 COLOR: <input type="checkbox"/> NW (4000K) <input type="checkbox"/> CW (5000K) <input type="checkbox"/> WW (6000K) <input type="checkbox"/> CW (6000K) <input type="checkbox"/> WW (6000K) <input type="checkbox"/> 64LED (5700mK) <input type="checkbox"/> 64LED (5700mK)	ARM MOUNT: <input type="checkbox"/> 1 <input type="checkbox"/> 2-180 <input type="checkbox"/> 2-90 <input type="checkbox"/> 3-90 <input type="checkbox"/> 3-120 <input type="checkbox"/> 4-90 <input type="checkbox"/> WALL MOUNT <input type="checkbox"/> WM	STANDARD TEXTURED FINISH: <input type="checkbox"/> BLACK RAL-9005-T <input type="checkbox"/> WHITE RAL-9008-T <input type="checkbox"/> GREY RAL-7004-T <input type="checkbox"/> DARK BRONZE RAL-8019-T <input type="checkbox"/> GREEN RAL-6005-T <input type="checkbox"/> POLYURETHANE RAL-9005-T <input type="checkbox"/> POLYURETHANE RAL-9005-T <input type="checkbox"/> POLYURETHANE RAL-9005-T <input type="checkbox"/> POLYURETHANE RAL-9005-T	<input type="checkbox"/> INTERNAL HOUSE SIDE SHEETS, REWIRED <input type="checkbox"/> DIMMABLE DRIVER (0-10V) DIM <input type="checkbox"/> HIGHLOW BURNING FOR HIGHTEMPERATURE MOUNTING <input type="checkbox"/> HIGHLOW BURNING FOR HIGHTEMPERATURE MOUNTING <input type="checkbox"/> FINISH COAT - VOLTAGE (VARIABLE FACTOR) - FCV <input type="checkbox"/> POLYURETHANE RAL-9005-T <input type="checkbox"/> POLYURETHANE RAL-9005-T <input type="checkbox"/> POLYURETHANE RAL-9005-T <input type="checkbox"/> POLYURETHANE RAL-9005-T

LIGHTING FIXTURE SPECIFICATIONS (OR EQUAL)

Symbol	Qty	Label	Arrangement	Description
●	6	P3	SINGLE	SIG2-VLED-II-64LED-NW-525-PT / RNTS-124-11-PT27-BLACK (12' POLE)
●	2	P5	SINGLE	SIG2-VLED-V-SQ-64LED-NW-525 / RNTS-124-11-PT27-BLACK (12' POLE)



SEE SHEET SP-2 FOR LEGEND

REV.	DATE	DESCRIPTION	C/O	DR	CK
G	8/30/22	REVISED LOT NUMBERS		CLR	CEB
F	8/24/22	AMENDED UNIT LOCATION AND PHASING		CLR	CEB
E	8/13/20	CONDITIONS OF APPROVAL AND PERMITTING		CLR	CEB
D	6/23/20	SITE ACCESS, DES-WWEB 4/8/20 COMMENTS		NRC	CEB
C	1/23/20	ADDRESS AOT 1/22/20 EMAIL COMMENT		NRC	CEB
B	1/8/20	ADDRESS AOT (10/16/19) & UEI (10/11/19) COMMENTS		NRC	CEB
A	8/6/19	REV. PER STATE PERMITTING		PWH	CEB
REV.					

LIGHTING PLAN

TAX MAP 2 - LOTS 23 & 23-U01 THRU U55
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
PREPARED FOR:
GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD - HOLLIS, NH 03049

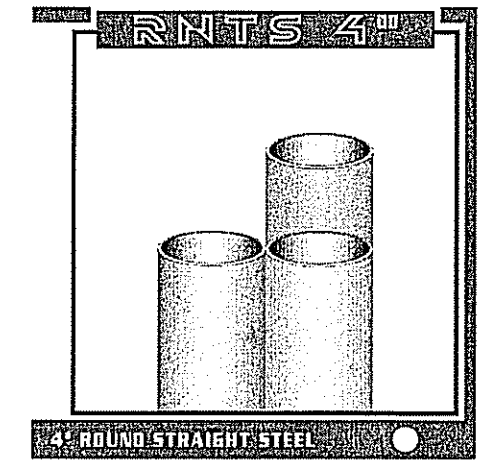
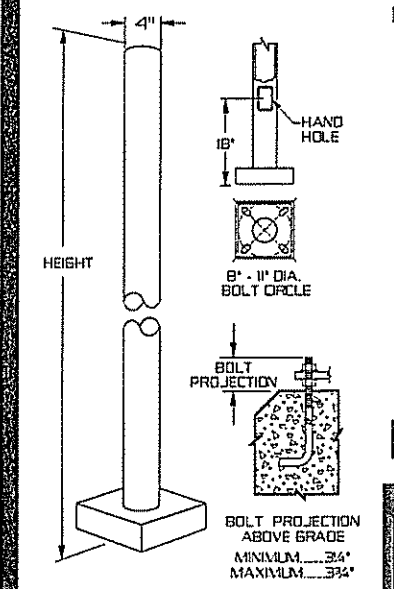
SCALE: 1" = 60' APRIL 11, 2019

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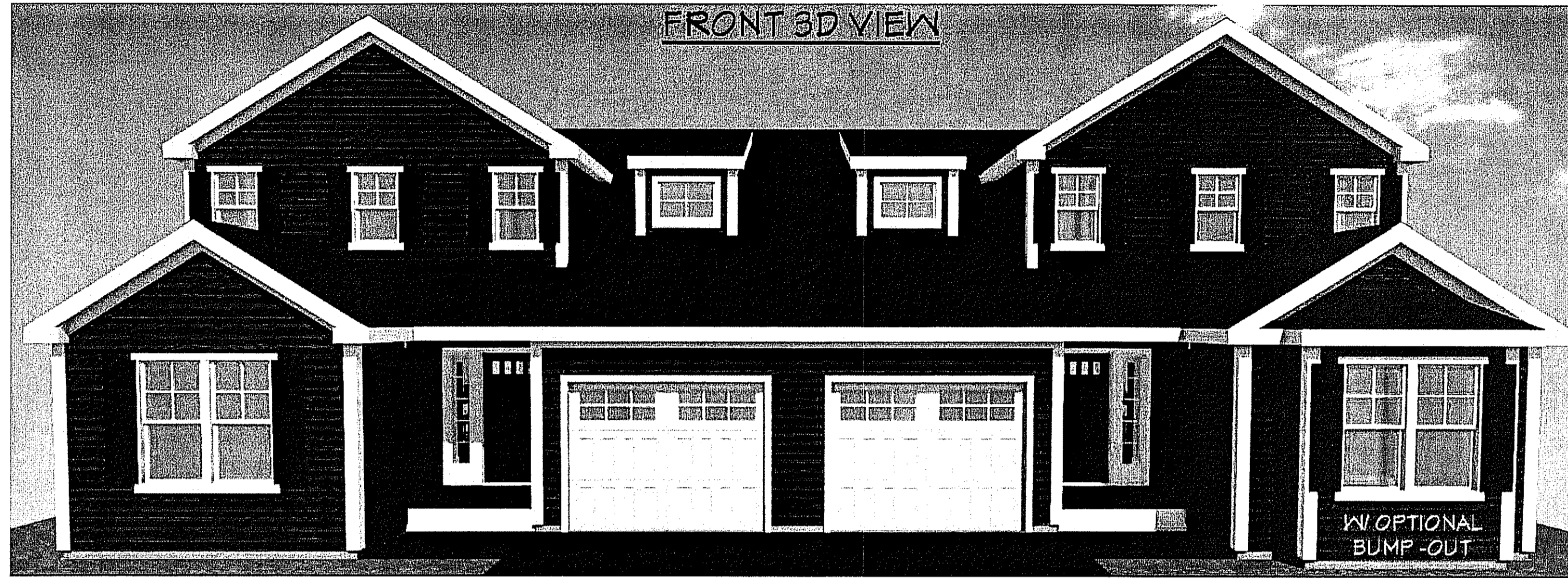
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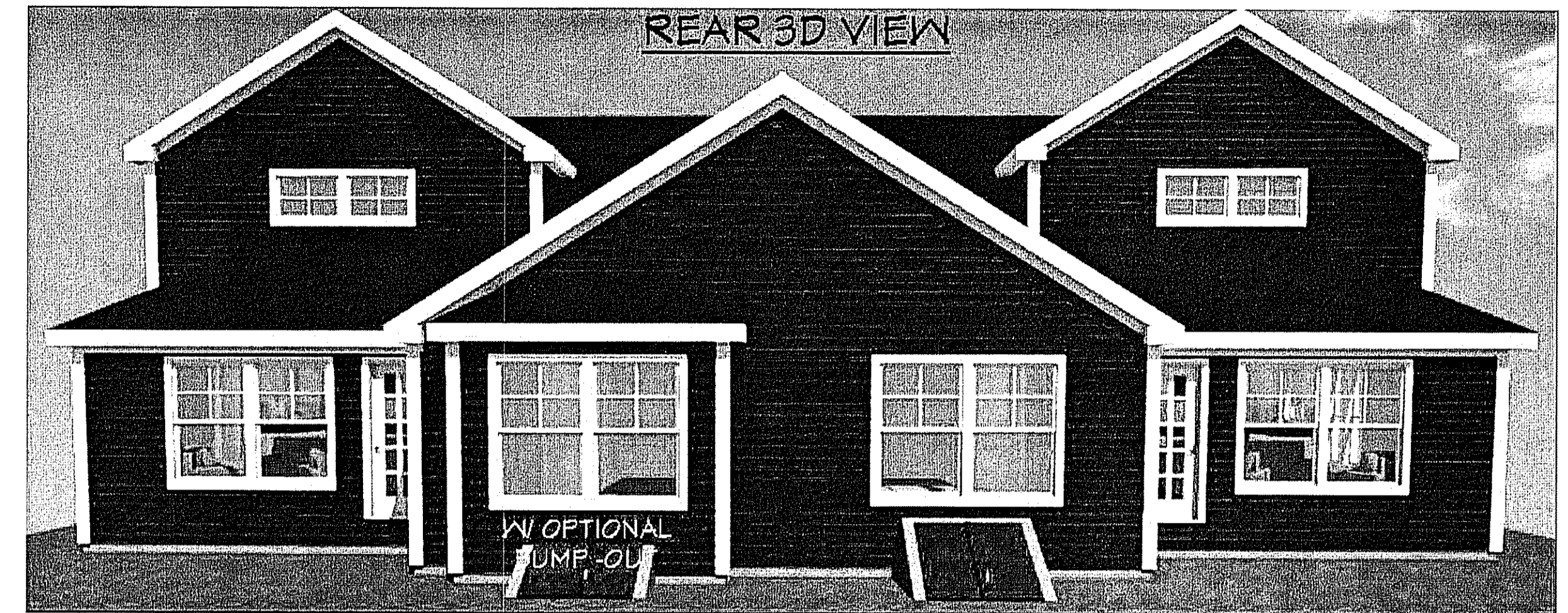
ORDERING INFORMATION

MODEL NO.	POLES	MOUNTING	FINISH	OPTIONS
RNTS	POLE HEIGHT THICKNESS BOLT CIRCLE ANCHORAGE <input type="checkbox"/> 104-11 10' 11 9" 3/4" X 18" X 3" <input checked="" type="checkbox"/> 124-11 12' 11 9" 3/4" X 18" X 3" <input type="checkbox"/> 144-11 14' 11 9" 3/4" X 18" X 3" <input type="checkbox"/> 164-11 16' 11 9" 3/4" X 18" X 3" <input type="checkbox"/> 184-11 18' 11 9" 3/4" X 24" X 3" <input type="checkbox"/> 204-11 20' 11 10" 3/4" X 24" X 3" <input type="checkbox"/> 204-7 20' 7 10" 3/4" X 30" X 3" <input type="checkbox"/> 244-7 24' 7 11" 3/4" X 30" X 3"	<input type="checkbox"/> 2 3/8" X 4" TENON PT23 <input checked="" type="checkbox"/> 2 7/8" X 4" TENON PT27 <input type="checkbox"/> OTHER TENON MT <input type="checkbox"/> DRILL MOUNT <input type="checkbox"/> 2-90 <input type="checkbox"/> 3-90 <input type="checkbox"/> 4-90 <input type="checkbox"/> 2-90, 3-90, 4-90 REQUIRES PT27 AND T490 ADAPTER <input type="checkbox"/> 3-120 REQUIRES PT27 AND T3120 ADAPTER	STANDARD SMOOTH FINISH <input checked="" type="checkbox"/> BLACK RAL-9005-S <input type="checkbox"/> WHITE RAL-9008-S <input type="checkbox"/> GREY RAL-7004-S <input type="checkbox"/> DARK BRONZE RAL-8019-S <input type="checkbox"/> GREEN RAL-6005-S OPTION: <input type="checkbox"/> PRIME PAINT PP <input type="checkbox"/> GALVANIZED GUV <input type="checkbox"/> THERMOSET POLYESTER POWER POR COULPLER FACTORY LOCATION	<input type="checkbox"/> DUPLEX RECEPTACLE DUP <input type="checkbox"/> GFI RECEPTACLE GFI <input type="checkbox"/> 3 WAY ADAPTER T3120 <input type="checkbox"/> 4 WAY ADAPTER T490 <input type="checkbox"/> ROUND BASE COVER RBC <input type="checkbox"/> 1/2" COUPLING CPLN1/2 <input type="checkbox"/> 3/4" COUPLING CPLN3/4 <input type="checkbox"/> 2" COUPLING CPLN2 (SPECIFY COUPLING LOCATION) SEE ACCESSORIES SECTION FOR OTHER OPTIONS

LIGHTING POLE SPECIFICATIONS



FRONT 3D VIEW
NOT TO SCALE

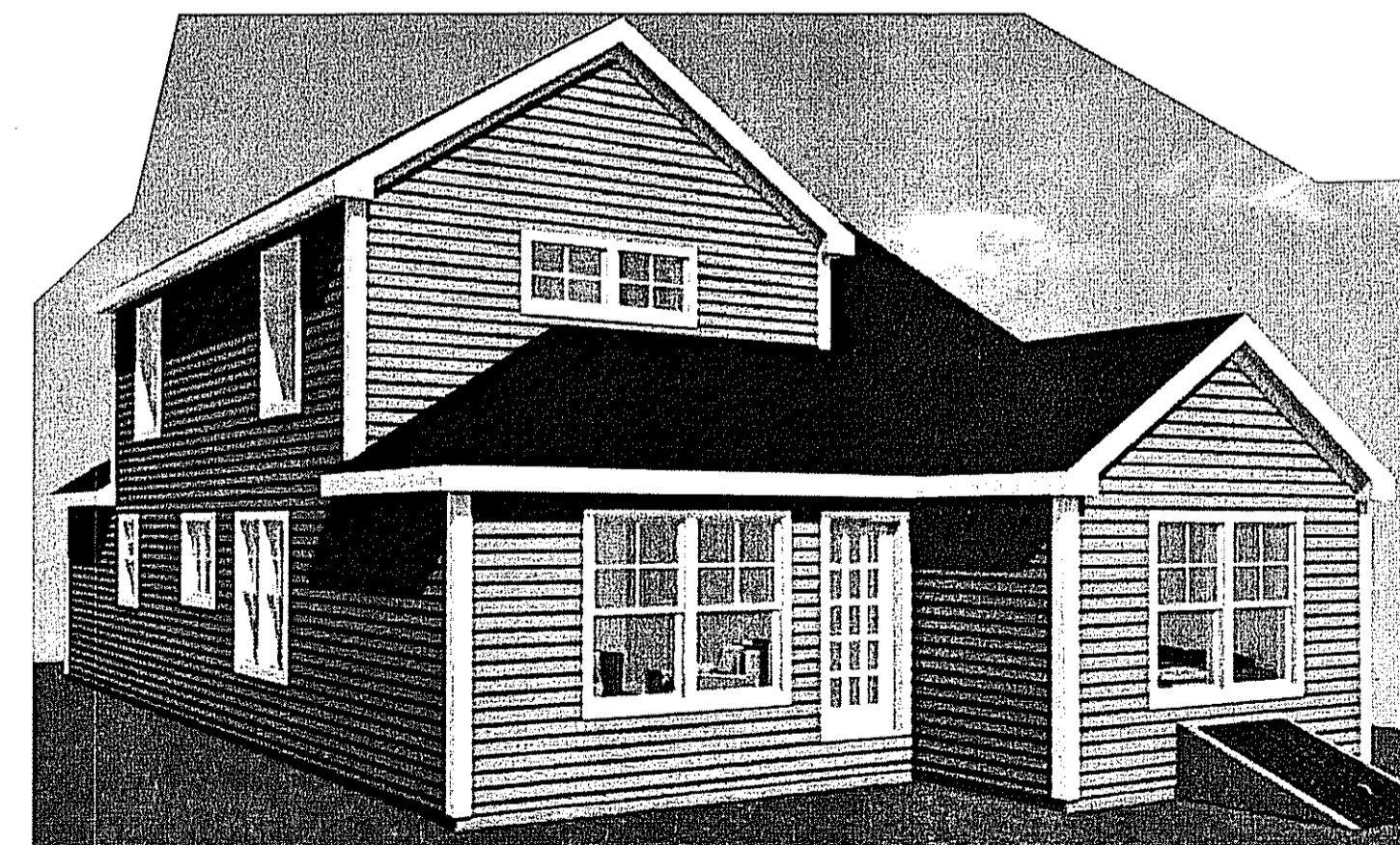


REAR 3D VIEW
NOT TO SCALE

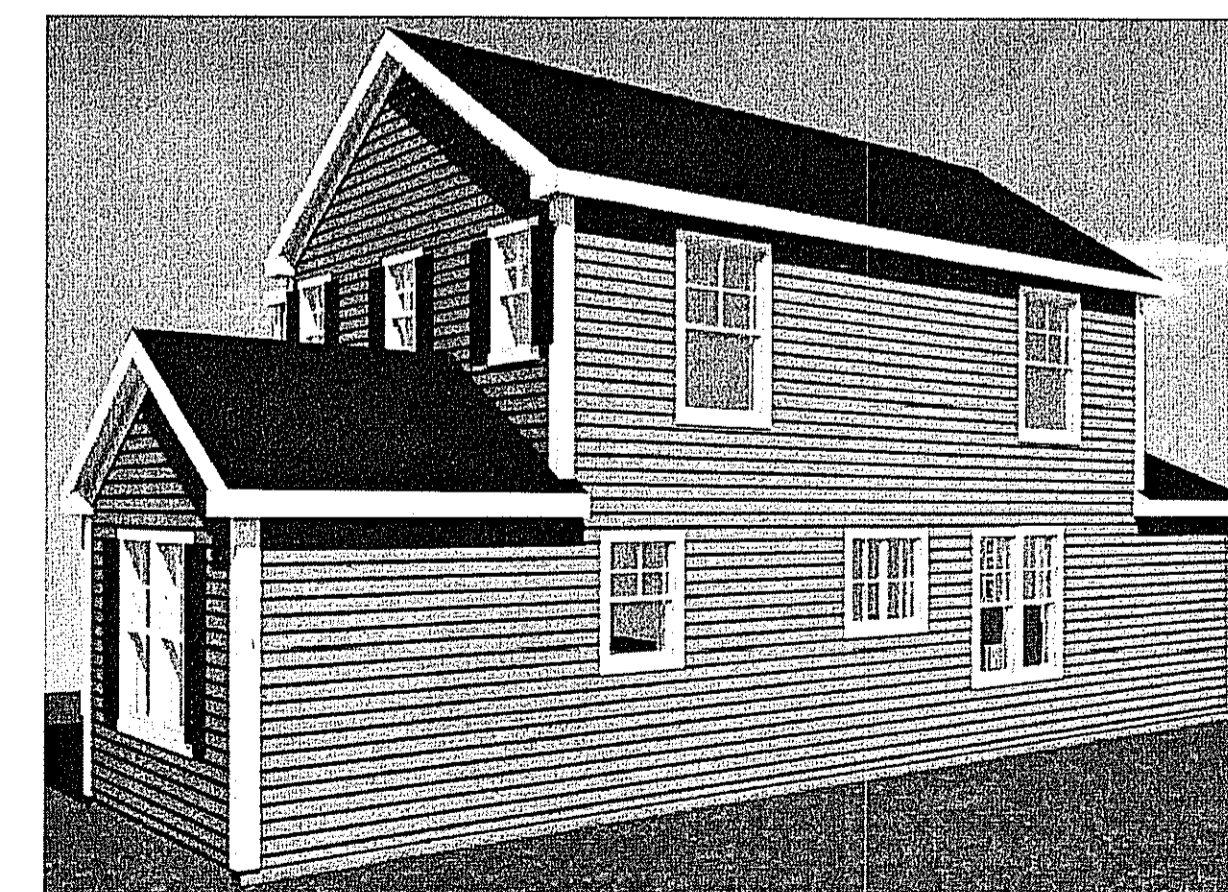
DUPLEX STYLE BUILDING



FRONT 3D VIEW
NOT TO SCALE



REAR 3D VIEW
NOT TO SCALE



SIDE 3D VIEW
NOT TO SCALE

SINGLE STYLE BUILDING

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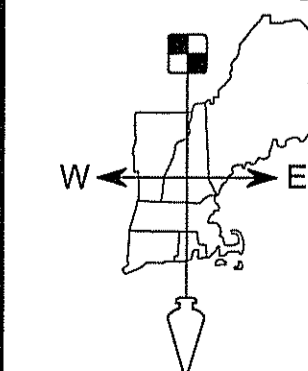
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C	8/24/22	AMENDED UNIT LOCATION AND PHASING	-	CLR	CEB
B	11/19/20	PER 11/12/2020 PLANNING BOARD MEETING	-	DSL	CEB
A	8/13/20	REVISED BUILDINGS	-	DSL	CEB
REV.	DATE	DESCRIPTION		C/O	DR CK

BUILDING ELEVATIONS
TAX MAP 2 - LOTS 23 & 23-U01 THRU U55
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
PREPARED FOR:
GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD - HOLLIS, NH 03049

SCALE: NOT TO SCALE

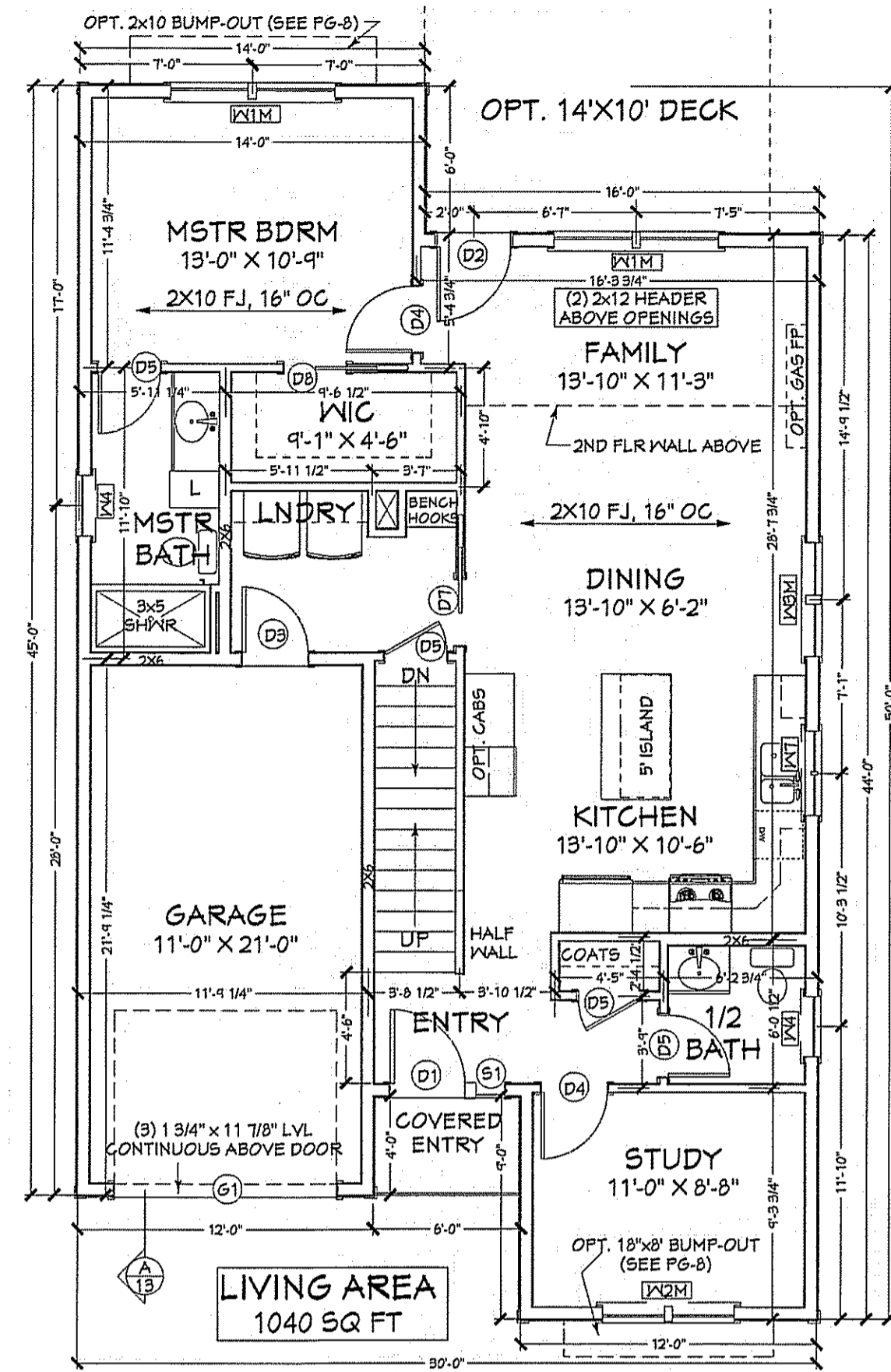
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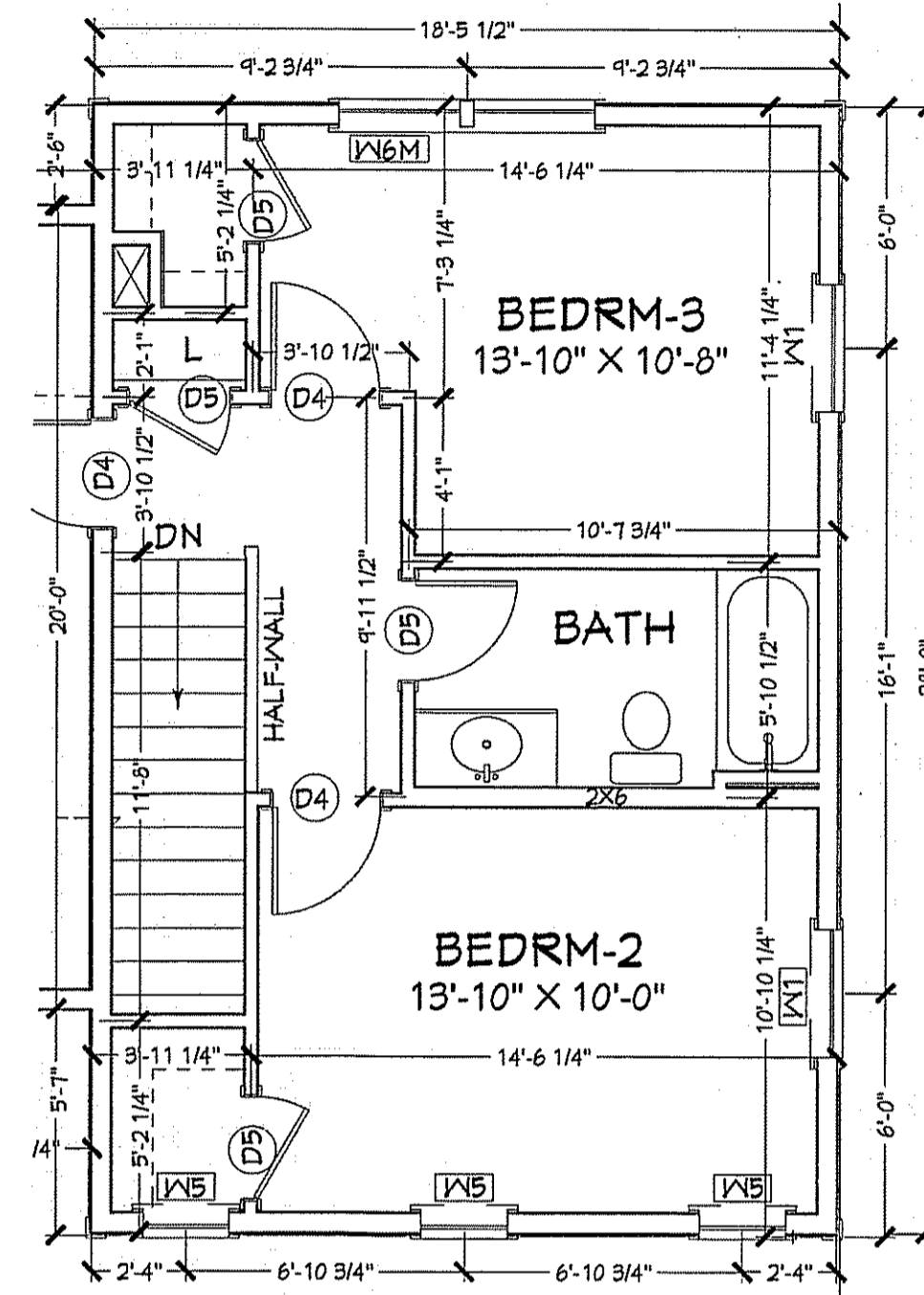


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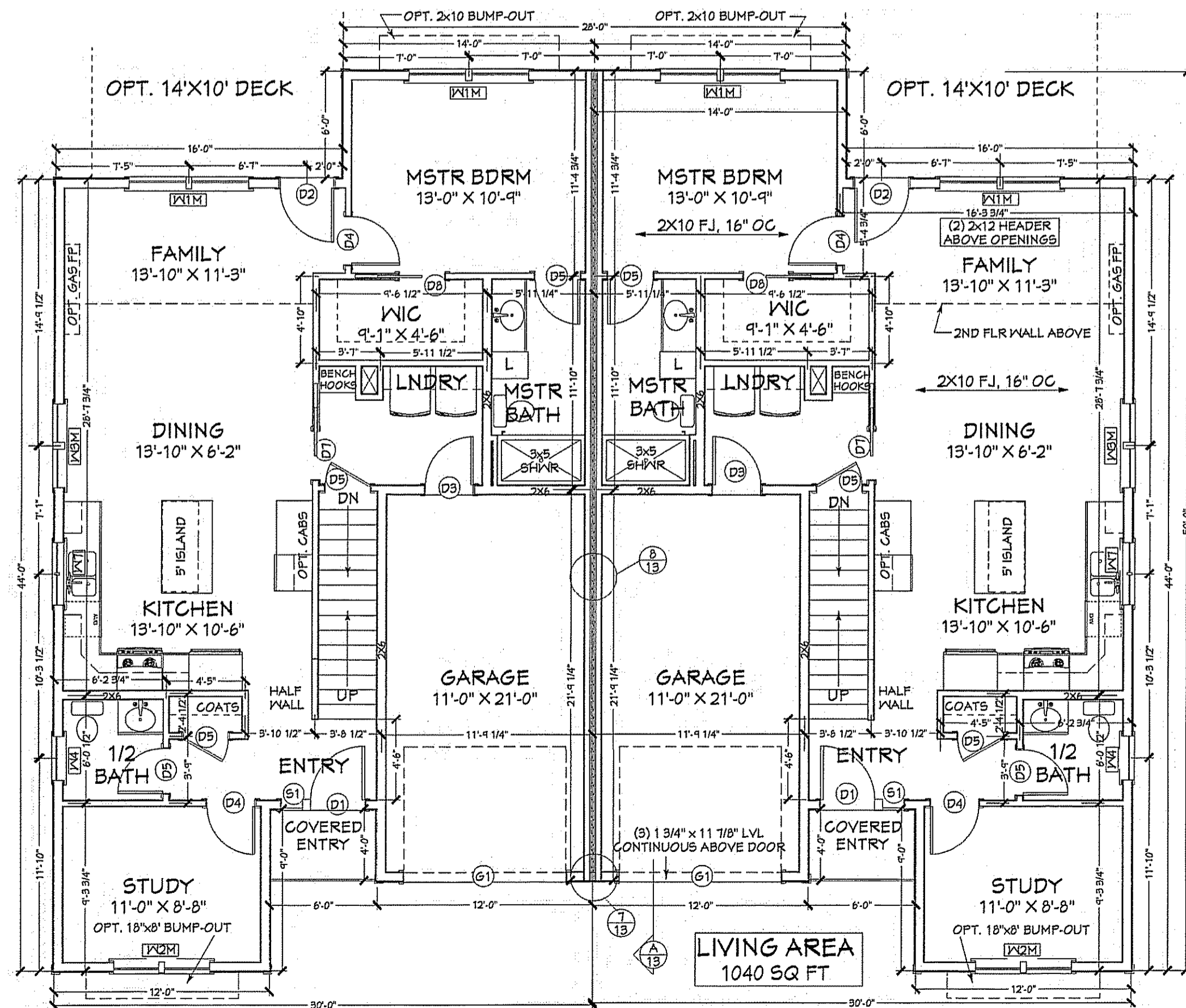
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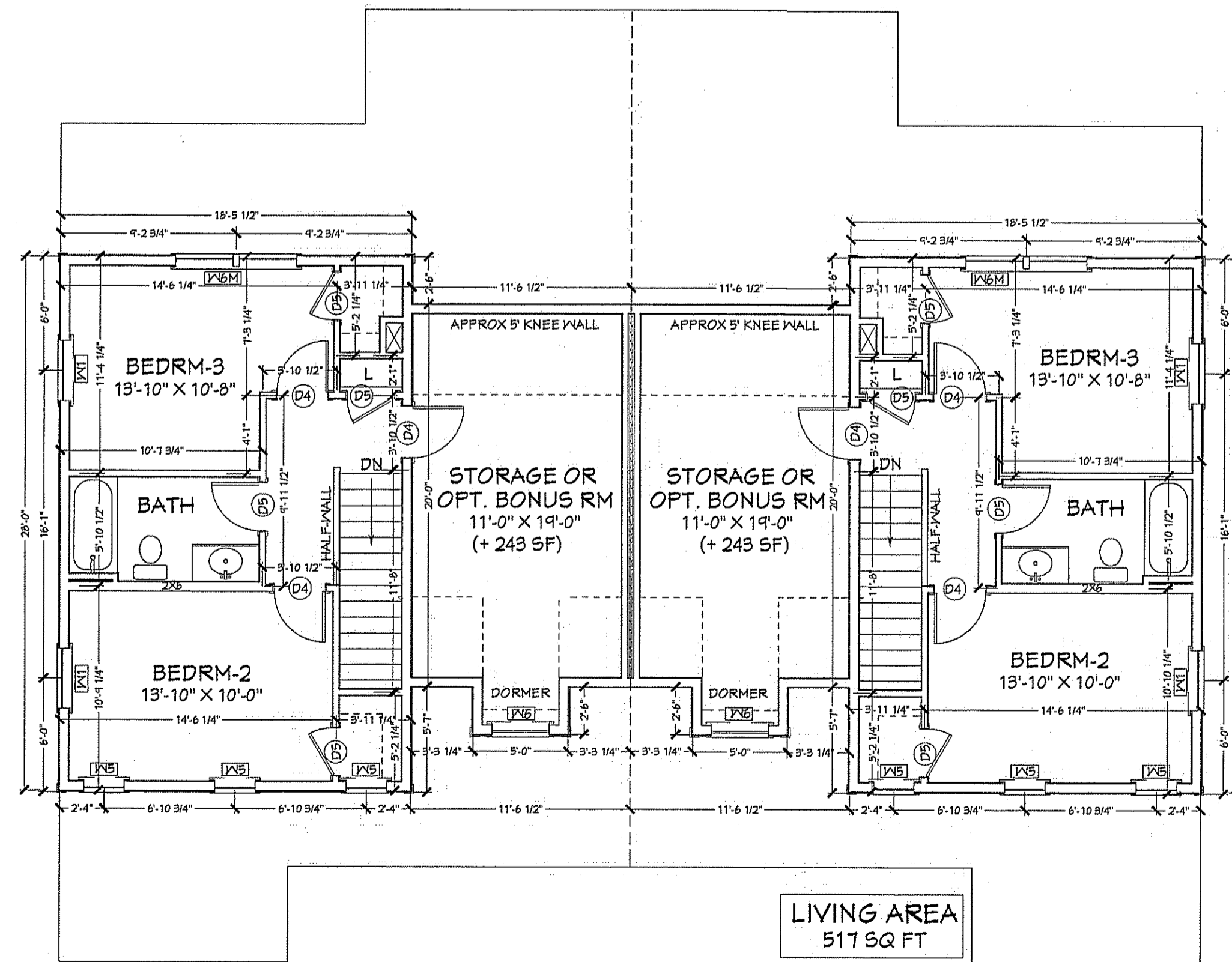
SINGLE - FIRST FLOOR PLAN
NOT TO SCALE



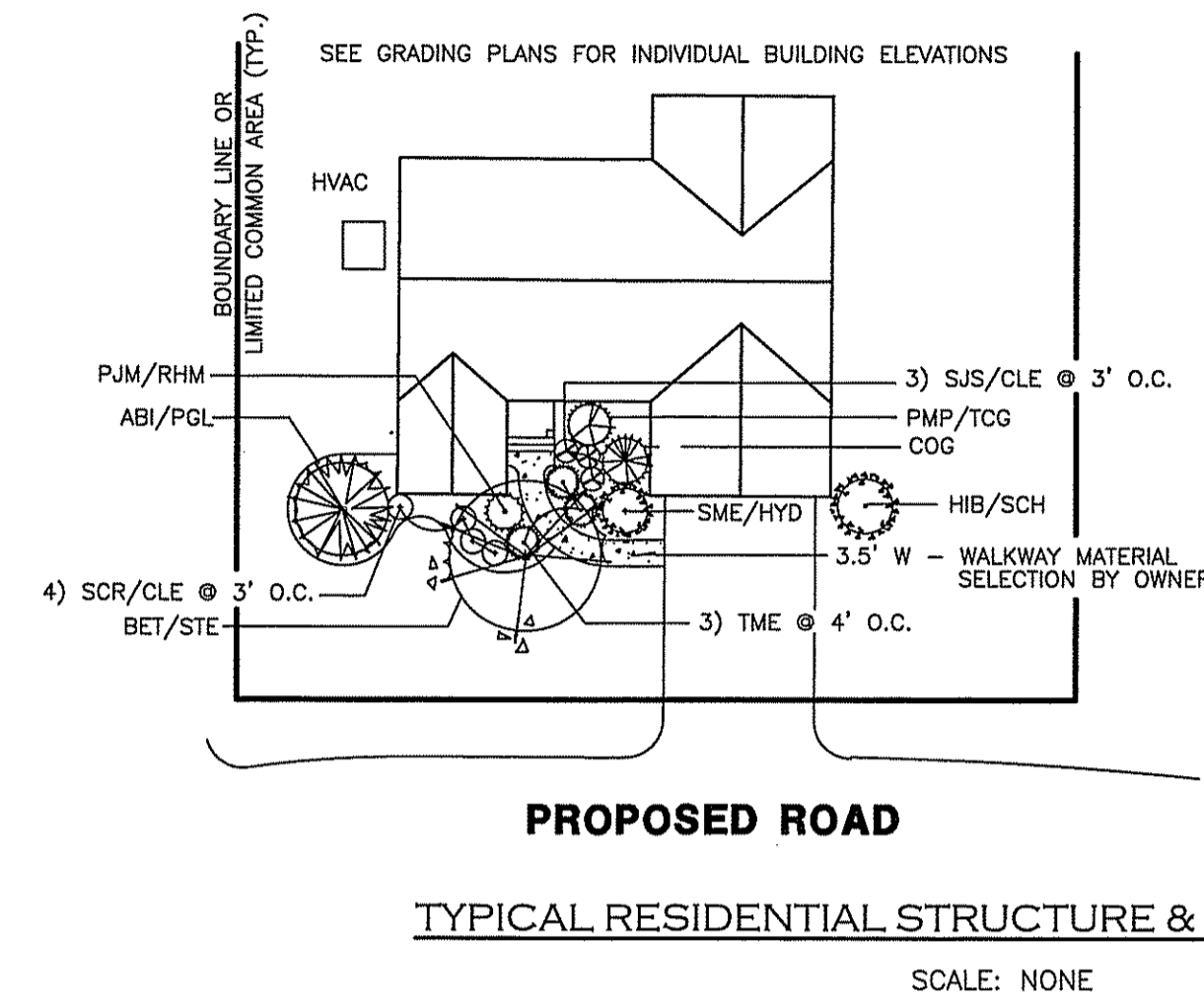
SINGLE - SECOND FLOOR PLAN
NOT TO SCALE



DUPLEX - FIRST FLOOR PLAN
NOT TO SCALE



DUPLEX - SECOND FLOOR PLAN
NOT TO SCALE



PLANT LEGEND

- ABI ABIES CONCOLOR (WHITE FIR)
- BET BETULA NIGRA (HERITAGE RIVER BIRCH MULTI-STEM)
- *CLE CLETHRA COMPACTA (COMPACT SUMMERSWEET)
- COG CHAMAECYPARIS OBTUSA (GRACILIS HINOKI FALSECYPRESS)
- HIB HIBISCUS SYRIACUS (ROSE OF SHARON)
- HYD HYDRANGEA PANICULATA (COMPACT P.P., LIMELIGHT HYDRANGEA)
- PGL PICEA GLAUCA (WHITE SPRUCE)
- PJM RHODODENDRON SPECIES (PJM HYBRIDS)
- PMP PINUS MUGO PUMILIO (DWARF MUGO PINE)
- RHM RHODODENDRON MEDIUM TALL (CUNNINGHAM, BOULE DE NEIGE, BOURSALUT)
- SCH SYRINGA CHINENSIS (CHINESE LILAC)
- SOR SPIRAEA X. B. (CRISP LEAF SPIREA)
- SJS SPIREA JAPONICA (SHIBORI SPIREA)
- SME SYRINGA PATULA (MISS SUSIE LILAC)
- STE STEWARTIA PSEUDOCAMELLIA (JAPANESE STEWARTIA)
- *TCS TAXUS CUSPIDATA (GREENWAY YEW)
- *TME TAXUS MEDIA (EVER-LOW YEW)

- NOTES:
1. THERE SHALL BE ONE SHADE TREE PER 40 LINEAR FOOT OF ROAD FRONTAGE.
 2. ALL SHRUBS ARE TO BE 24" HIGH WHEN PLANTED. ALL TREES ARE TO BE 2 TO 2-1/2 INCHES CAL. WHEN PLANTED.
 3. ALL NORTH & EAST ORIENTED UNITS SHALL BE PLANTED WITH THESE NOTED SHADE/SEMI-SHADE PLANT SELECTIONS.
 4. THE OWNER RESERVES THE RIGHT TO CHANGE THE HOUSE STYLE TO MEET MARKET DEMANDS, WHICH MAY INCLUDE A TWO STORY OPTION, PROVIDED CITY AND STATE REGULATIONS ARE MET.

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C	8/24/22	AMENDED UNIT LOCATION AND PHASING	-	CLR	CEB
B	11/19/20	PER 11/12/2020 PLANNING BOARD MEETING	-	DSL	CEB
A	8/13/20	REVISED BUILDINGS	-	DSL	CEB
REV.	DATE	DESCRIPTION		C/O	DR CK

BUILDING PLANS & LANDSCAPE DETAIL
TAX MAP 2 - LOTS 23 & 23-U01 THRU U55
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
PREPARED FOR:
GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD - HOLLIS, NH 03049

SCALE: NOT TO SCALE APRIL 11, 2019

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GRAPHIC SCALE

IMPERIAL: 1"=40'(H) 4'(V)

SEE SHEET GR-2 FOR LEGEND

PLEASANT STREET

STREET

TBM(F)21(3512)
SPK IN PSH#16
EL.=921.31

SMH#24(1066)
RIM=919.27
IN=912.40(8"CLAY)
OUT=912.46(8"PVC)
TABLE=913.26
TROUGH=912.43

12" DI. WATER MAIN
CONST. SMH1 ON
EXIST. 8" PVC MAIN
INV. OUT=907.3±
SAWCUT PAVEMENT
CONST. 8" WET TAP
& 8" GATE VALVE

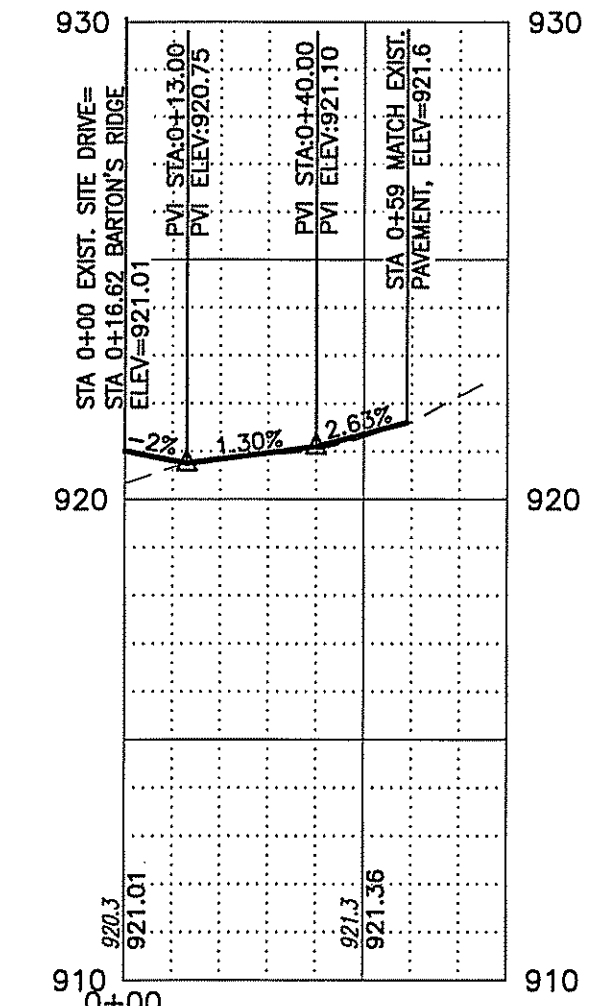
SMH#23(1065)
(DMH COVER)
RIM=906.34
IN=901.27(8"PVC)
OUT=901.19(8"PVC)
TABLE=902.13
TROUGH=901.27

SEE PP-3 FOR CROSS-COUNTRY
WATER & SEWER PROFILES

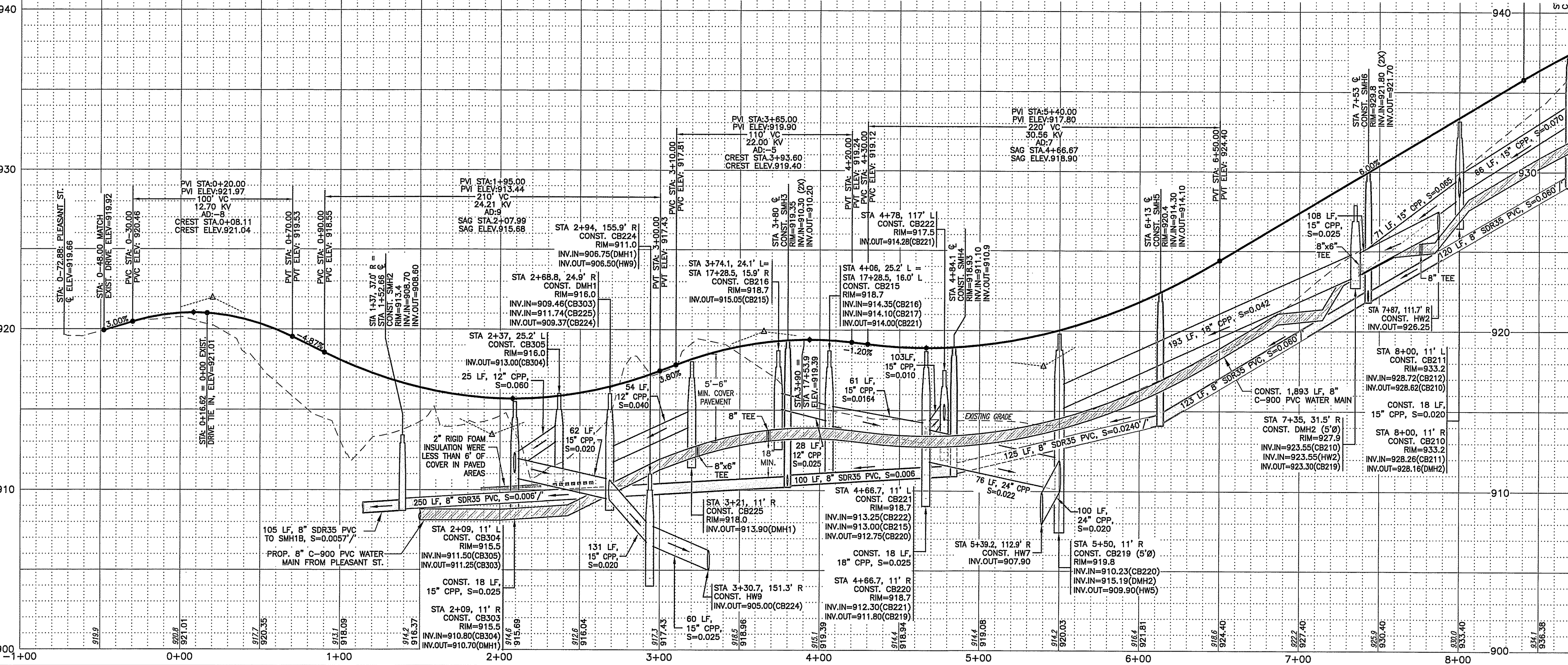
CB2531
RIM=929.28
IN=927.75(SOUTH)
OUT=927.80(NORTH)
SUMP=923.98

6" HDPE
OUT=923.68
TO BE
REMOVED

ADJACENT TO WETLANDS (TYP)



EXIST SITE DRIVE TIE IN



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A	8/6/19	REV. PER STATE PERMITTING		
B	1/23/20	ADDRESS UET (10/11/19) COMMENTS		
C	1/23/20	ADDRESS UET (10/11/19) COMMENTS		
D	6/23/20	SITE ACCESS: DES-WHEB 4/8/20 COMMENTS		
E	8/13/20	CONDITIONS OF APPROVAL AND PERMITTING		
F	8/24/22	AMENDED UNIT LOCATION AND PHASING		
G	8/30/22	REVISED LOT NUMBERS		

BARTON'S RIDGE ROAD GIMAK PROPERTIES, LLC
9 PROCTOR HILL ROAD
HOLLIS, NH 03049

BARTON'S RIDGE

TAX MAP 2 - LOTS 23 & 23-101 THRU U55
GREENVILLE, NEW HAMPSHIRE

PP-1
SHEET

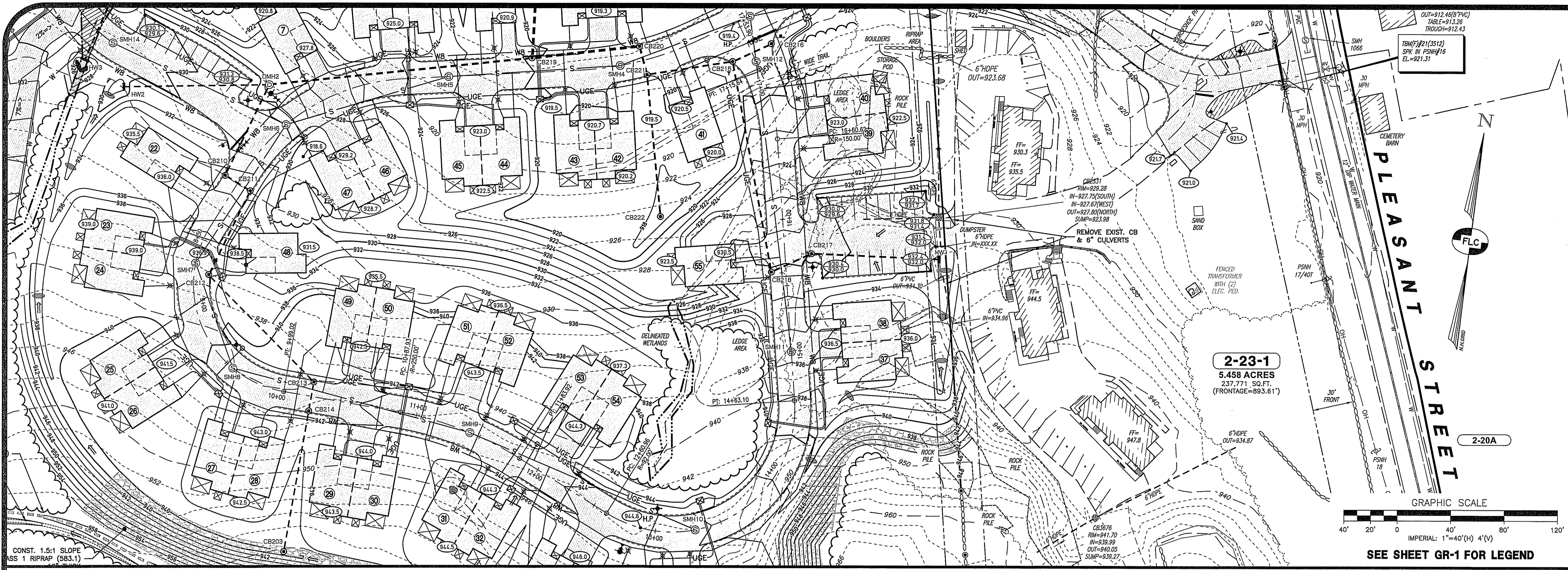
PROJECT NO. 1688.00
SHEET NO. 18 OF 28

PLANS ISSUED FOR:
MUNICIPAL REVIEW

SCALE: 1" = 40' HORIZ. / 4' VERT.

APRIL 11, 2019

FILE: 1688P00K.dwg

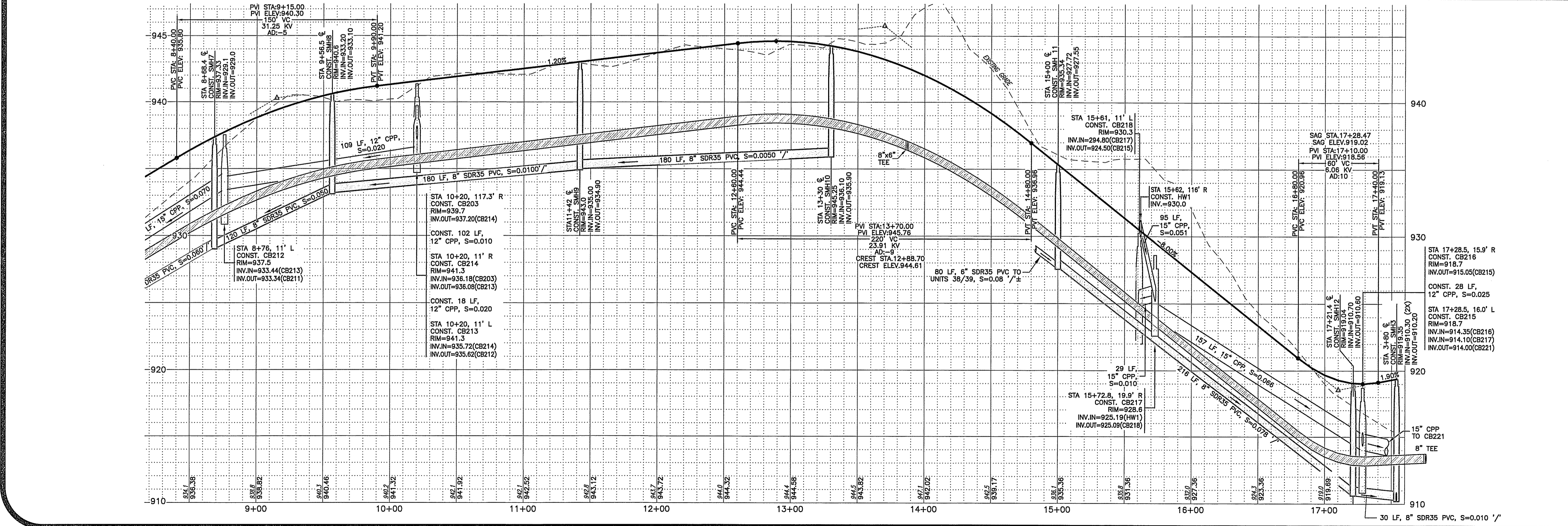
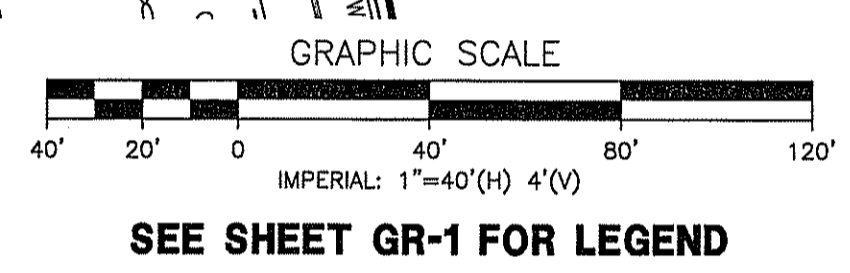


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REV	DATE	DESCRIPTION	DR	CK
A	8/19/19	REV. PER STATE PERMITTING	FWH	CEB
B	1/8/20	ADDRESS UEL (10/11/19) COMMENTS	NRC	CEB
C	1/23/20	ADDRESS AOT 1/22/20 EMAIL COMMENTS	NRC	CEB
D	6/23/20	SITE ACCESS, DES-WHEB 4/8/20 COMMENTS	NRC	CEB
E	8/13/20	CONDITIONS OF APPROVAL AND PERMITTING	CLR	CEB
F	9/24/22	AMENDED UNIT LOCATION AND PHASING	CLR	CEB
G	8/30/22	REVISED LOT NUMBERS	CLR	CEB



BARTON'S RIDGE ROAD
 STA. 8+50 TO STA. 17+54

BARTON'S RIDGE

PLANS ISSUED FOR:
MUNICIPAL REVIEW

TAX MAP 2 - LOTS 23 & 23-001 THRU 055
 GREENVILLE, NEW HAMPSHIRE

APRIL 11, 2019

SCALE: 1" = 40' HORZ. / 4' VERT.

FILE: 16885POOK.dwg

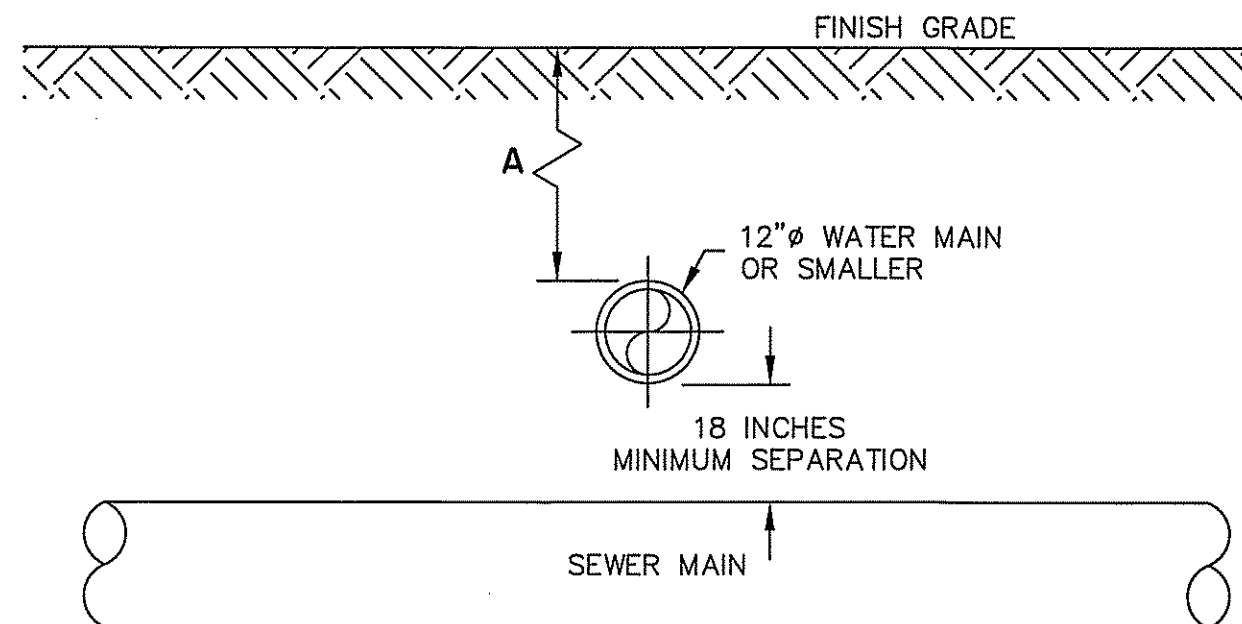
PP-2
 SHEET

PROJECT NO. 1688.00
 SHEET NO. 19 OF 28

GMAK PROPERTIES, LLC
 9 PROCTOR HILL ROAD
 FOLLIS, NH 03049

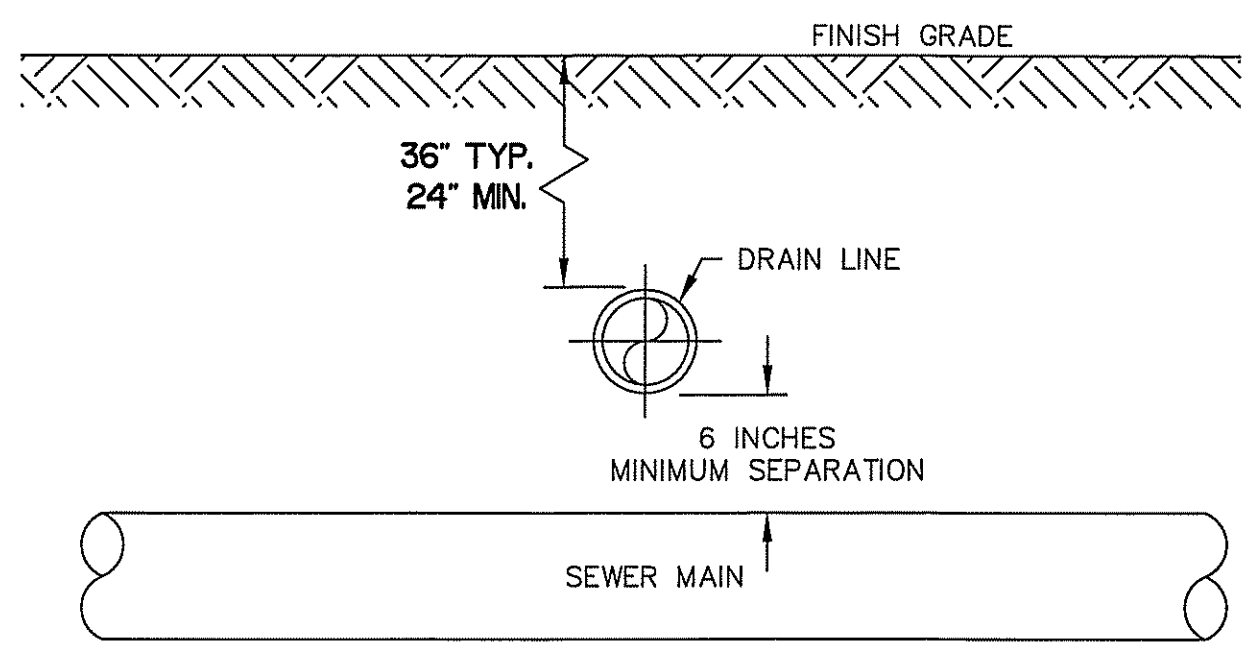
LEGEND:

EXISTING FEATURES		PROPOSED FEATURES	
---	RIGHT-OF-WAY LINE	---	EDGE OF PAVEMENT
---	BOUNDARY LINE	---	CAPE COD BERM
---	ABUTTING LOT LINE	---	GUARD RAIL
---	BUILDING SETBACK LINE	---	LIMITS OF CLEARING
---	EDGE OF PAVED ROAD	---	EARTHEN BERM
---	EDGE OF GRAVEL ROAD	---	2 FT. CONTOUR
---	CURB LINE	---	10 FT. CONTOUR
---	STONE WALL	---	SPOT ELEVATION
---	EDGE OF TREE LINE	---	SPOT ELEVATION AT CURB
---	EDGE OF WETLANDS	---	HANDICAP PARKING STALL
---	WETLANDS BUFFER LINE	---	WATER GATE VALVE
---	EXISTING PILE	---	WATER SERVICE SHUT-OFF
---	10' CONTOUR INTERVAL	---	WATER HYDRANT
---	2' CONTOUR INTERVAL	---	SIGN
---	WIRE FENCE	---	POLE MOUNTED LIGHT
---	THE COURSE LINE	---	CATCH BASIN
---	CULVERT	---	SEWER MANHOLE
---	OVERHEAD UTILITY LINE	---	DRAIN MANHOLE
---	WATER LINE	---	STORM WATER DRAINAGE
---	SEWER LINE	---	SILT FENCE
---	2-23-1 TAX MAP & LOT NUMBER	---	STONE CHECK DAM
---	G.B.(F) GRANITE BOUND FOUND	---	SILT SACK
---	D.H.(F) DRILL HOLE FOUND	---	PAVED AREA
---	I.P.M.(F) IRON PIN FOUND	---	CONCRETE AREA
---	I.P.P.E.(F) IRON PIPE FOUND	---	EROSION CONTROL STONE
---	UTILITY POLE & GUY	---	PROPOSED BUILDING
---	CATCH BASIN (ROUND)	---	
---	SEWER MAN-HOLE	---	
---	WATER HYDRANT	---	
---	WATER VALVE	---	
---	WATER SHUT-OFF	---	
---	WELL	---	
---	ELECTRIC PEDESTAL	---	
---	SINGLE SIGN POST	---	
---	EXISTING BUILDING	---	

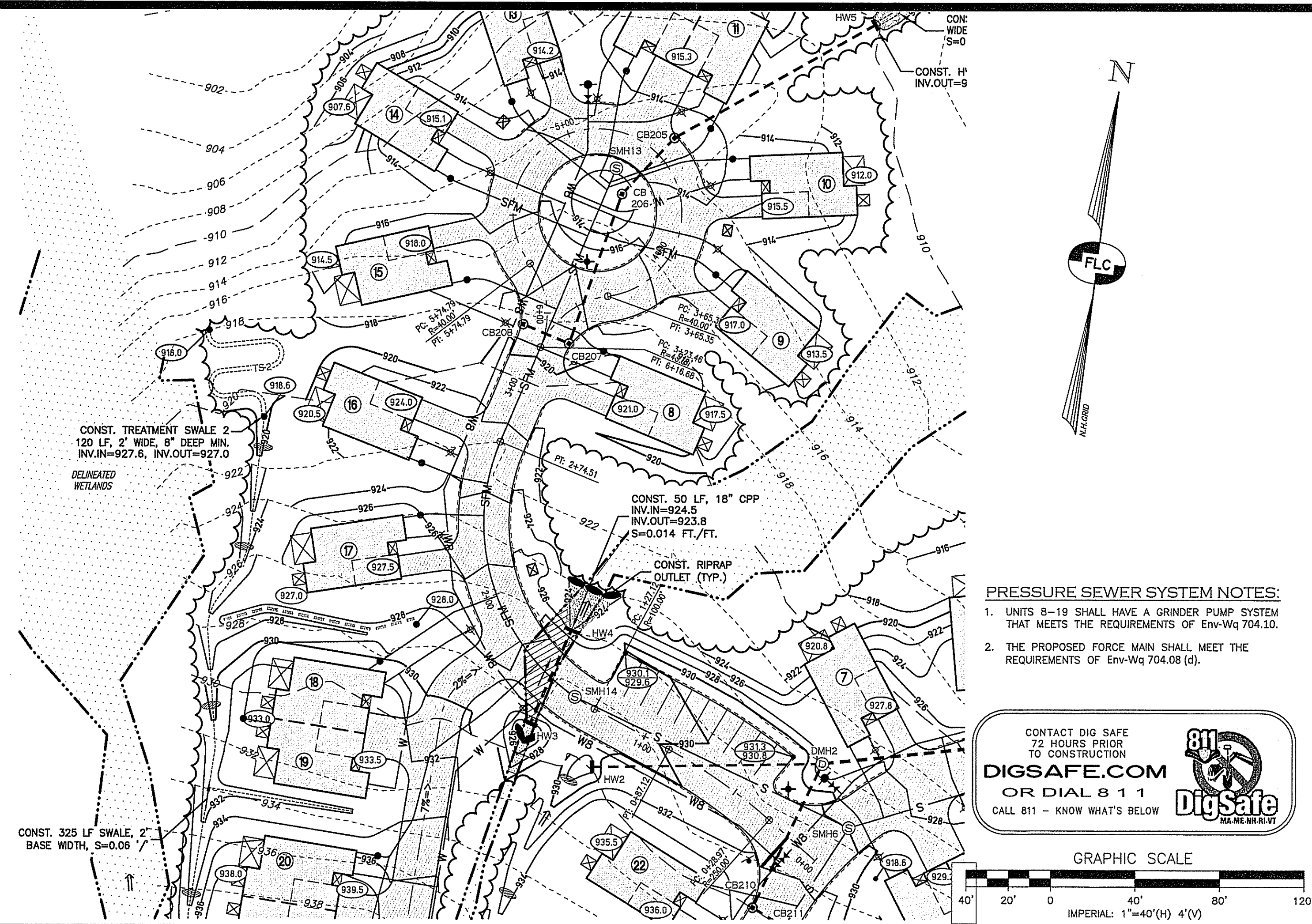


- NOTES:**
- DIMENSION "A" SHALL BE 5'-6" ON PAVED AREAS AND 4'-0" IN NON-PAVED AREAS.
 - THE VERTICAL SEPARATION REQUIREMENTS APPLY TO WATER AND SEWER MAINS AND SERVICE LINES.
 - WHERE SEWER SERVICE CROSSES WATER MAIN, AND WATER SERVICE CROSSES SEWER MAIN, 18" VERTICAL CLEARANCE SHALL BE PROVIDED WITH WATER OVER SEWER.

WATER / SEWER INTERSECTING RUNS 1 PP-3



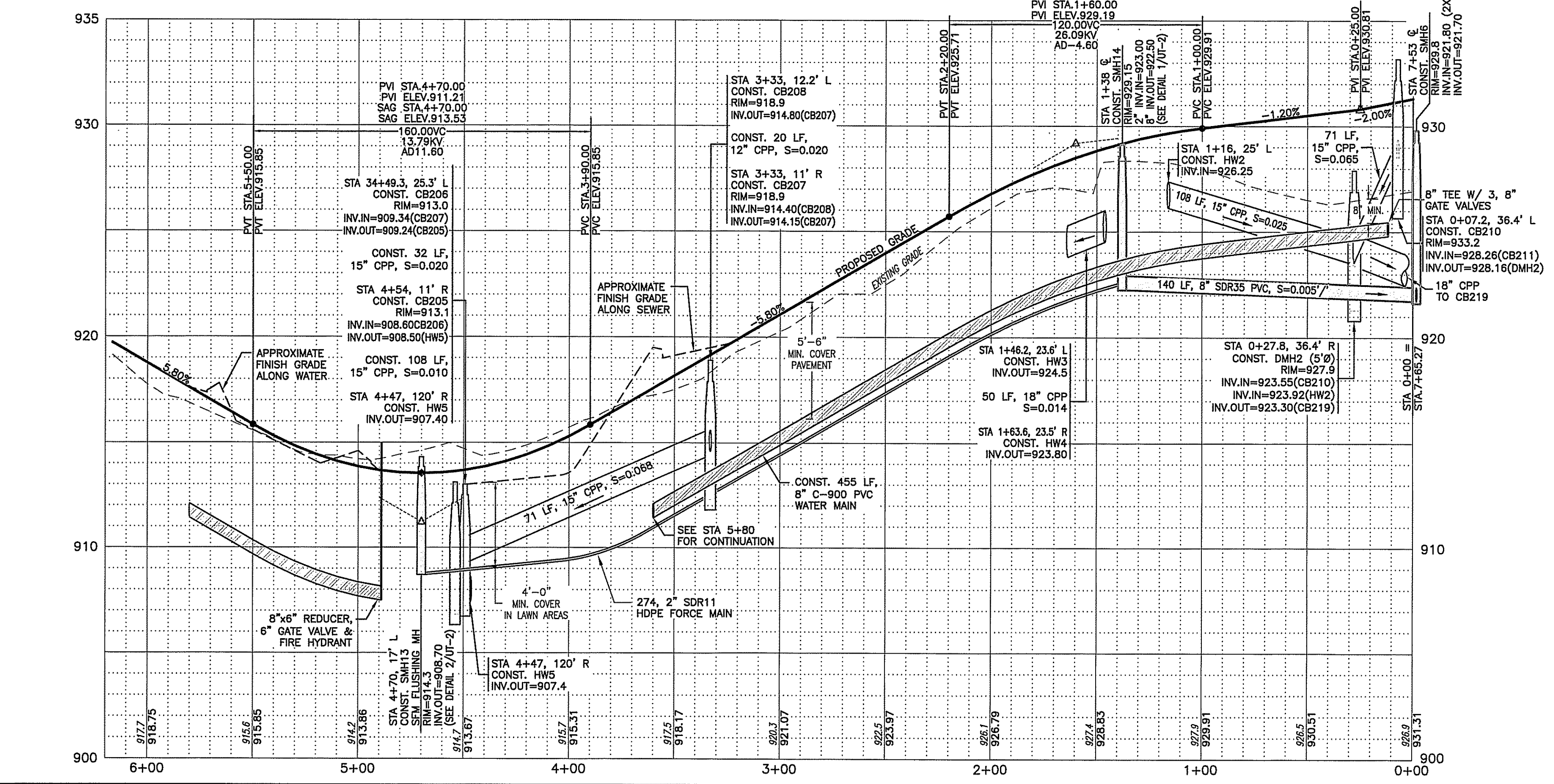
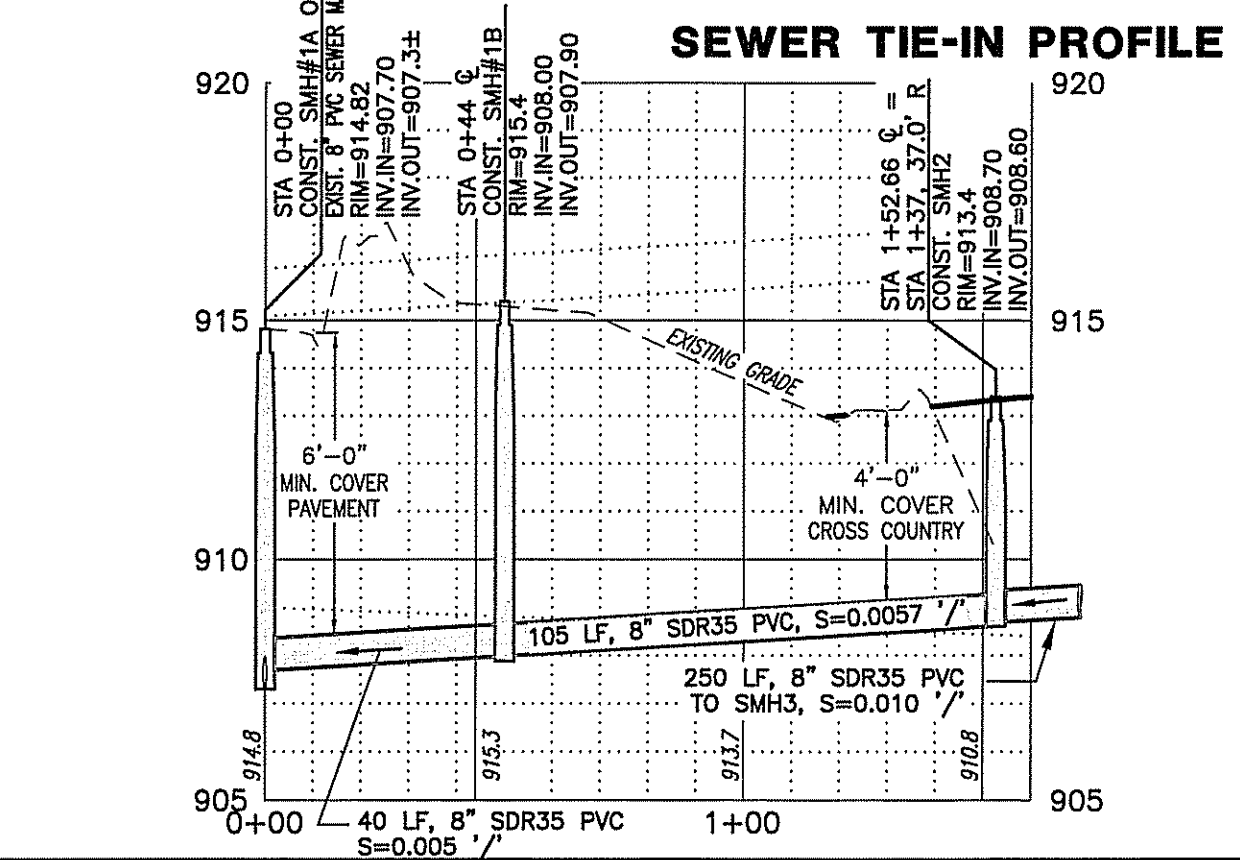
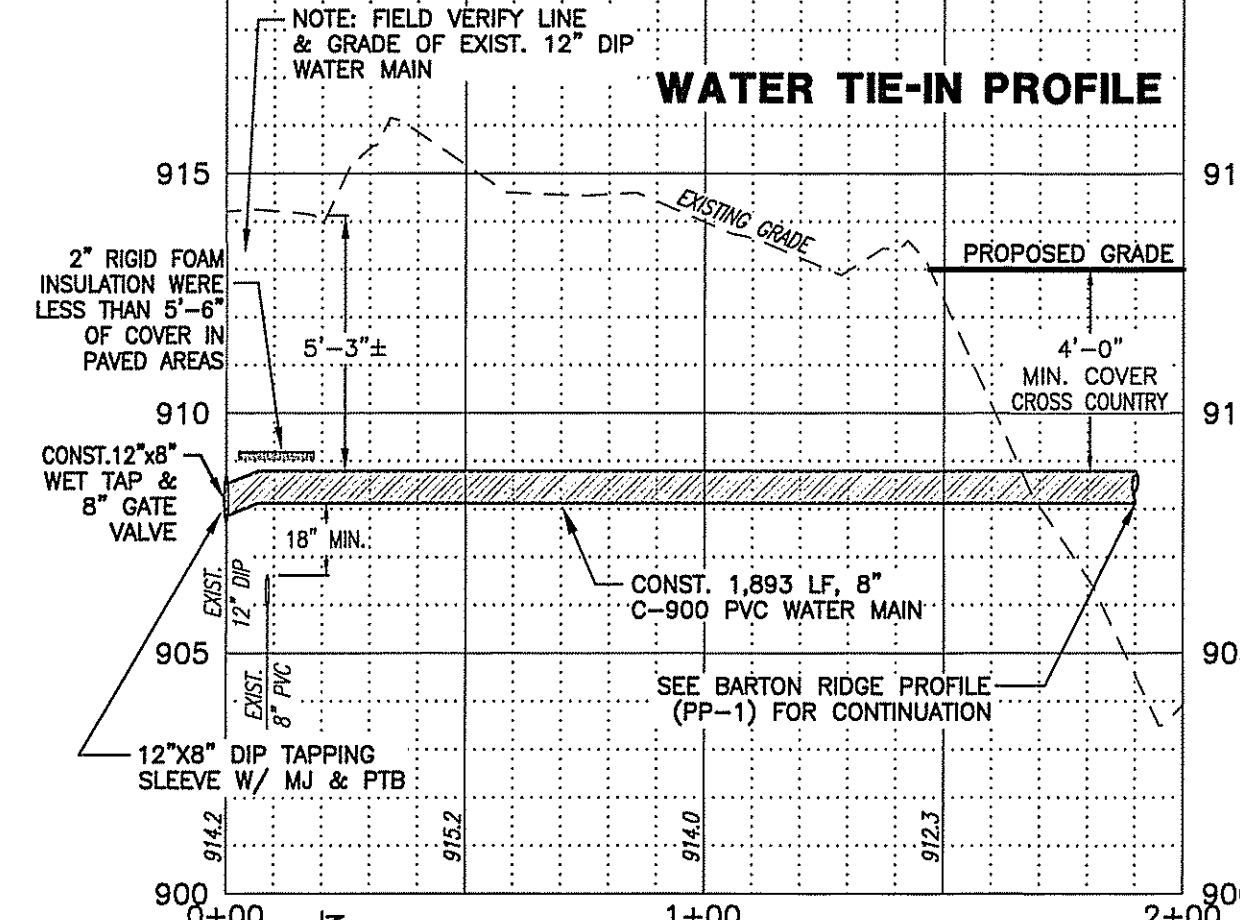
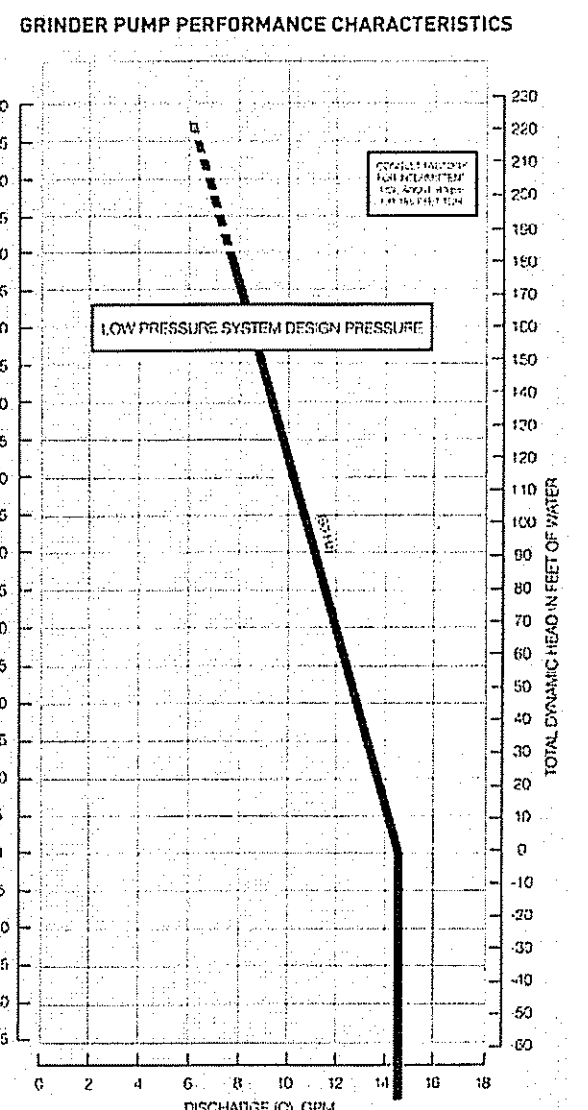
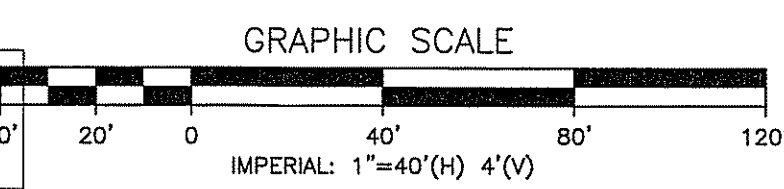
DRAIN / SEWER INTERSECTING RUNS 2 PP-3



PRESSURE SEWER SYSTEM NOTES:

- UNITS 8-19 SHALL HAVE A GRINDER PUMP SYSTEM THAT MEETS THE REQUIREMENTS OF Env-Wq 704.10.
- THE PROPOSED FORCE MAIN SHALL MEET THE REQUIREMENTS OF Env-Wq 704.08 (d).

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eone SEWER SYSTEMS
 Environment One Corporation

PUMP SCHEDULE (Model DH071-93)	TDH**	PUMP RATE**
8	22.7	13.9
9	34.3	13.3
10	35.8	13.2
11-12	34.0	13.3
13	35.5	13.2
14	33.3	13.3
15	26.7	13.5
16	15.7	14.0
17	9.0	14.1
18-19	3.0	14.2

* TOTAL DYNAMIC HEAD
 ** GALLONS PER MINUTE

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REV.	DATE	DESCRIPTION	DR	CK
A	8/6/19	REV. PER STATE PERMITTING	PWH	CEB
B	1/8/20	ADDRESS UOI (10/17/19) COMMENTS	NRC	CEB
C	1/23/20	ADDRESS UOI (10/17/19) COMMENTS	NRC	CEB
D	6/23/20	ADDRESS UOI (10/17/19) COMMENTS	NRC	CEB
E	7/22/20	ADDRESS UOI (10/17/19) COMMENTS	NRC	CEB
F	8/24/22	CONDITIONS OF APPROVAL AND PERMITTING	CLR	CEB
G	8/24/22	AMENDED UNIT LOCATION AND PHASING	CLR	CEB
H	8/20/22	REVISED LOT NUMBERS	CLR	CEB

BARTON'S RIDGE

WINSLOW DRIVE
 STA. 0+00 TO STA. 6+17

PP-3

SHEET NO. 20 OF 28

PROJECT NO. 1688.00

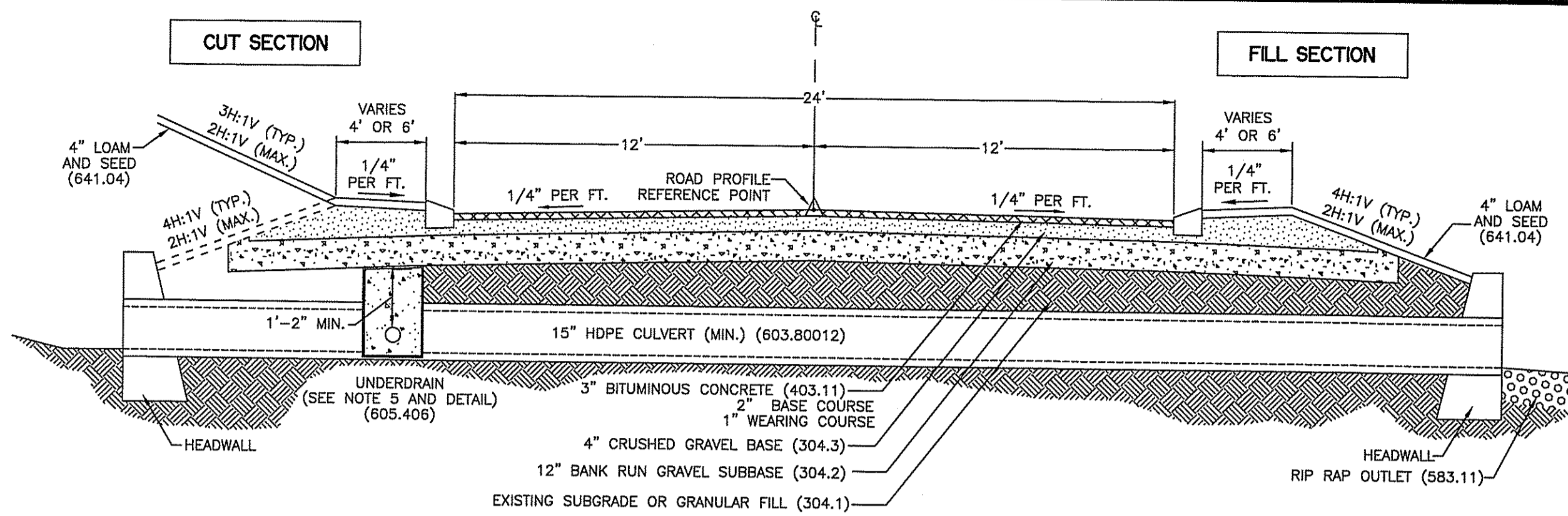
SCALE: 1" = 40' HORIZ. / 4" VERT.

APRIL 11, 2019

PLANS ISSUED FOR:
MUNICIPAL REVIEW

TAX MAP 2 - LOTS 23 & 23-J01 THRU U55
 GREENVILLE, NEW HAMPSHIRE

FILE: 1688SP00K.dwg



GENERAL ROAD CONSTRUCTION NOTES

1. REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER ROAD FOUNDATION MATERIAL WITHIN 3' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO THE DIRECTOR OF PUBLIC WORKS. COMPACTION TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
2. ALL MATERIALS AND CONSTRUCTION SHALL MEET AND BE COMPLETED IN STRICT ACCORDANCE WITH THE TOWN OF GREENVILLE'S CURRENT ROAD AND DRAINAGE SPECIFICATIONS.
3. WHERE ROAD GRADE IS 5% OR GREATER, ROAD SWALE SHALL BE LINED WITH RIPRAP (2 LAYERS, 6" TO 8" STONE, 6' WIDE WITH 6" GRAVEL BASE OR EROSION CONTROL FABRIC).
4. THE CONSTRUCTION OF ALL ROADWAY AND DRAINAGE FACILITIES SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
5. UNDERDRAIN PIPE SHALL BE REQUIRED IN LEDGE CUT SECTIONS OR WHERE DIRECTED BY THE TOWN FIELD ENGINEER. THE PIPE SHALL DISCHARGE THROUGH A MORTARED RUBBLE AND MASONRY ENDWALL OR INTO A CATCH BASIN.

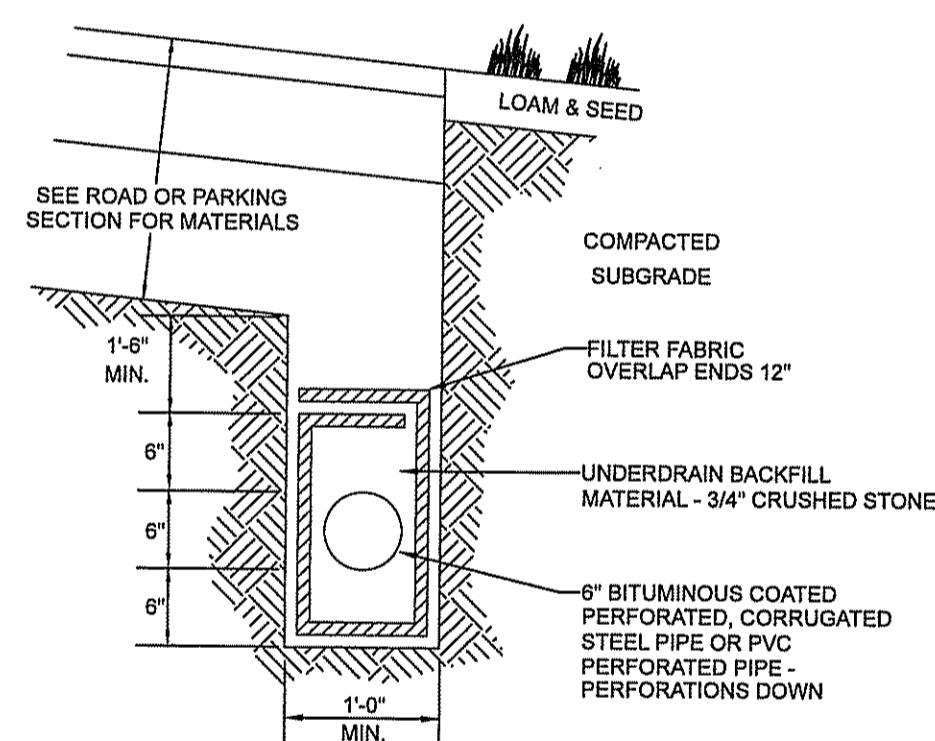
GUARDRAIL LOCATIONS

IF THE FILL SLOPE IS STEEPER THAN 4:1 AND/OR THE HORIZONTAL DISTANCE FROM THE EDGE OF SHOULDER TO ORIGINAL GROUND IS LESS THAN 10 FT., A GUARDRAIL SHALL BE PROVIDED.

SCALE: N.T.S.

TYPICAL CROSS-SECTION - SUBDIVISION STREET

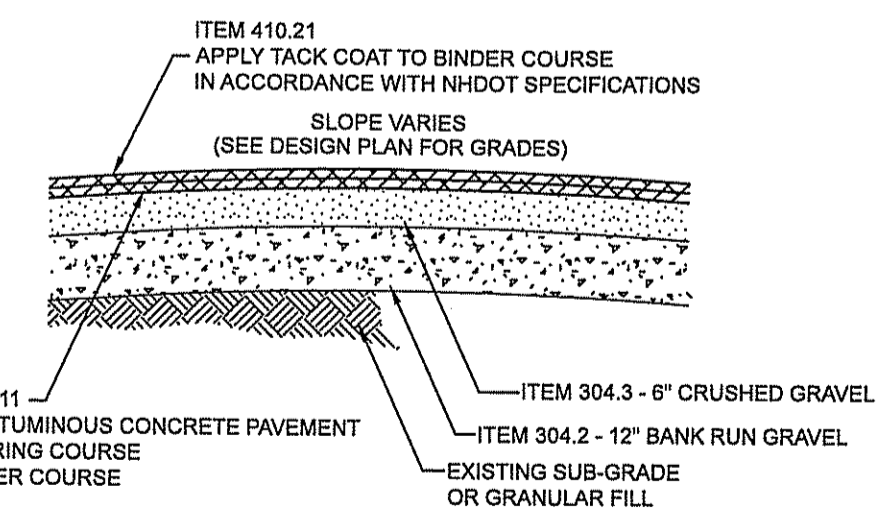
1 DT-2



NOTE: SHOULD UNDERDRAIN PIPE BE REQUIRED IN CUT SECTIONS, THE PIPE SHALL DISCHARGE THROUGH A CONCRETE HEADWALL OR INTO A CATCH BASIN.

UNDERDRAIN DETAIL

2 DT-2

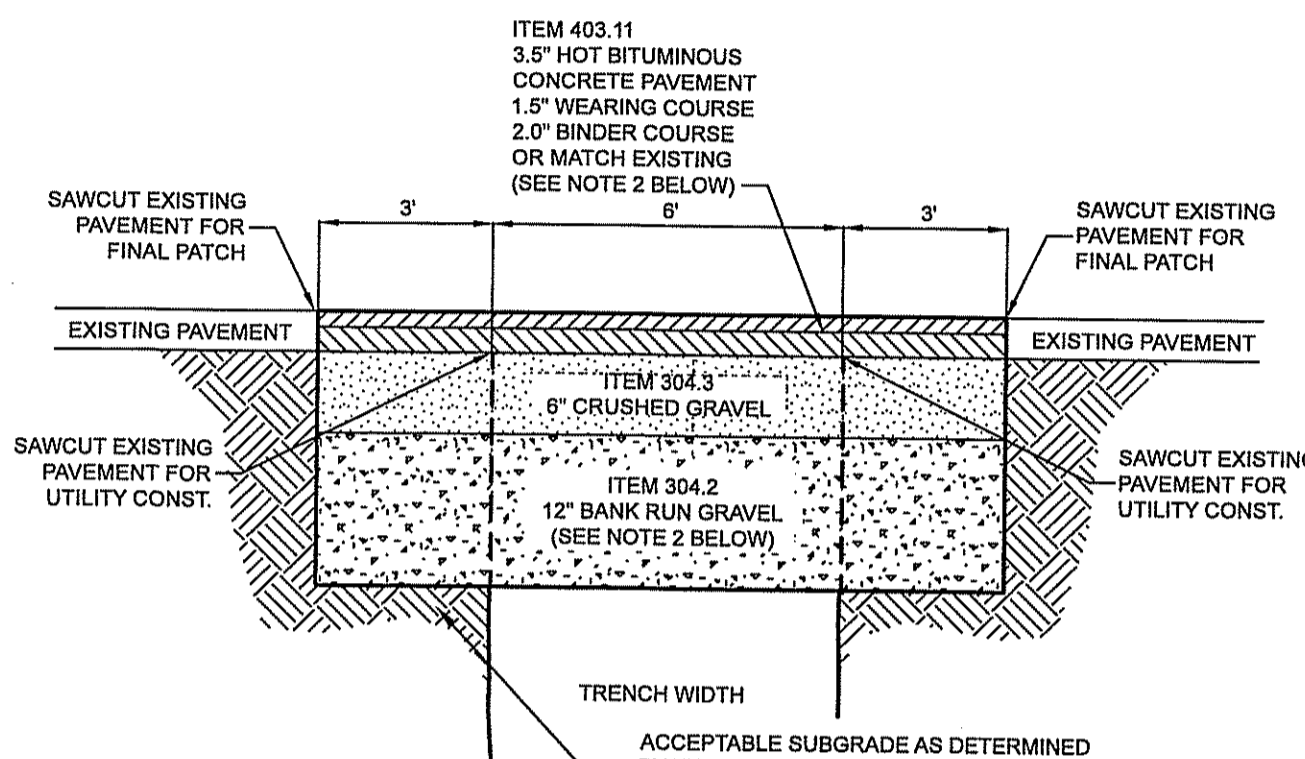


PARKING LOT PAVEMENT SECTION

SCALE: N.T.S.

3 DT-2

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 8 1 1
 IT'S SMART, IT'S FREE, IT'S THE LAW



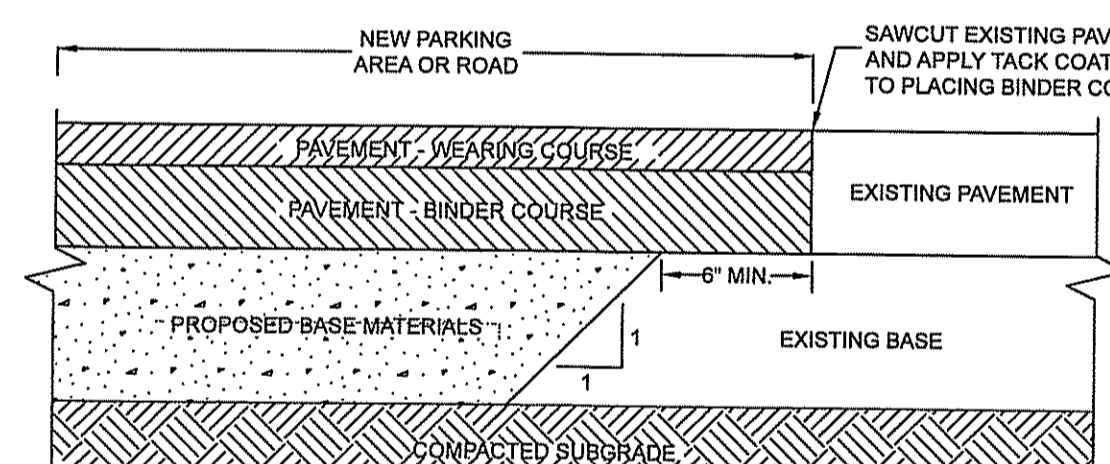
NOTES:

1. THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER TRENCH CONSTRUCTION AND ALLOWED TO STAND A MINIMUM OF 90 DAYS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER 90 DAYS AND THE ENTIRE ROAD OVERLAID TO THE LIMITS SHOWN ON THE PLANS.
2. AN EXCAVATION PERMIT IS REQUIRED FROM NHDOT, DISTRICT 4 PRIOR TO WORK WITHIN THE STATE ROW. NHDOT WILL DETERMINE FINAL TRENCH PATCH PAVEMENT AND BASE COURSE THICKNESSES.

SCALE: N.T.S.

PAVEMENT TRENCH PATCH

4 DT-2

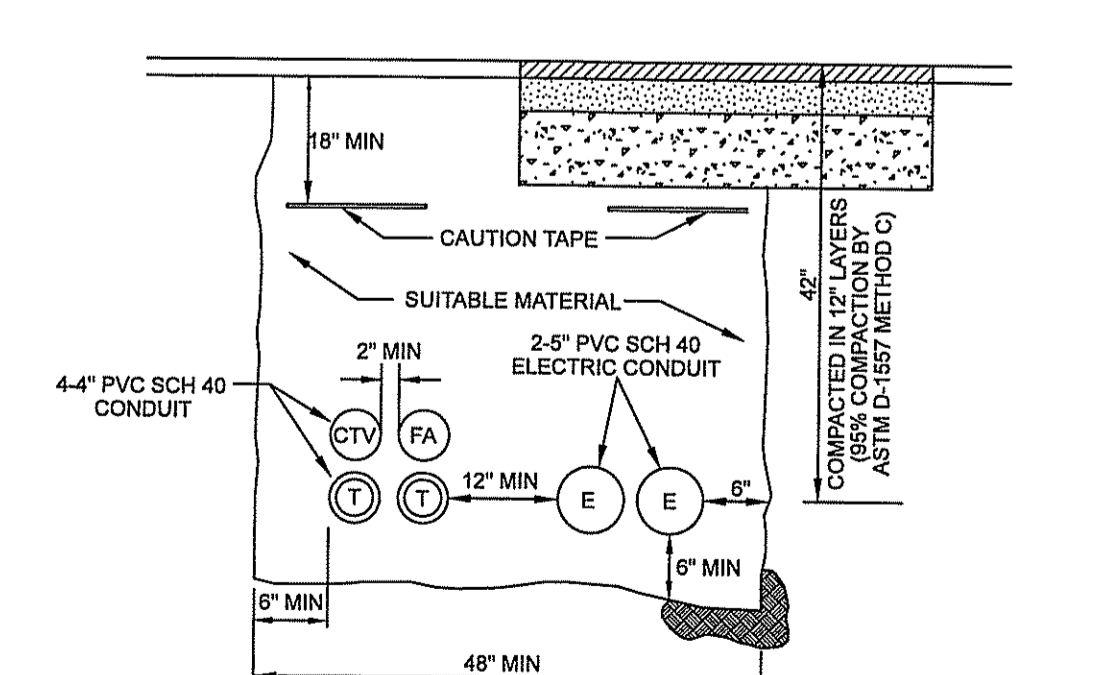


NOTE: 1. SEE ROADWAY OR PARKING LOT SECTION FOR MATERIALS AND ASSOCIATED DEPTHS.

SCALE: N.T.S.

PAVEMENT MATCH

5 DT-2

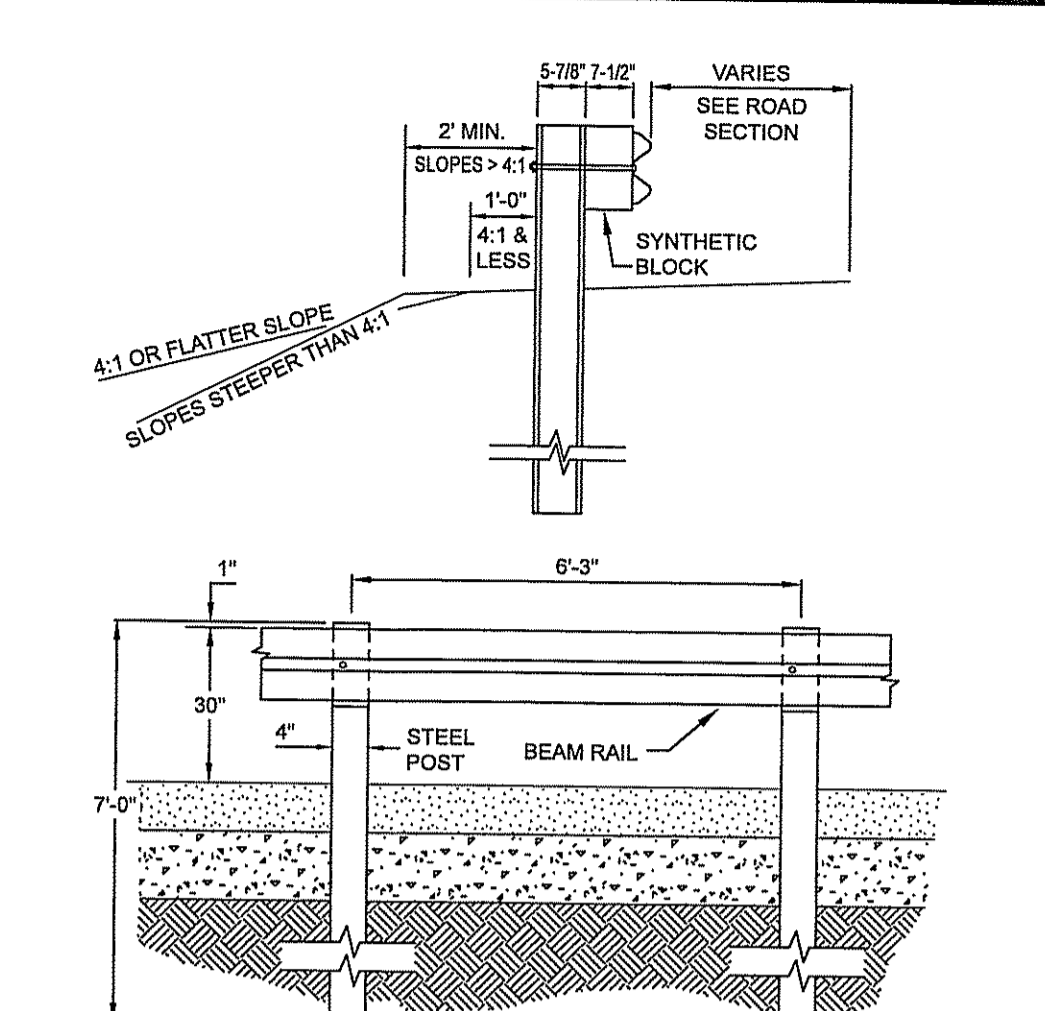


NOTE: ALL CONDUIT AND TRENCH WORK SHALL CONFORM TO THEIR RESPECTIVE UTILITY COMPANY REQUIREMENTS

SCALE: N.T.S.

TYPICAL UTILITY TRENCH

6 DT-2

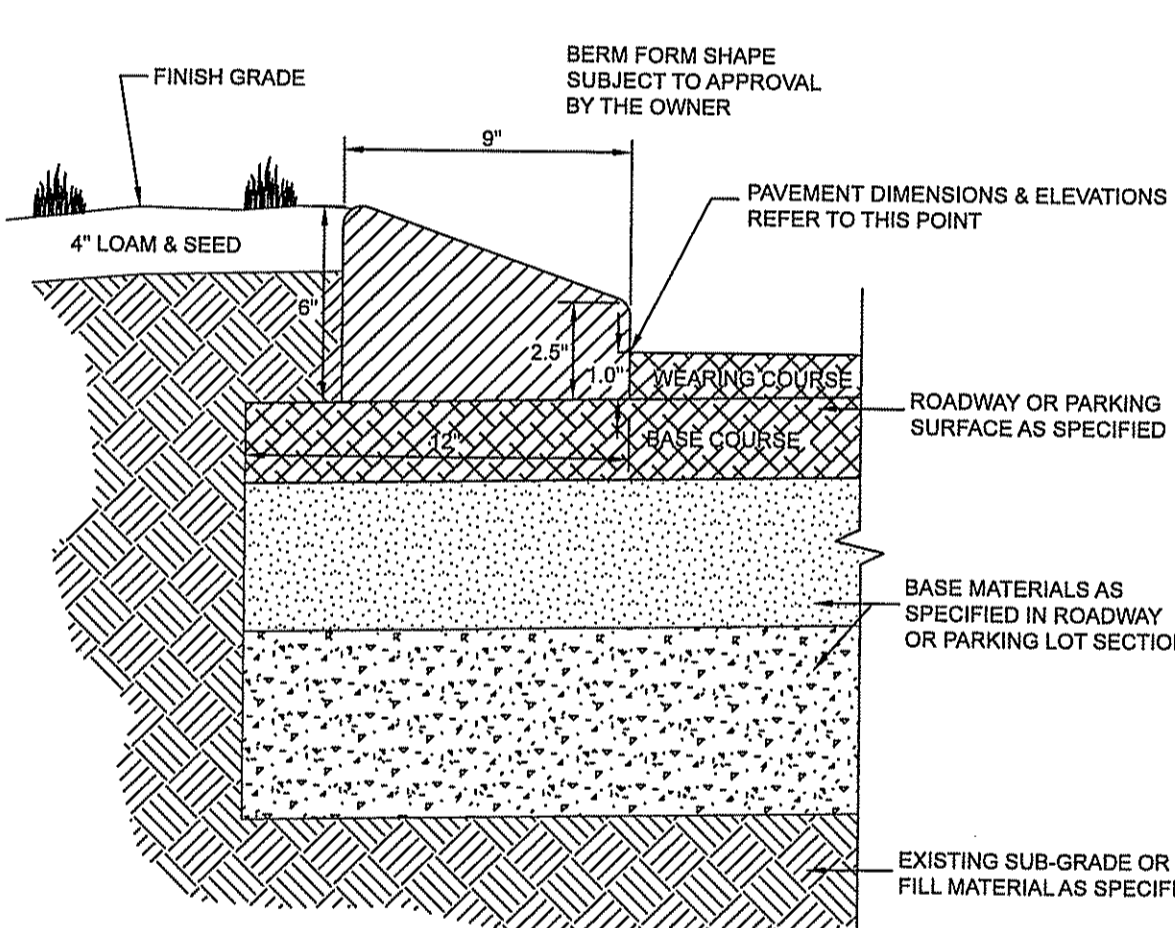


1. ALL MATERIALS AND CONSTRUCTION REQUIREMENTS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS SET FORTH IN SECTION 605, 2010 EDITION.
2. ALL GUARDRAIL SHALL BE STEEL BEAM GUARD RAIL WITH W6X9 STEEL POST AND SYNTHETIC OFFSET BLOCK (606.120).
3. THE END TREATMENT FOR EACH SEGMENT OF RAIL SHALL BE A TERMINAL UNIT TYPE G-2 (606.147) STANDARD No. 8, NHDOT STANDARD PLANS.
4. ALL RAIL MATERIALS SHALL BE GALVANIZED STEEL AND IS SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.

SCALE: N.T.S.

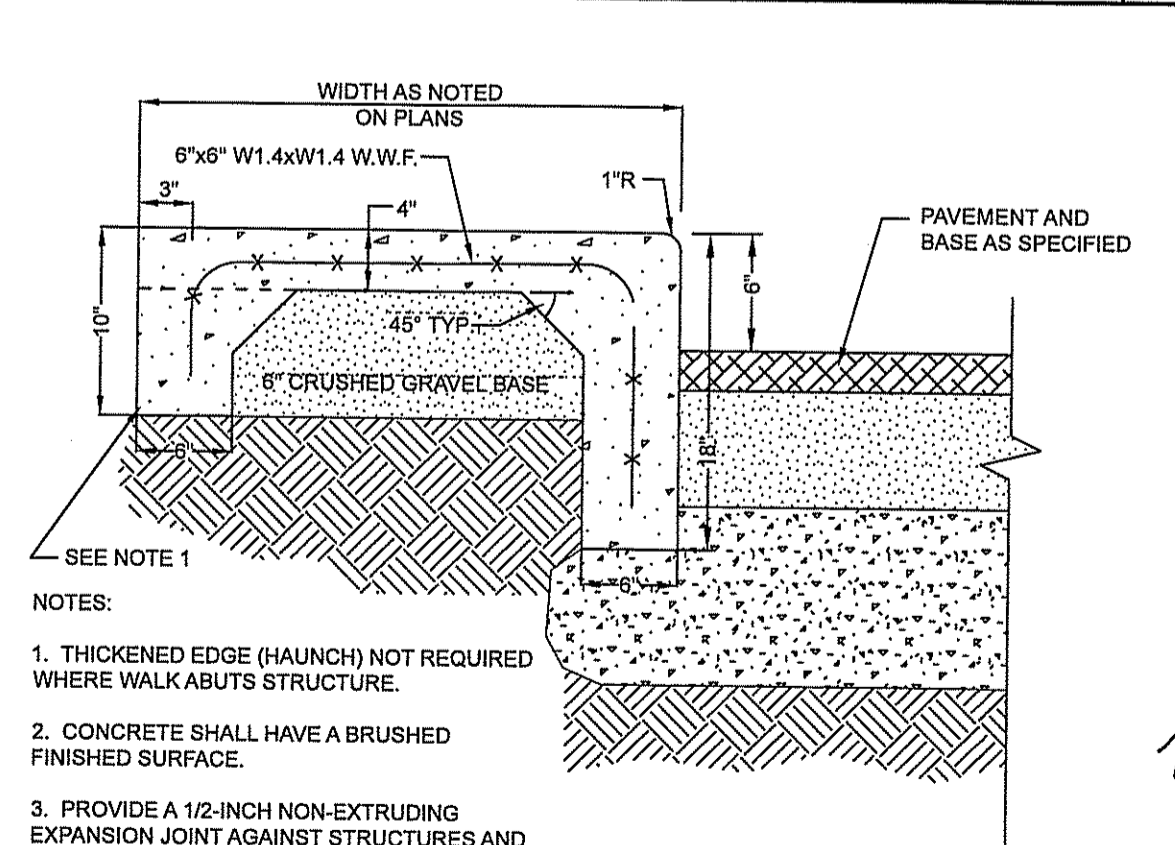
STANDARD NH DOT BEAM GUARDRAIL

7 DT-2



CURB - ASPHALT (CAPE COD BERM)

8 DT-2



SIDEWALK - CONCRETE (VERTICAL CONCRETE CURB)

9 DT-2

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF GREENVILLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
4. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
5. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
8. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

GENERAL CONSTRUCTION NOTES

10 DT-2

1. INSTALL STONE CHECK DAMS AND SILTATION CONTROL FENCES IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
3. CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE BURIED ON SITE AT THE LOCATIONS SHOWN. STUMPS SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. CONSTRUCT ROAD AND INSTALL DRAINAGE PIPES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
7. PLACE STONE CHECK DAMS AROUND INLETS AROUND ALL STRUCTURES UNTIL ROAD AND PARKING AREAS ARE PAVED AND ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER. SILT SACKS MAY BE UTILIZED IN PLACE OF STONE CHECK DAMS ON CATCHBASINS.
8. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
9. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
10. FINISH GRADING TO PREPARE FOR PAVING AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
11. FINISH PAVING. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF ROAD AND PARKING AREA PAVING (SEE EROSION CONTROL NOTES).
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
14. IN AN EFFORT TO RESTORE ADEQUATE INFILTRATION RATES OF THE BASINS PRIOR TO USE, THE BASINS OF THE INFILTRATION BASINS SHALL BE DEEPLY TILLED AND THEN FOLLOWED BY A PASS WITH A LEVELING DRAG. STORMWATER FLOWS ARE NOT TO BE DIRECTED INTO THE INFILTRATION BASINS UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
15. ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

CONSTRUCTION SEQUENCE

11 DT-2

REV.	DATE	DESCRIPTION	C/O	DR	CK

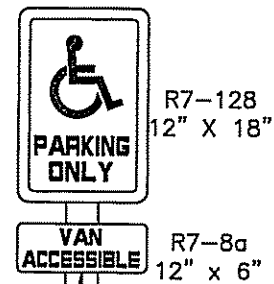
CONSTRUCTION DETAILS
TAX MAP 2 - LOTS 23-1, 23 & 21
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
 PREPARED FOR:
ADAM AMES
370 BOSTON POST ROAD - SUDBURY, MA 01776

SCALE: AS SHOWN APRIL 11, 2019

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

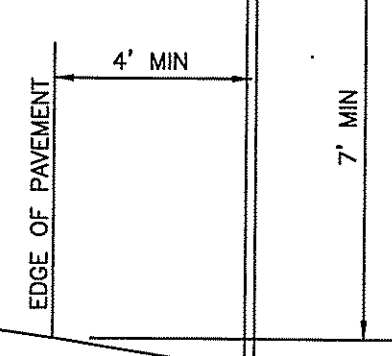
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R7-128
12' x 18'
VAN ACCESSIBLE
R7-8a
12' x 6'



R1-1
30' x 30'



STOP SIGN LOCATION

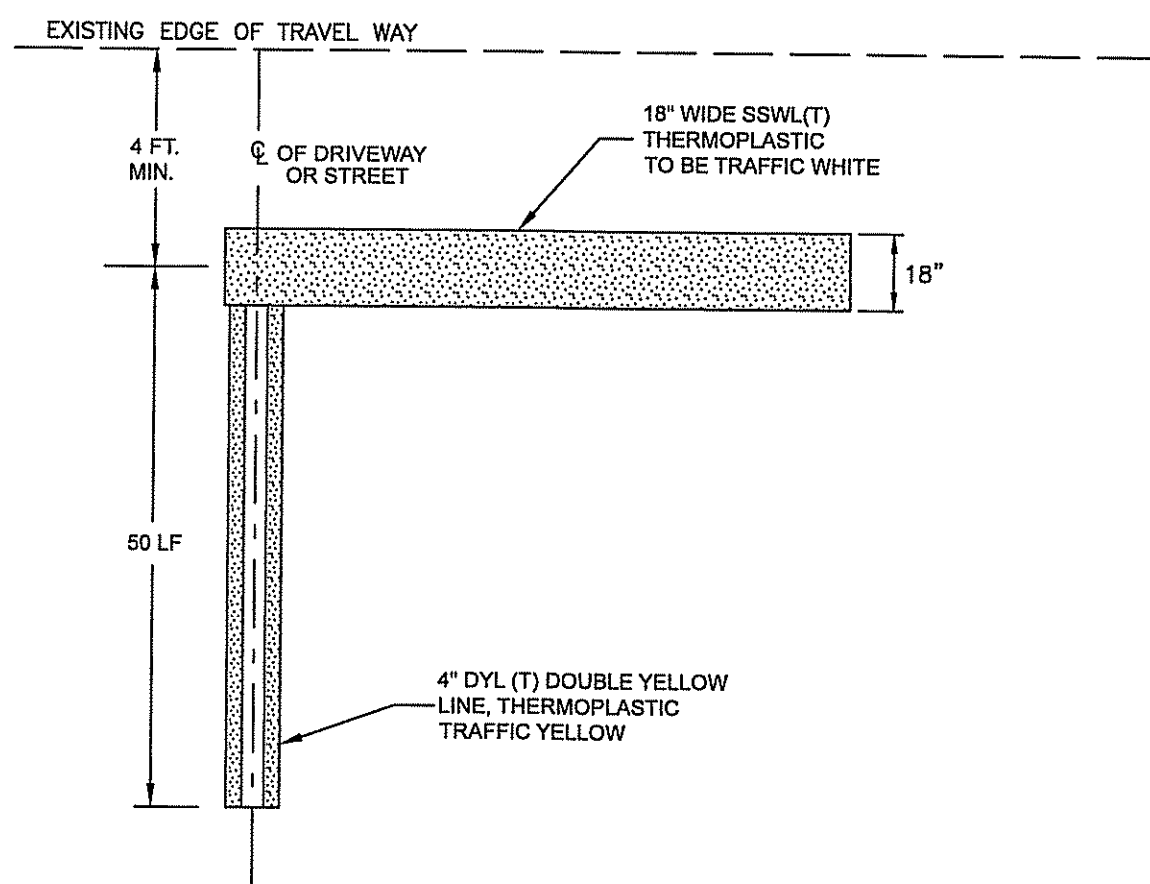
NOTES:

1. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST "NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNAGE AND PAVEMENT MARKINGS.

SCALE: N.T.S.

TRAFFIC SIGNS - ON SITE

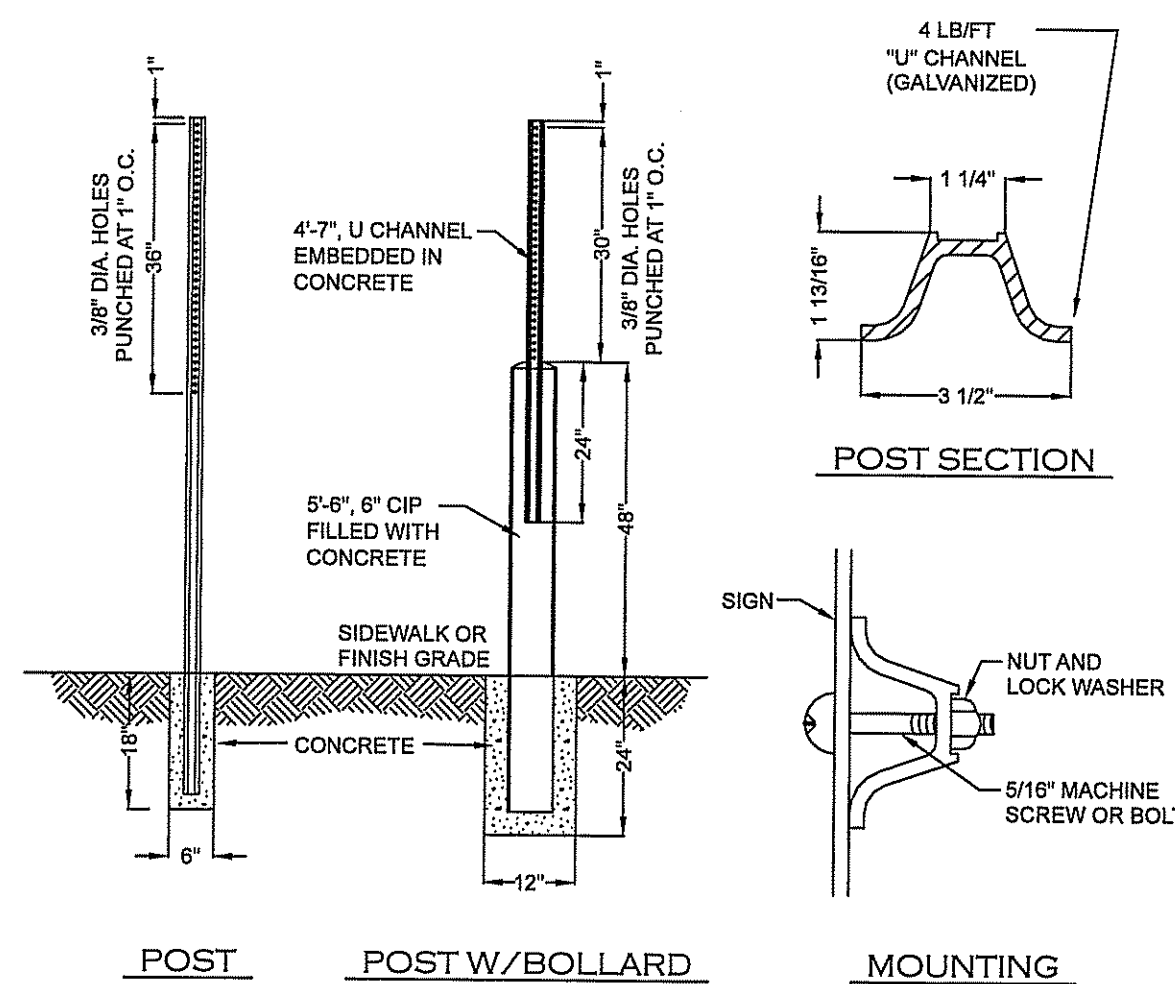
1
DT-3



SCALE: N.T.S.

STOP BAR DETAIL

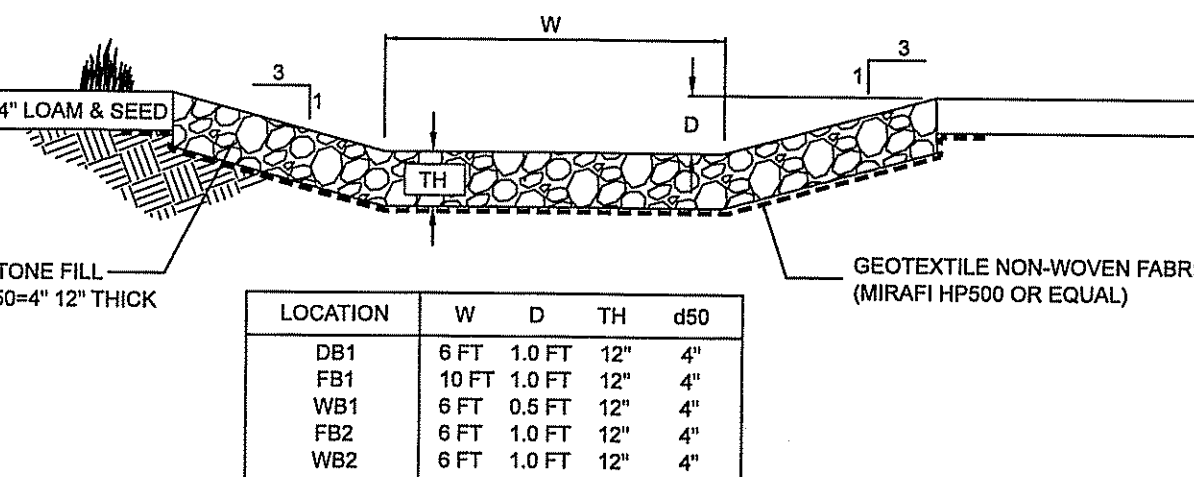
4
DT-3



SCALE: N.T.S.

SIGN POST - STANDARD & W/BOLLARD

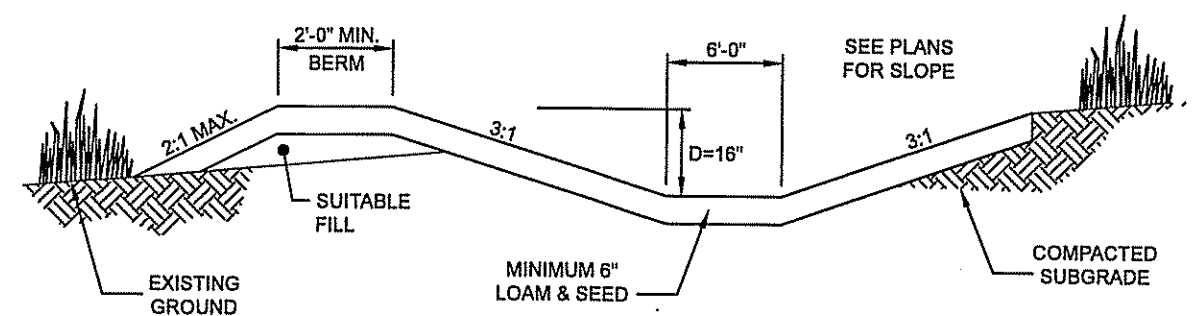
2
DT-3



SCALE: N.T.S.

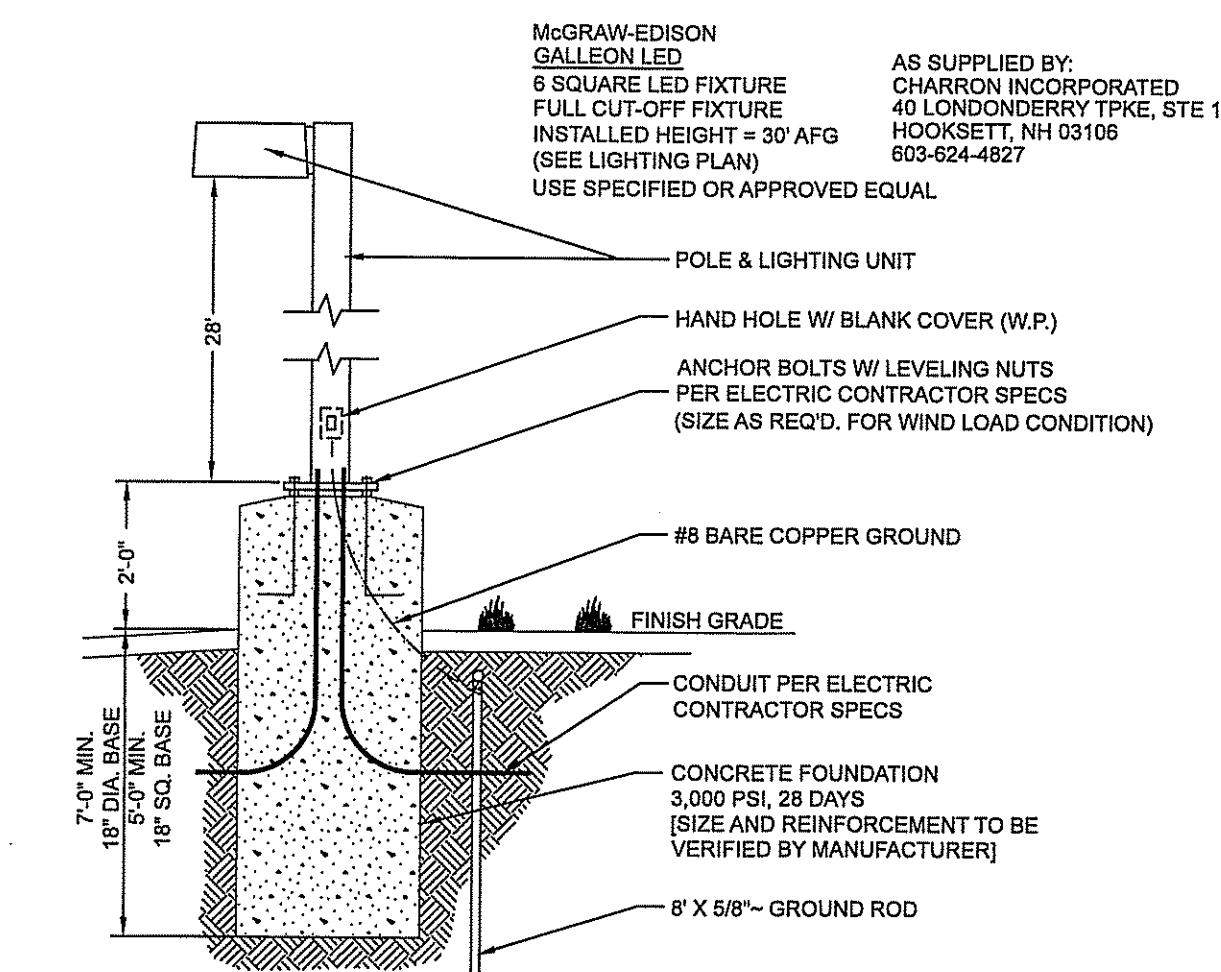
EMERGENCY SPILLWAY DETAIL

5
DT-3



GRASS LINED TREATMENT SWALE W/ BERM

6
DT-3



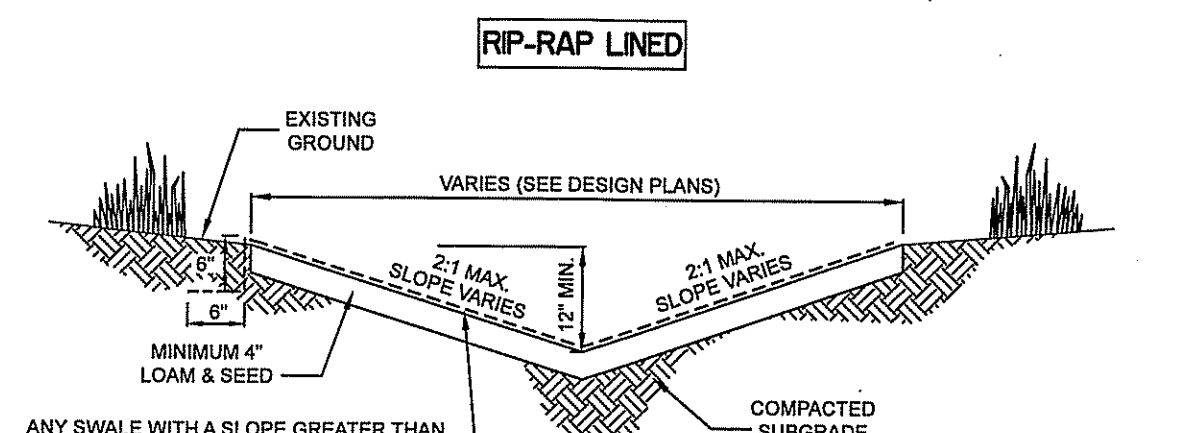
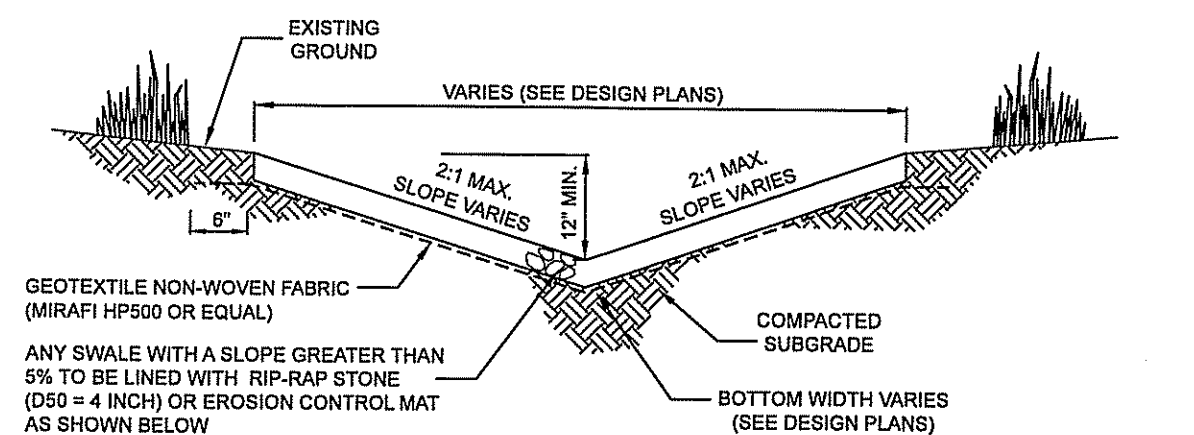
NOTE:

1. LIGHT POLE FOUNDATION SHALL EXTEND 2.0 FEET ABOVE FINISH GRADE TO PREVENT VEHICLES FROM DAMAGING THE LIGHT POLE.
2. LIGHT POLE AND FIXTURES BY OTHERS.

SCALE: N.T.S.

LIGHT POLE FOUNDATION

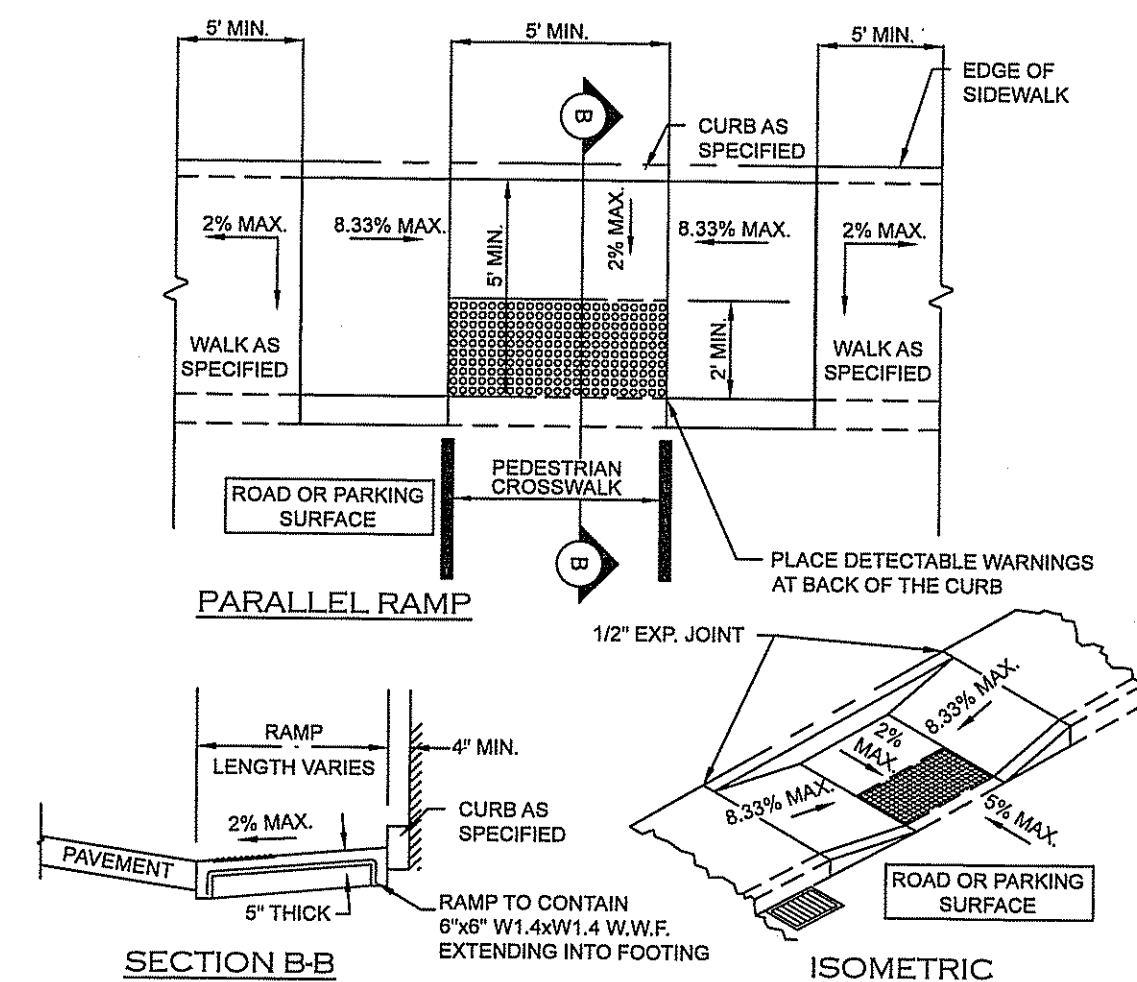
3
DT-3



SCALE: N.T.S.

TYPICAL SWALE DETAILS

7
DT-3

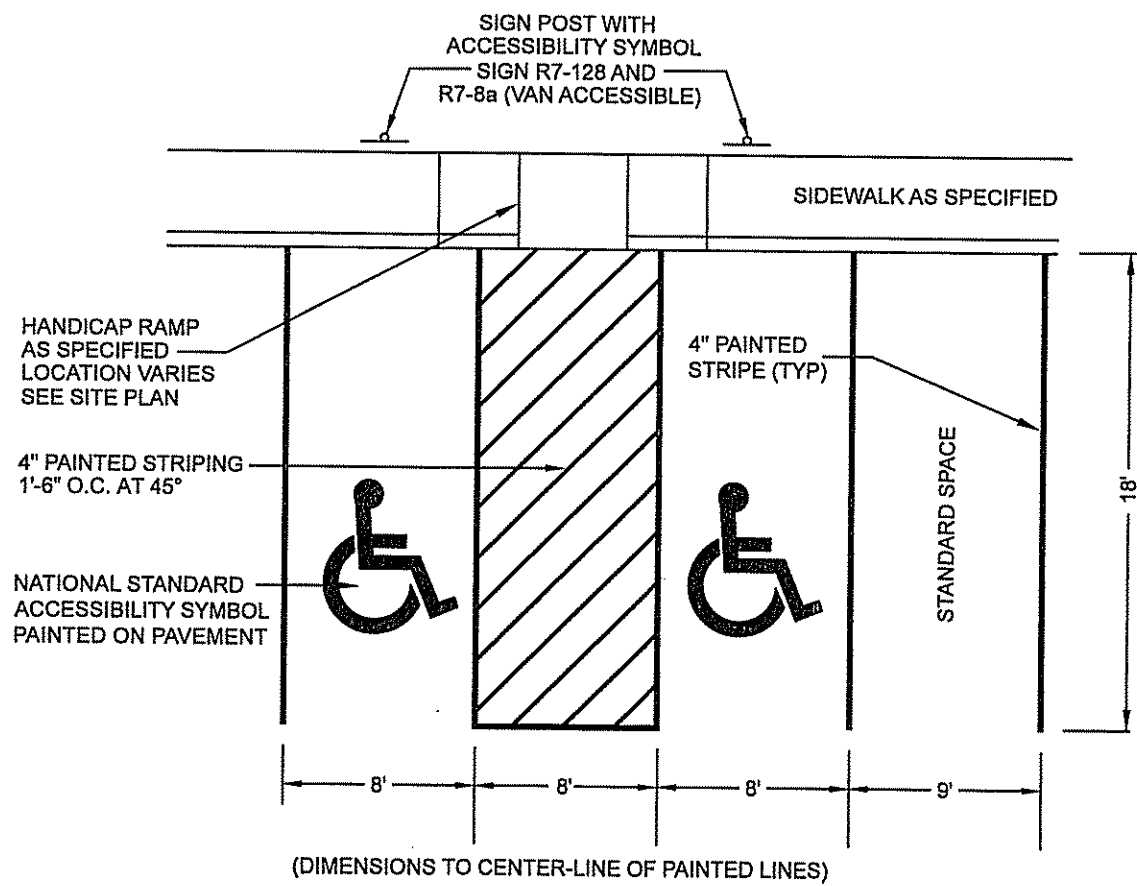


HANDICAP RAMP NOTES:

1. A SIDEWALK CURB RAMP IS DEFINED AS THE ENTIRE CONCRETE SURFACE WHICH INCLUDES THE RAMP AND FLARED SIDES.
2. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 8.33% (1:12). THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION. THE FLARED SIDE OF THE RAMP SHALL LIE ON A SLOPE OF 10% (1:10) MAXIMUM MEASURED ALONG THE CURB.
3. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMP SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FEET FROM THE ROADWAY CURBLINE.
4. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF SIDEWALK CURB RAMP OR LANDINGS. CATCH BASINS, MANHOLES, ETC. SHALL NOT BE LOCATED IN, OR AT THE BASE OF, SIDEWALK CURB RAMP OR LANDINGS.
5. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS. IT IS DESIRABLE THAT THE LOCATION OF THE RAMP BE AS CLOSE AS POSSIBLE TO THE CENTER OF THE CROSSWALK.
6. THE SIDEWALK CURB RAMP OR THE LANDING AREA (PARALLEL SIDEWALK CURB RAMP) SHALL CONTRAST VISUALLY WITH THE ADJOINING SIDEWALK SURFACE. EITHER ASPHALT/LIGHT-COLORED CONCRETE OR LIGHT-COLORED CONCRETE/DARK-STAINED CONCRETE. THE CONCRETE SURFACE SHALL BE SLIP RESISTANT (BROOM FINISHED).
7. DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DORIES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION OR LANDING AND THE STREET.
8. A LEVEL LANDING 6'-0" DEEP, WITH A 2% MAXIMUM SLOPE IN EACH DIRECTION SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP TO ALLOW SAFE EGRESS FROM THE RAMP SURFACES. THE WIDTH OF THE LEVEL LANDING SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE RAMP. A LEVEL LANDING 4" DEEP SHALL BE PROVIDED AT ALL PEDESTRIAN PUSH BUTTONS AT SIGNALIZED CROSSINGS.
9. RAMP OPENING SHALL BE THE SAME WIDTH AS THE SIDEWALK, UP TO 6'-0" WIDE.
10. FOR NEW CONSTRUCTION - ALL DETECTABLE WARNINGS ARE TO BE CAST IRON AND SET IN CONCRETE.

HANDICAP SIDEWALK RAMP - HCR2

8
DT-3



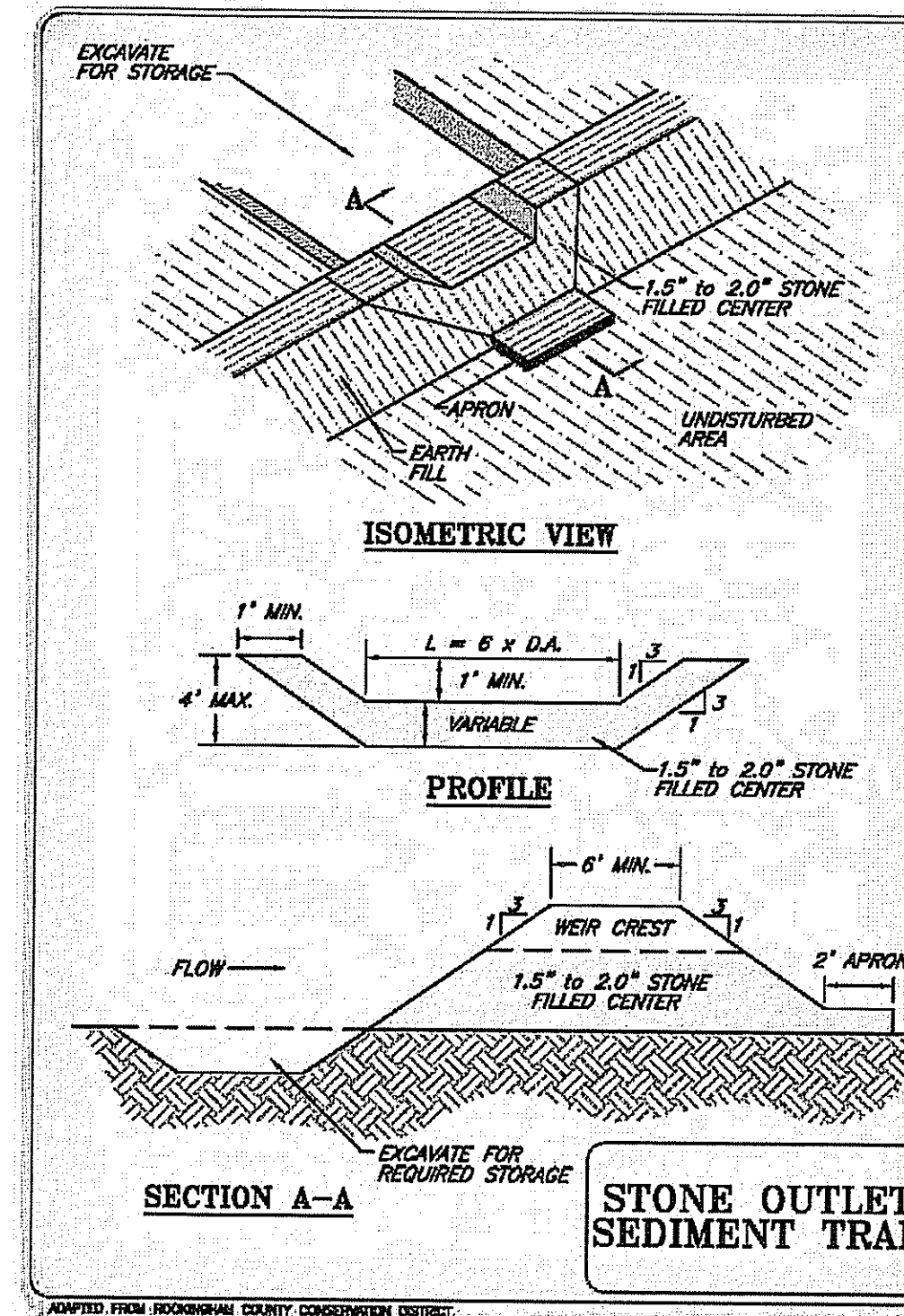
NOTES:

1. MAXIMUM SLOPE IN ANY DIRECTION IS 2.0% FOR HANDICAP SPACES.
2. SEE SITE PLAN FOR LOCATION OF HANDICAP SPACES AND TYPE OF HANDICAP RAMP TO BE USED.
3. HANDICAP SYMBOL SHALL BE CENTERED ON WIDTH OF PARKING STALL AND LOCATED 6\"/>

SCALE: N.T.S.

PARKING STALL LAYOUT

9
DT-3



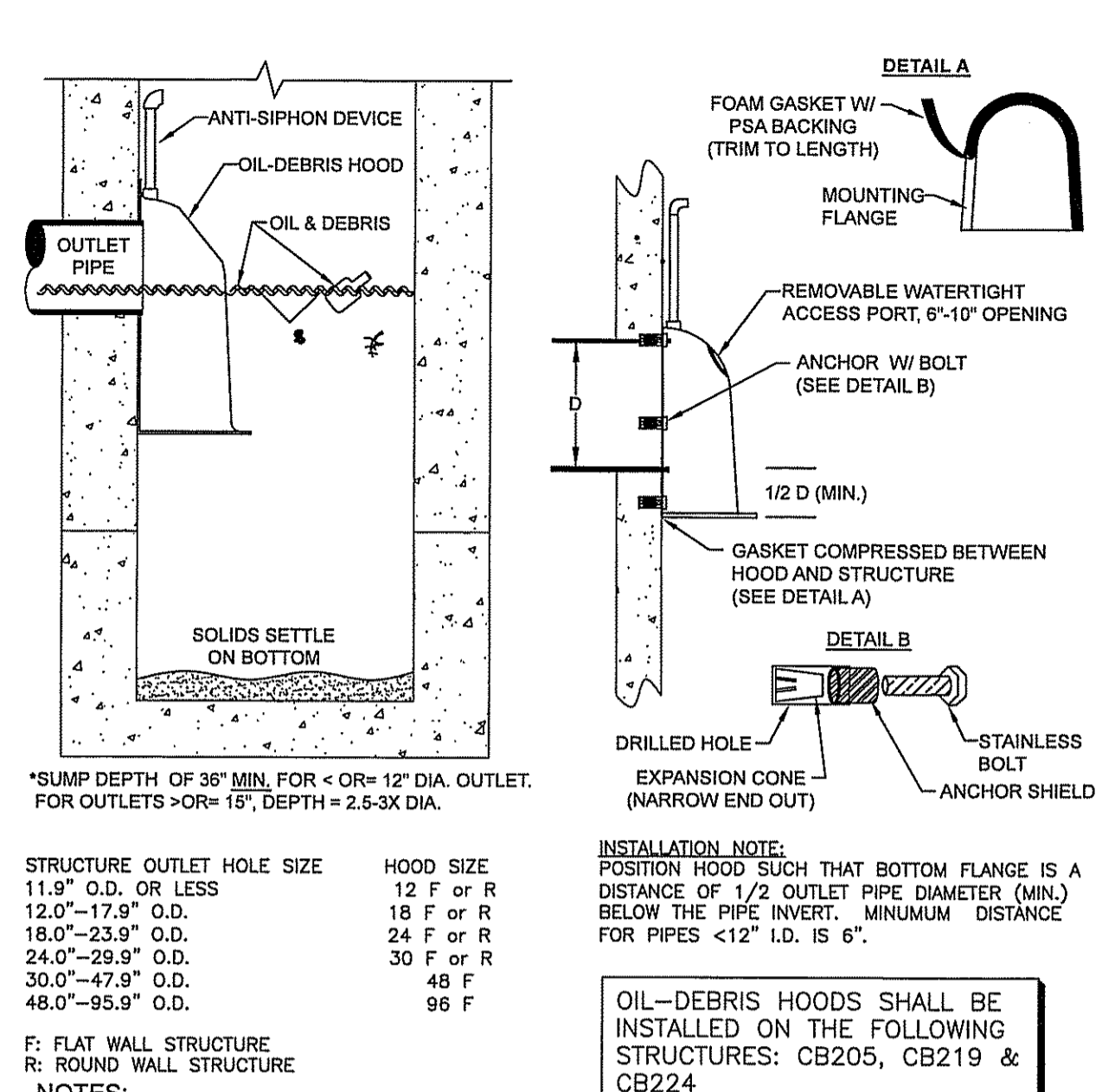
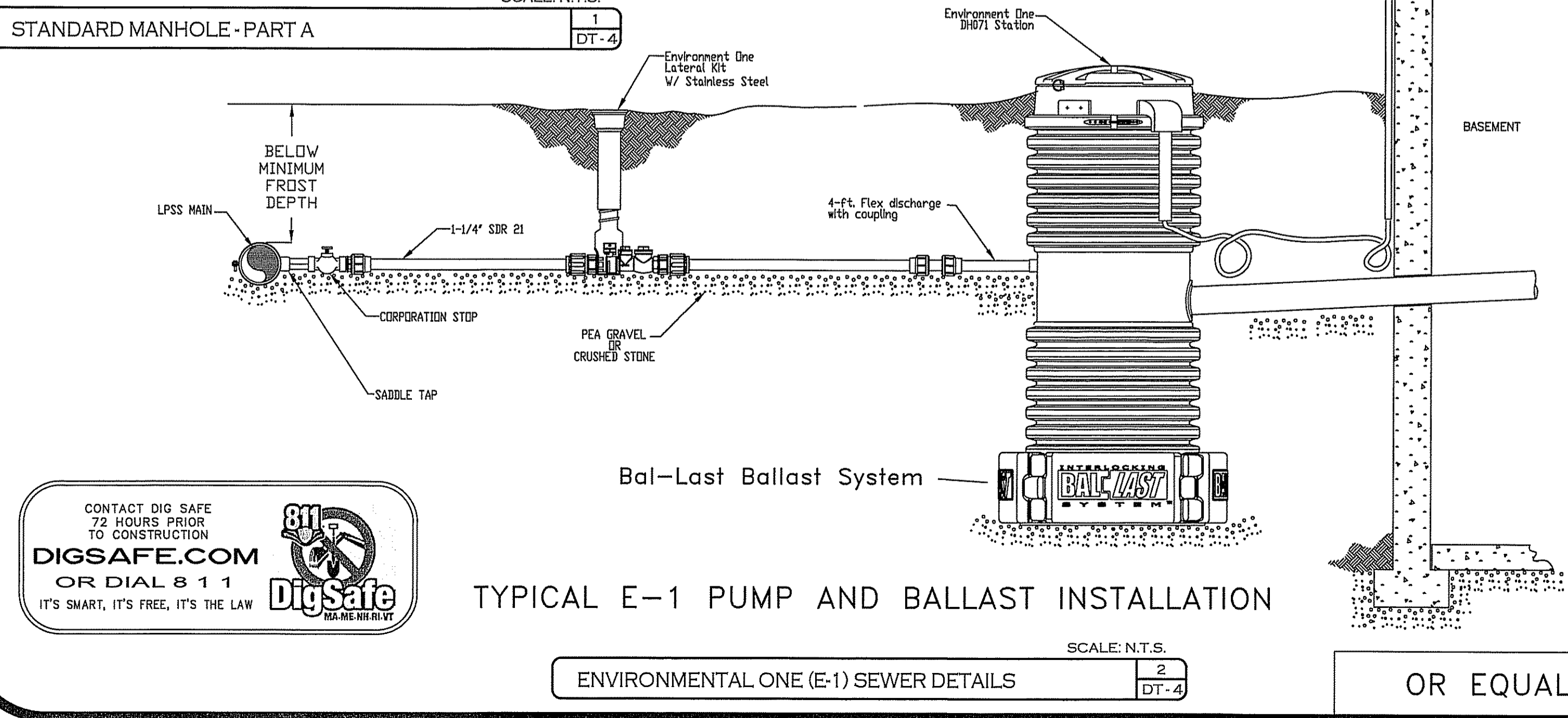
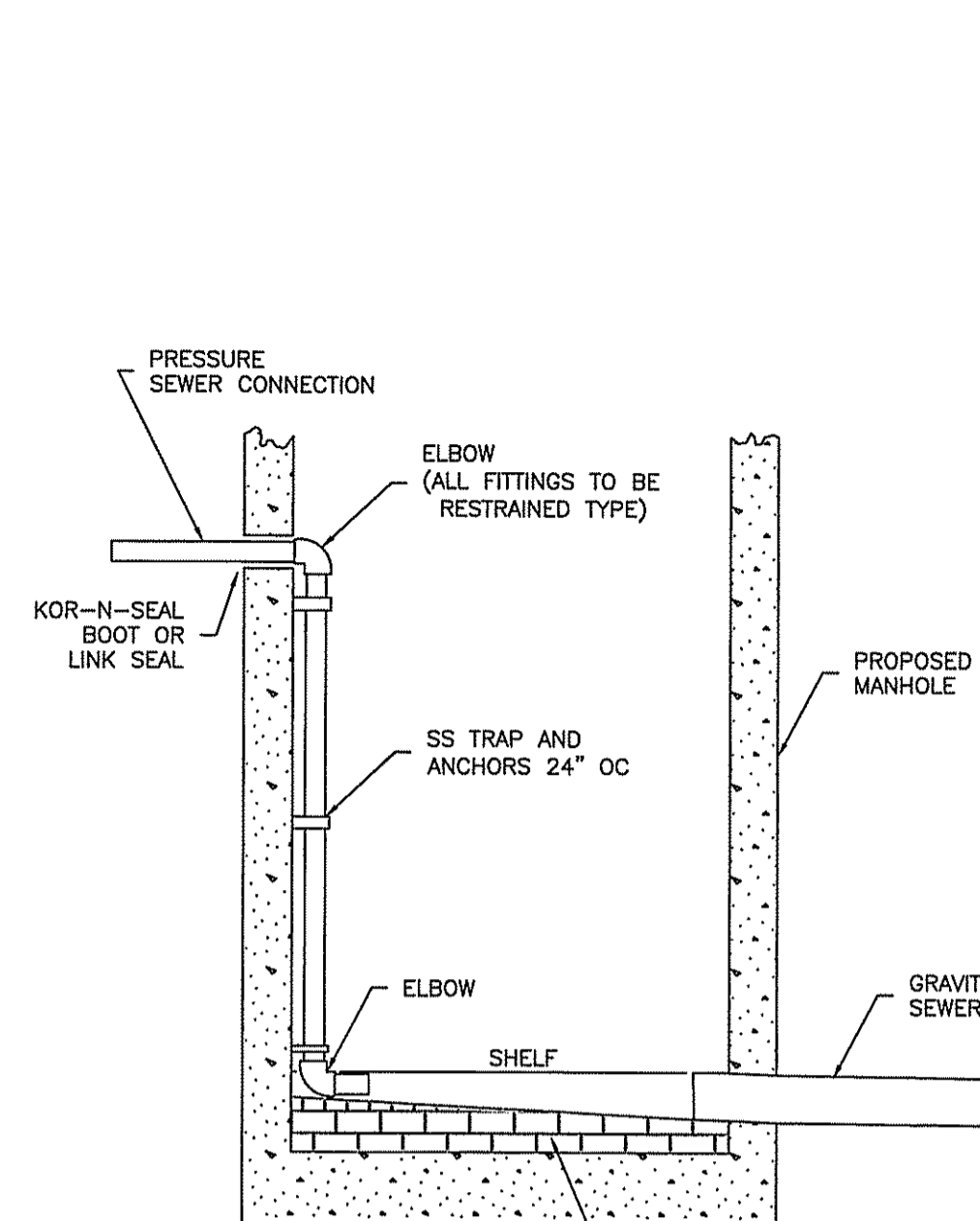
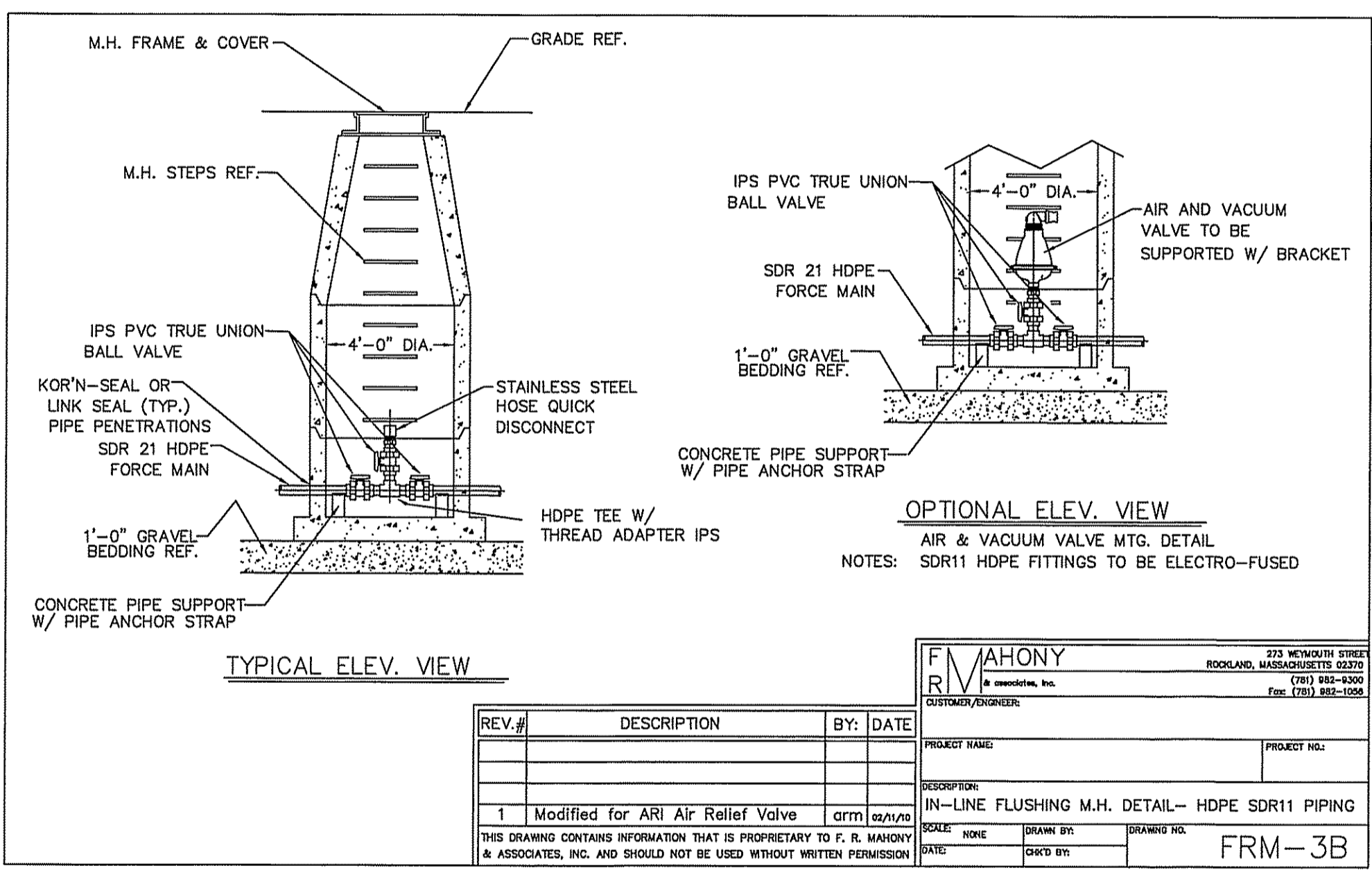
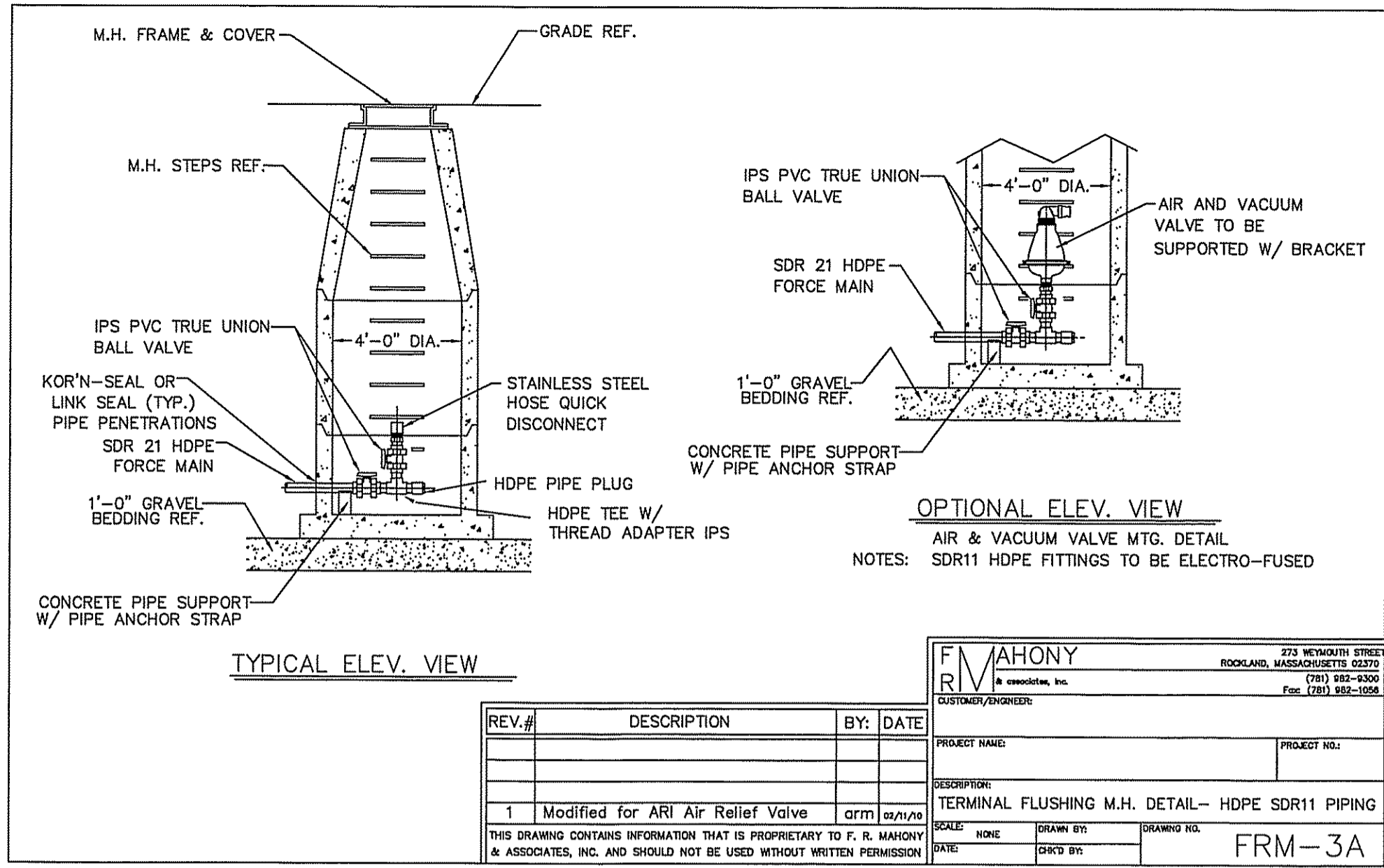
1. The trap shall be installed as close to the disturbed area or source of sediment as possible;
2. The maximum contributing drainage area to the trap shall be less than 5 acres;
3. The minimum volume of the trap shall be 3,600 cubic feet of storage for each acre of drainage area;
4. The side slopes of the trap shall be 3:1 or flatter, and shall be stabilized immediately after their construction;
5. The outlet of the trap shall be a minimum of one foot below the crest of the trap and shall discharge to a stabilized area;
6. The trap shall be cleaned when 50 percent of the original volume is filled; and
7. The materials removed from the trap shall be properly disposed of and stabilized.
8. Refer to the New Hampshire Stormwater Manual, Volume 3 for alternative sediment trap options.

SEDIMENT TRAP

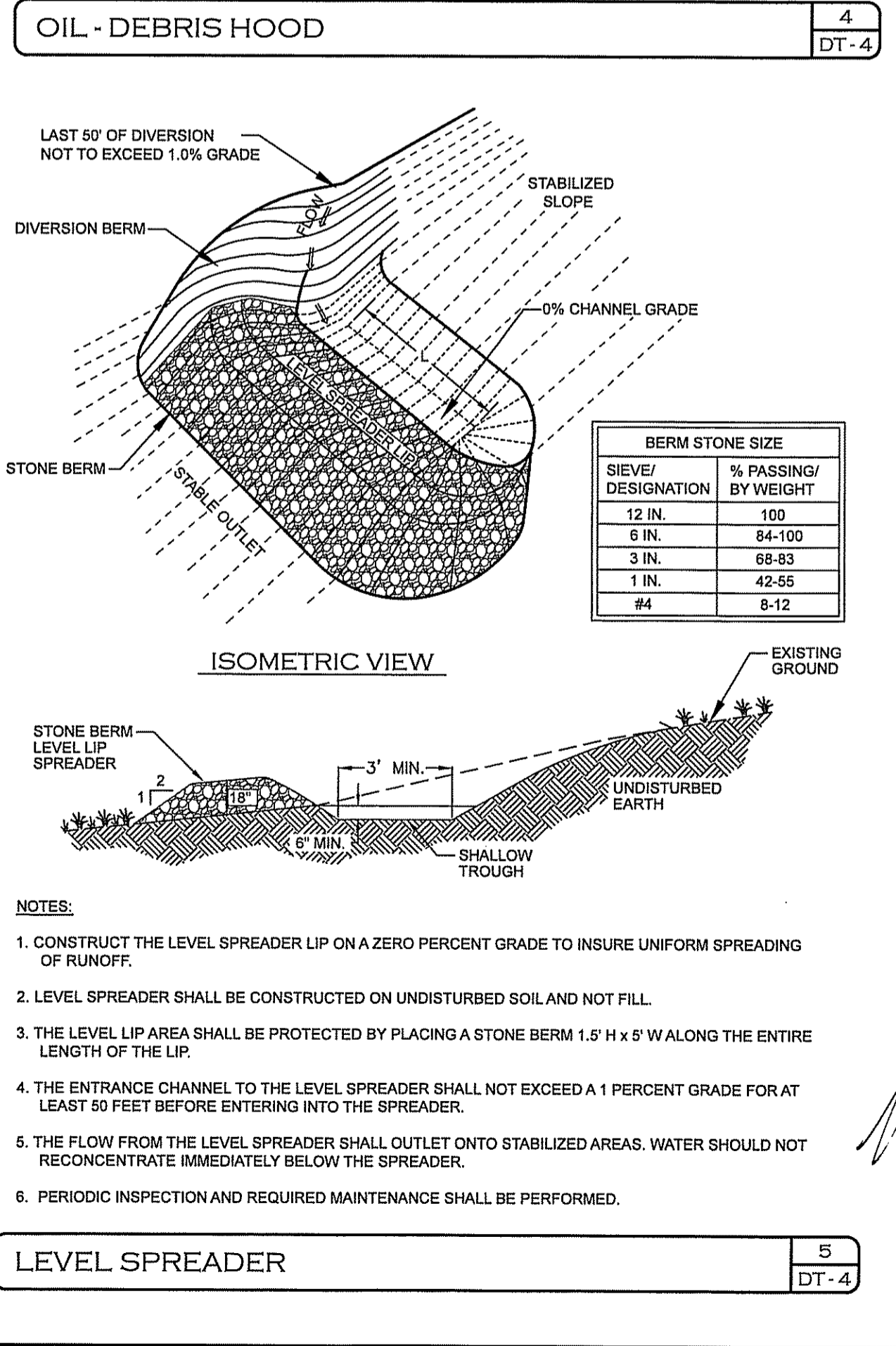
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DT-3



REV.	DATE	DESCRIPTION	C/O	DR	CK
CONSTRUCTION DETAILS					
TAX MAP 2 - LOTS 23-1, 23 & 21					
77 PLEASANT STREET					
GREENVILLE, NEW HAMPSHIRE					
PREPARED FOR:					
ADAM AMES					
370 BOSTON POST ROAD - SUDBURY, MA 01776					
SCALE: AS SHOWN			APRIL 11, 2019		
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs					
FIELDSTONE					
LAND CONSULTANTS, PLLC					
206 Elm Street, Milford, NH 03055					
Phone: (603) 672-5456 Fax: (603) 413-5456					
www.FieldstoneLandConsultants.com					
FILE: 1688DT00.dwg	PROJ. NO. 1688.00	SHEET: DT-3	PAGE NO. 23 OF 28		



- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND THE PIPE SHALL BE TRIMMED FLUSH TO WALL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., LYME, CT OR EQUAL.



- (IF MORE THAN 5000 CUBIC YARDS ARE BLASTED) IDENTIFY DRINKING WATER WELLS LOCATED WITHIN 2000 FEET OF THE PROPOSED BLASTING ACTIVITIES. DEVELOP A GROUNDWATER QUALITY SAMPLING PROGRAM TO MONITOR FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY WELLS IN THE AREA. THE PLAN MUST INCLUDE PRE AND POST BLAST WATER QUALITY MONITORING AND BE APPROVED BY NHDES PRIOR TO INITIATING BLASTING. THE GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY NHDES.
- (APPLIES TO ALL BLASTING) THE FOLLOWING BEST MANAGEMENT PROCEDURES FOR BLASTING SHALL BE COMPLIED WITH:
 - LOADING PRACTICES. THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
 - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
 - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
 - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
 - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
 - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
 - EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
 - EXPLOSIVE SELECTION. THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
 - PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
 - MUCK PILE MANAGEMENT. MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
 - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
 - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
 - SPILL PREVENTION MEASURES AND SPILL MITIGATION. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
 - THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
 - STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE;
 - SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
 - LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY;
 - INSPECT STORAGE AREAS WEEKLY;
 - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
 - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS; AND
 - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
 - THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
 - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
 - PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS;
 - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
 - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES; AND
 - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
 - THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
 - FUELING AND MAINTENANCE OF EXCAVATION, EARTH-MOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTH-MOVING EQUIPMENT" OR ITS SUCCESSOR DOCUMENT. (SEE [HTTP://DES.NH.GOV/ORGANIZATION/COMMISSIONER/PI/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF](http://DES.NH.GOV/ORGANIZATION/COMMISSIONER/PI/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF))

BLASTING NOTES

6	DT-4
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CONSTRUCTION DETAILS

TAX MAP 2 - LOTS 23-1, 23 & 21

77 PLEASANT STREET

GREENVILLE, NEW HAMPSHIRE

PREPARED FOR:

ADAM AMES

370 BOSTON POST ROAD - SUDBURY, MA 01776

SCALE: AS SHOWN APRIL 11, 2019

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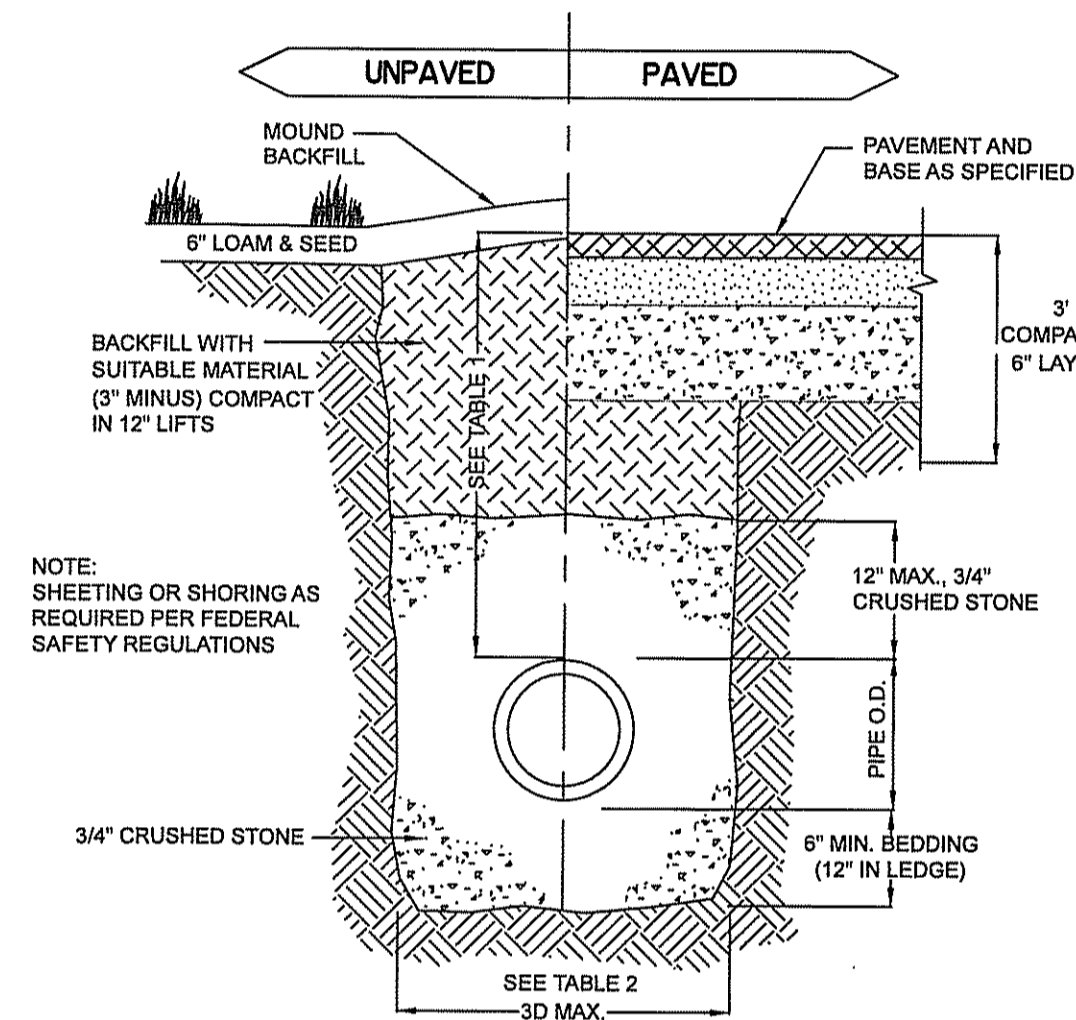
NATHAN CHAMBERLAIN

Professional Engineer

11/01/20

- CATCH BASINS, PIPE INLETS, DRAINAGE BASINS AND SPILLWAYS SHALL BE INSPECTED AFTER EVERY MAJOR STORM FOR POLLUTANT BUILD-UP. POLLUTANTS CONSIST OF SEDIMENTS, DEBRIS AND/OR FLOATING HYDROCARBONS.
- IN THE ABSENCE OF A MAJOR STORM, THE SYSTEM MUST BE CHECKED AT LEAST TWICE A YEAR, IN THE SPRING AND FALL FOR HYDROCARBON ACCUMULATION.
- IF, UPON INSPECTION, A SIGNIFICANT AMOUNT OF POLLUTANTS HAVE ACCUMULATED IN ANY OF THE CATCH BASINS, THEN THE POLLUTANTS MUST BE REMOVED AND DISPOSED OF PROPERLY.
- A SIGNIFICANT AMOUNT OF POLLUTANTS SHALL BE DEFINED AS A NOTICEABLE SHEEN ON THE WATER SURFACE IN THE SUMPS OF ANY CATCH BASINS AND/OR WHEN SEDIMENTS HAVE ACCUMULATED TO WITHIN 6 INCHES BELOW THE OUTLET OF ANY OF THE CATCH BASINS. WHEN EITHER OF THESE SITUATIONS ARE DISCOVERED UPON THE REQUIRED SEMIANNUAL INSPECTION, THEN THE STEPS STATED ABOVE SHALL BE COMPLETED.
- THE DRAINAGE BASIN EMBANKMENTS SHOULD BE INSPECTED FOR RODENT BURROWS, BARE SPOTS, WET AREAS OR EROSION. ANY DEFICIENCIES SHALL BE CORRECTED TO PREVENT ADDITIONAL DAMAGE.
- PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE ERODED AREA OF THE OUTLET.

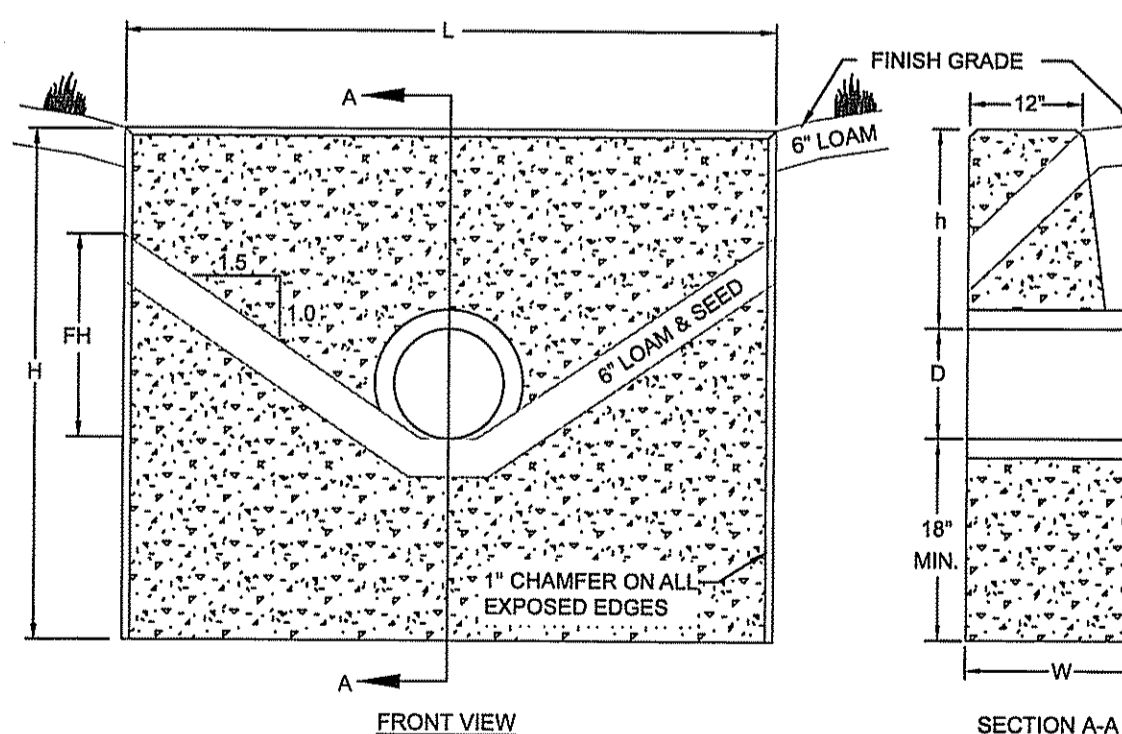
STORMWATER MAINTENANCE NOTES 1 DT-5



LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
GRAVEL ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

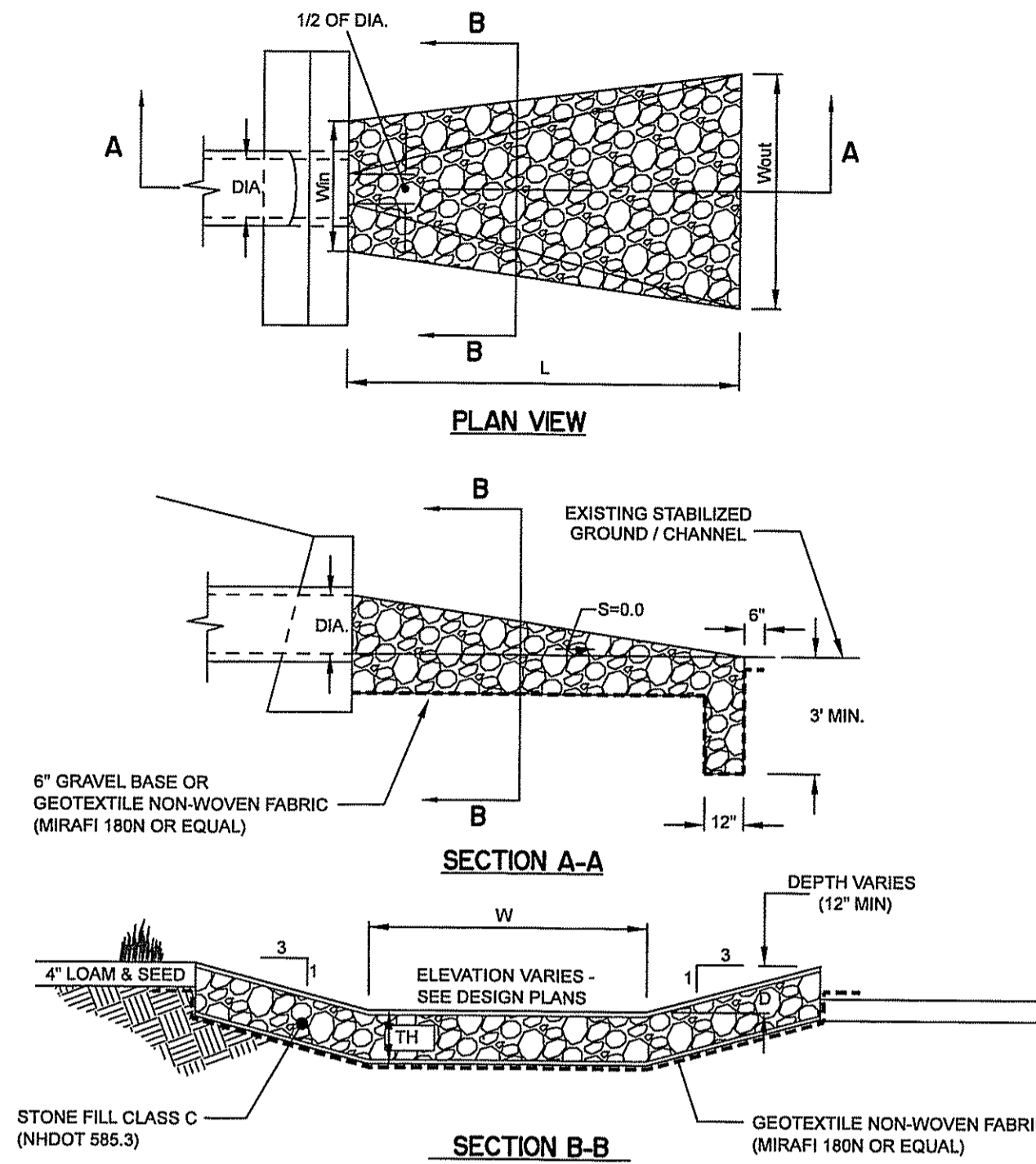
INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	I.D. + 24"
OVER 24"	2 x I.D.

DRAINAGE TRENCH (TYPICAL) 2 DT-5



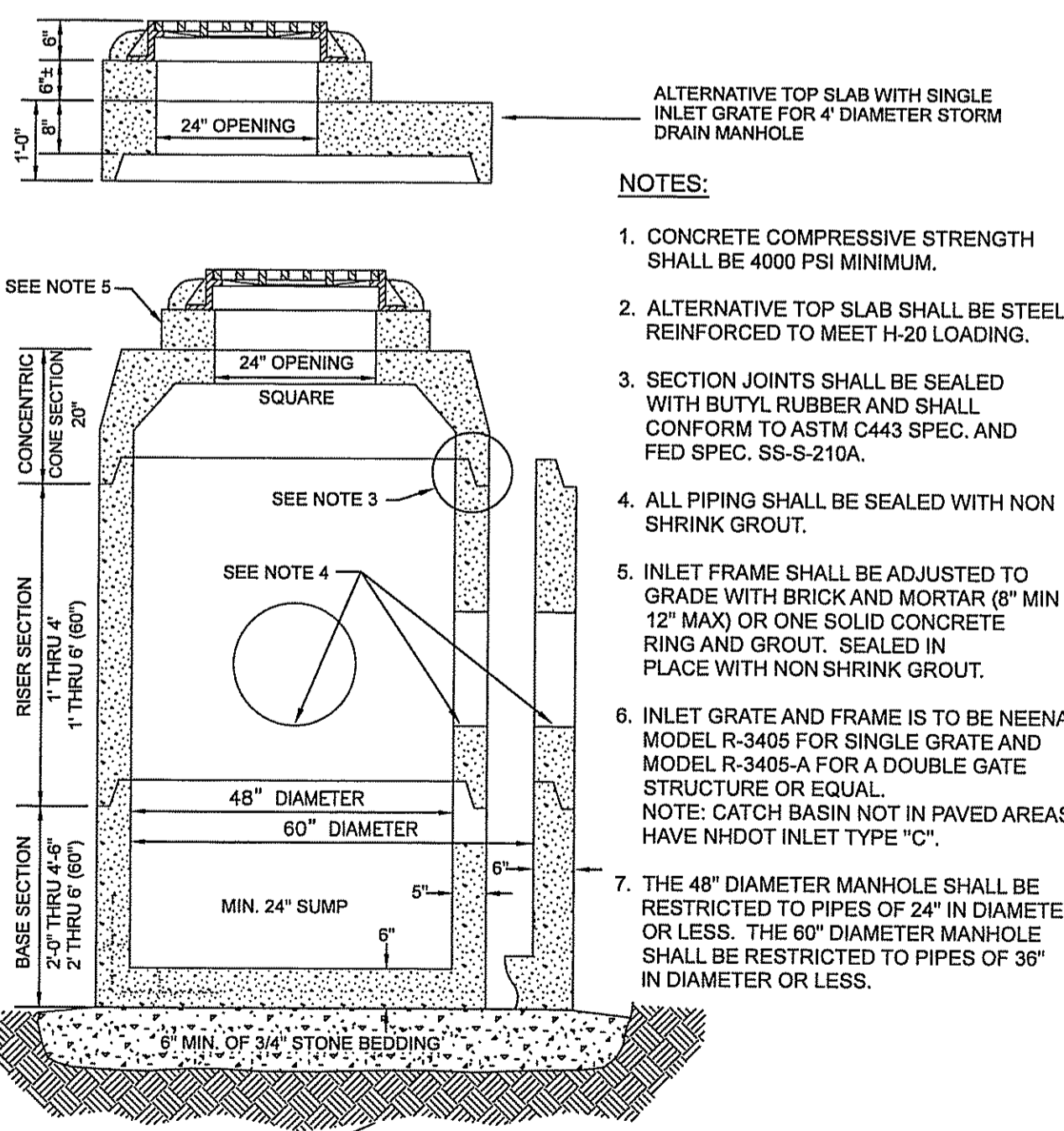
CULVERT DIAM.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM
D	L	H	FH	h	WIDTH W
INCHES					
FEET & INCHES					
12	4'-3"	3'-9"	1'-1"	1'-3"	1.94'
15	6'-0"	4'-3"	1'-7"	1'-6"	2.06'
18	7'-0"	4'-6"	1'-10"	1'-6"	2.13'
24	9'-0"	5'-0"	2'-4"	1'-6"	2.25'
30	11'-0"	5'-6"	2'-10"	1'-6"	2.38'

HEADWALL - PRECAST CONCRETE (OR EQUAL) 3 DT-5

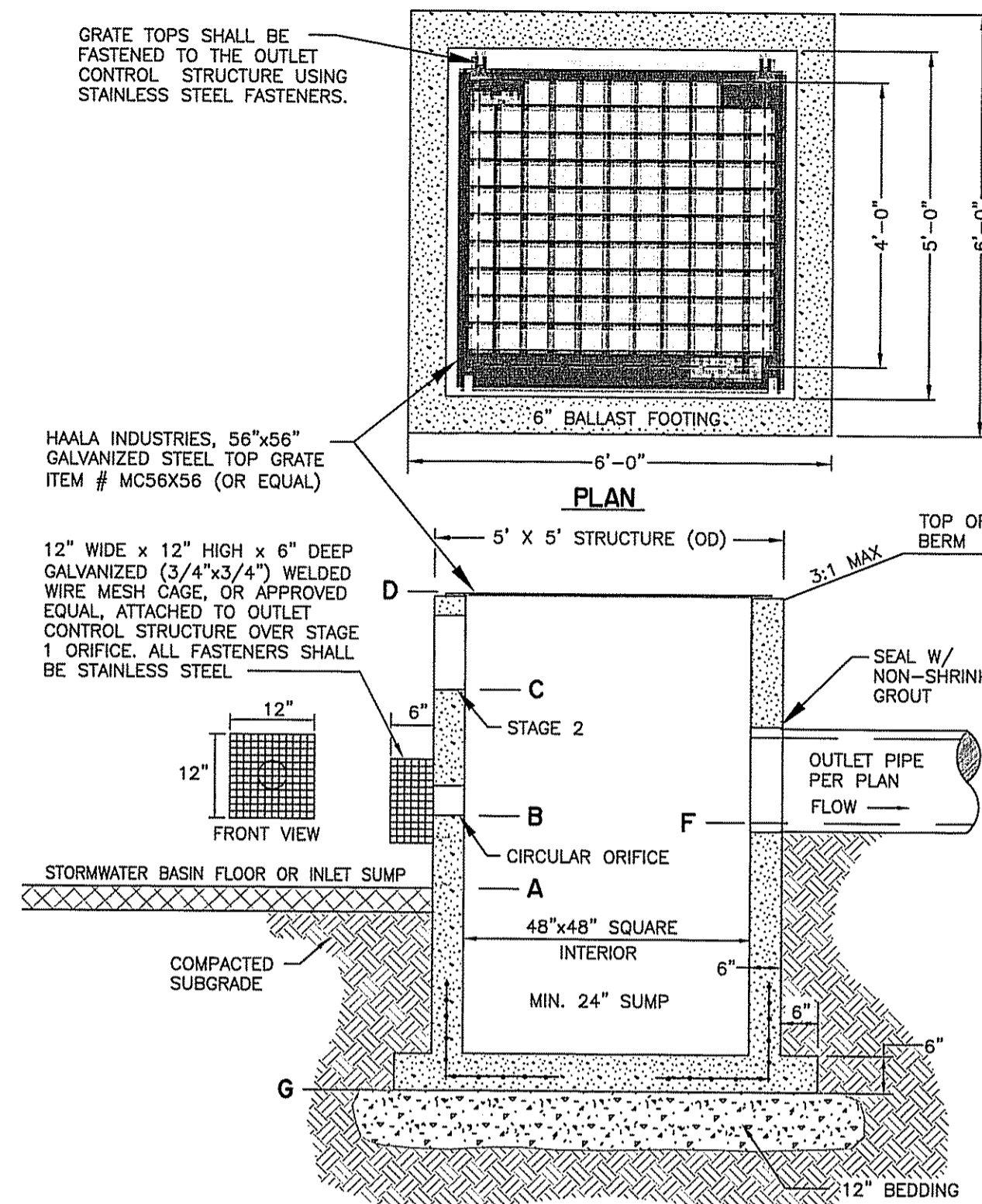


STRUCTURE	LENGTH FT.	WIDTH (IN) FT.	WIDTH (OUT) FT.	d50 DIA IN.	THICKNESS IN.
HW 4	18	8	26	4"	12"
HW 5	12	4	16	4"	12"
HW 6	9	4	13	4"	12"
HW 7	24	6	30	6"	18"
HW 8	16	6	22	4"	12"
HW 9	14	4	18	4"	12"
HW 10	11	4	14	4"	12"

RIP-RAP OUTLET PROTECTION 4 DT-5

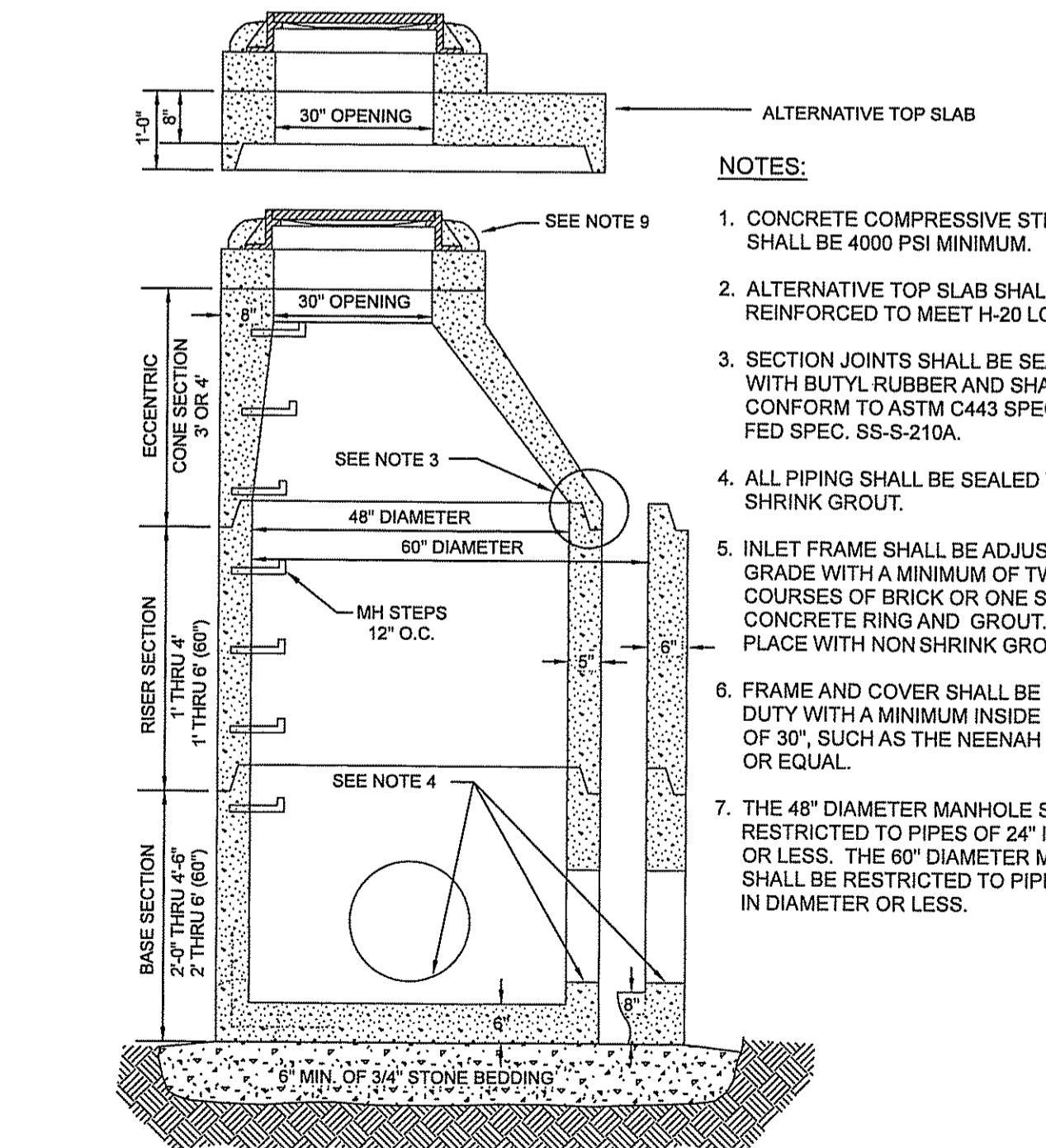


CATCH BASIN 5 DT-5

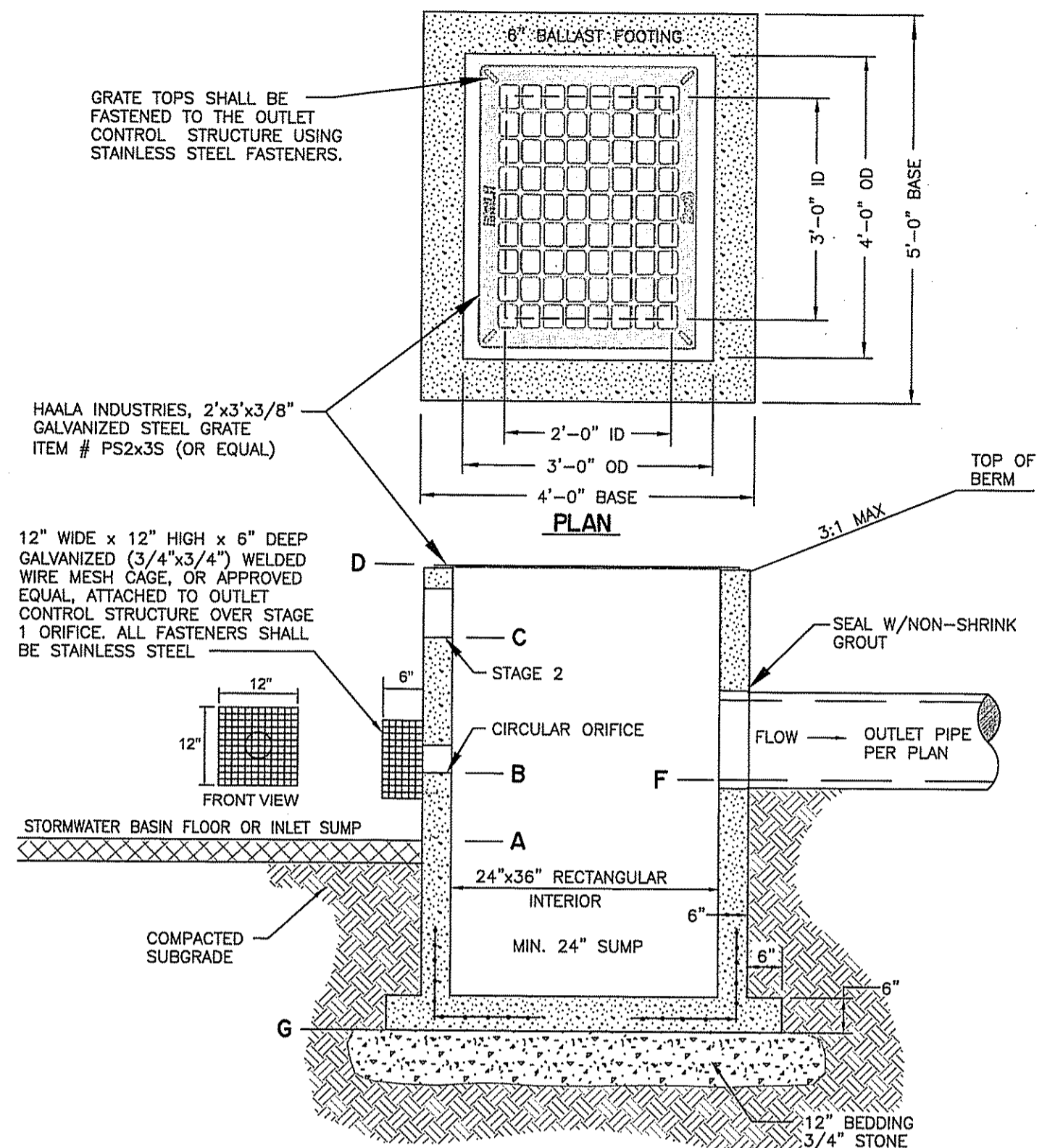


LOCATION	BASIN OUTLETS		ELEVATIONS (FT.)						
	STAGE 1	STAGE 2	A	B	C	D	E	F	G
OS2 (WB1)	3" ORIFICE	24"X12" WEIR	899.0	902.50	905.20	906.80	908.00	901.40	898.90

STORMWATER BASIN OUTLET STRUCTURE 6 DT-5



MANHOLE - STORM DRAIN 7 DT-5



LOCATION	BASIN OUTLETS		ELEVATIONS (FT.)						
	STAGE 1	STAGE 2	A	B	C	D	E	F	G
OS1 (DB1)	3" ORIFICE	9" ORIFICE	887.50	888.00	889.20	890.80	892.00	887.53	885.00
OS3 (IB1)	4" ORIFICE	NA	902.00	904.00	NA	905.30	906.50	901.20	898.70

STORMWATER BASIN OUTLET STRUCTURE 6 DT-5

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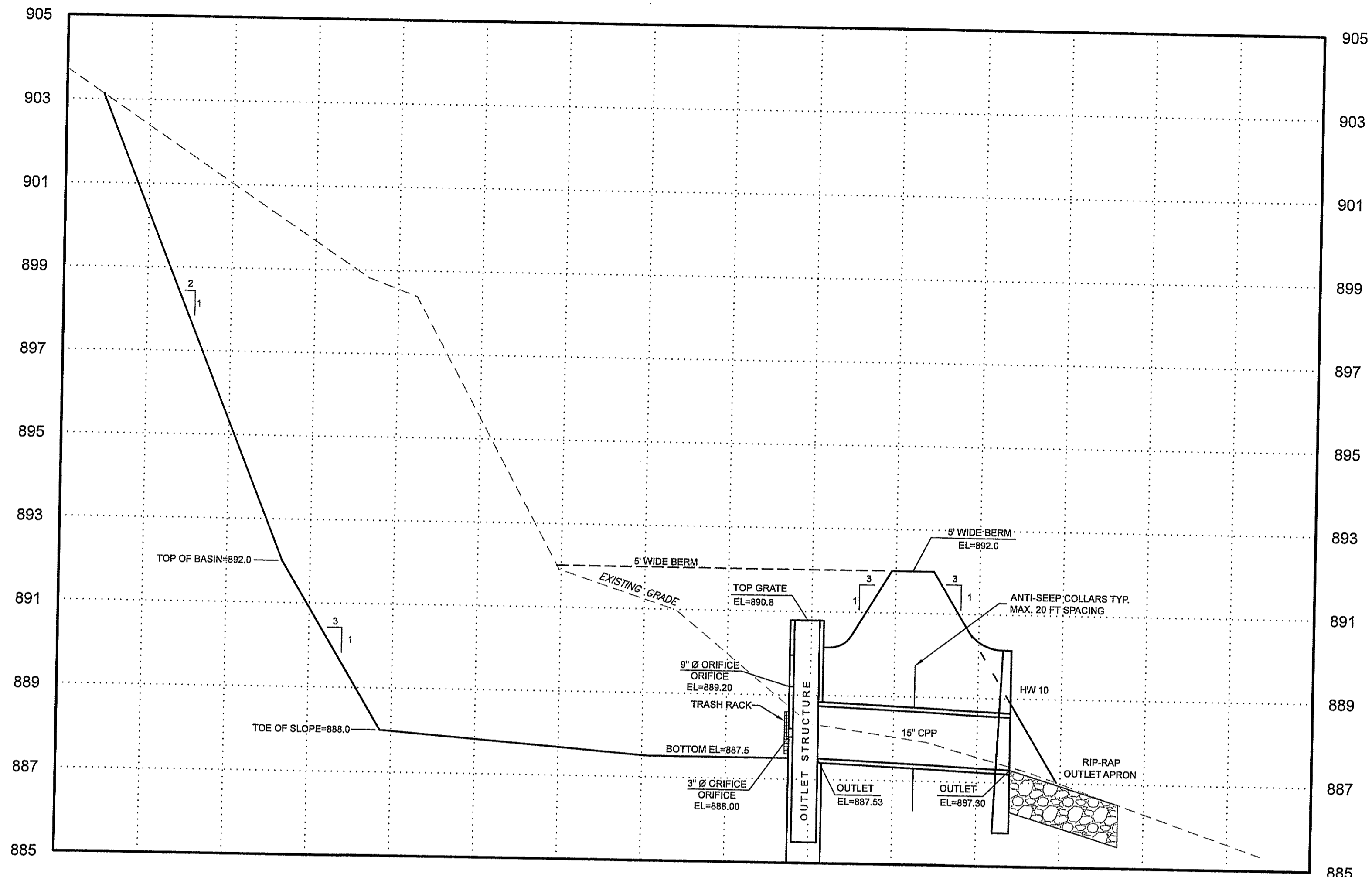
REV.	DATE	DESCRIPTION	DES/VE	NRC	CEB
B	01/08/20	ADDRESS AOT (10/16/19) & UEI (10/11/19) COMMENTS	DES/VE	NRC	CEB
A	08/06/19	REV. PER STATE PERMITTING	DES	PWH	CEB
REV.			C/O	DR	CK

DRAINAGE DETAILS
TAX MAP 2 - LOTS 23-1, 23 & 21
77 PLEASANT STREET
GREENVILLE, NEW HAMPSHIRE
 PREPARED FOR:
ADAM AMES
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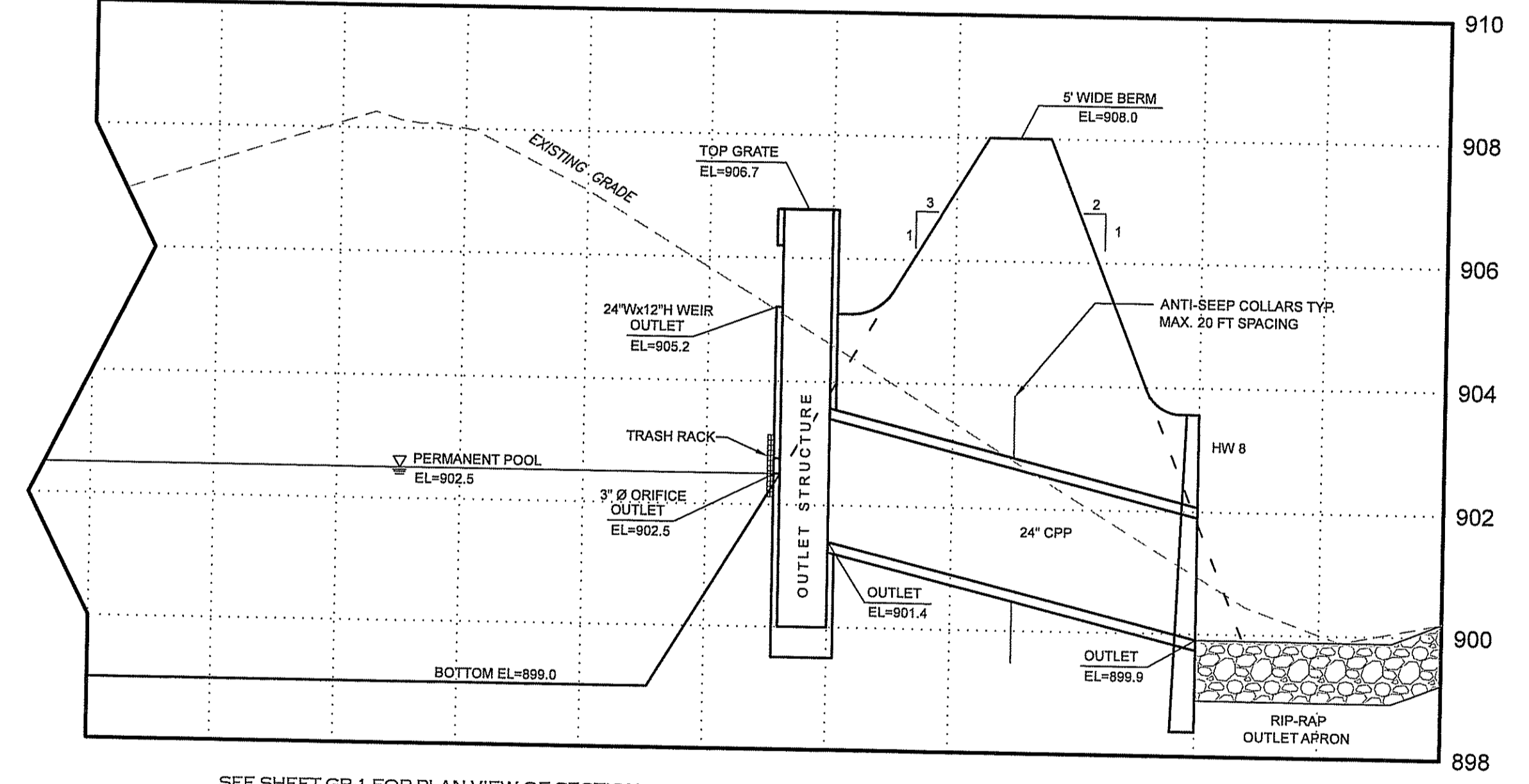
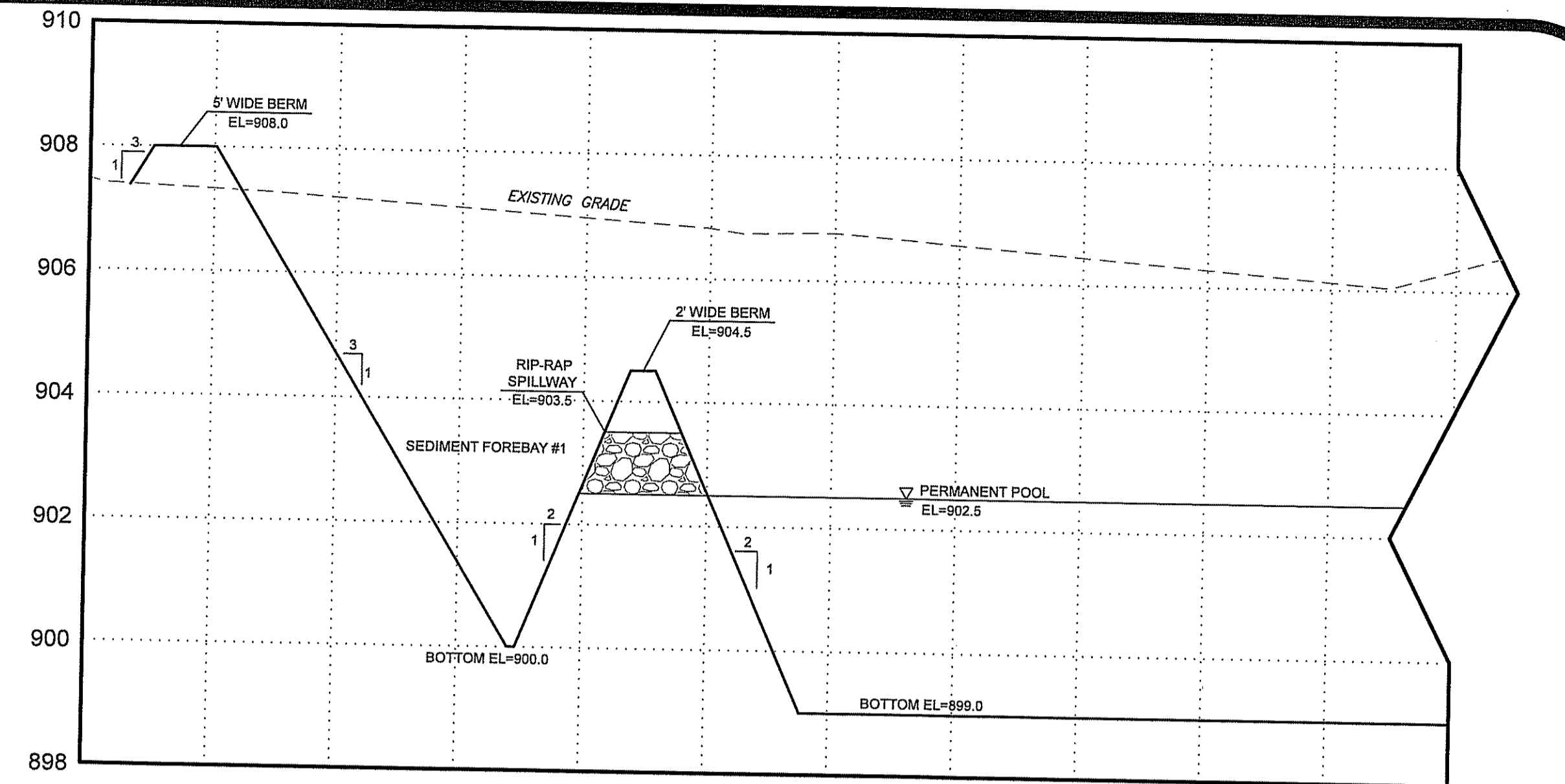
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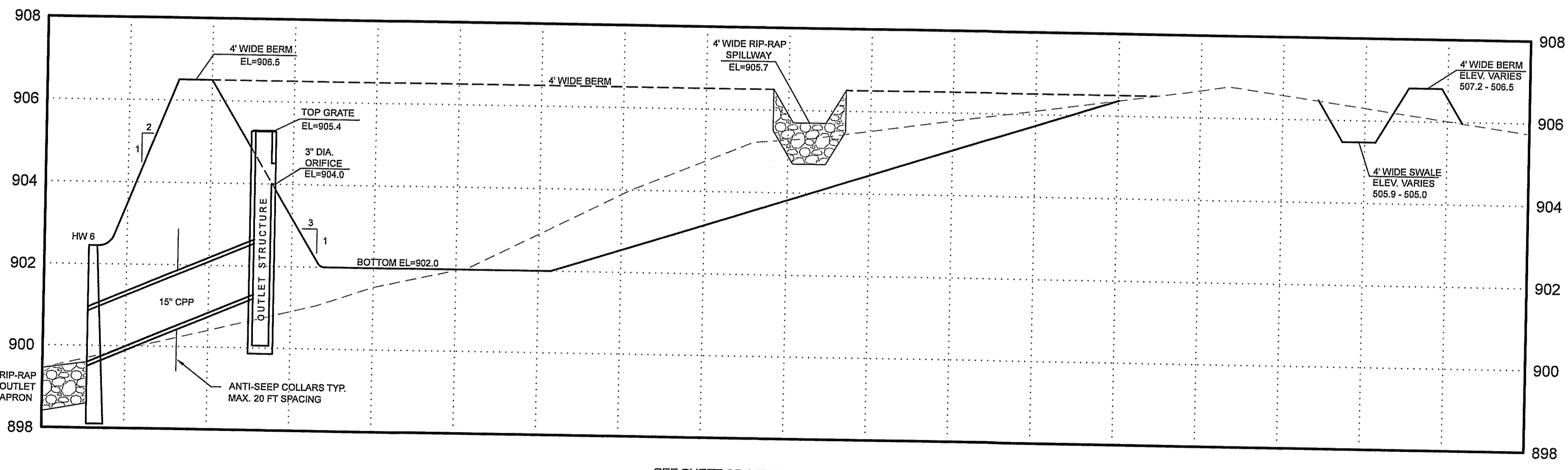
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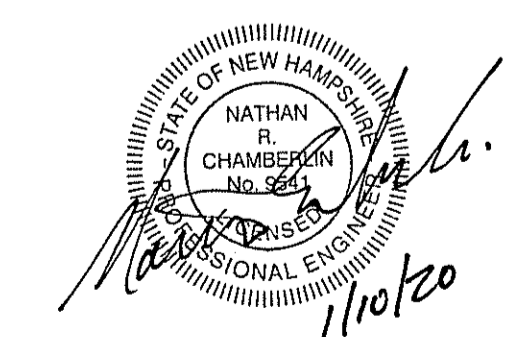
STORMWATER BASIN SECTION A-A
 SEE SHEET GR-1 FOR PLAN VIEW OF SECTION
 SCALE: 1"=10' (H) 2'(V)
 1
 DT-6



STORMWATER BASIN SECTION B-B
 SEE SHEET GR-1 FOR PLAN VIEW OF SECTION
 SCALE: 1"=10' (H) 2'(V)
 3
 DT-6



STORMWATER BASIN SECTION C-C
 SEE SHEET GR-1 FOR PLAN VIEW OF SECTION
 SCALE: 1"=10' (H) 2'(V)
 2
 DT-6



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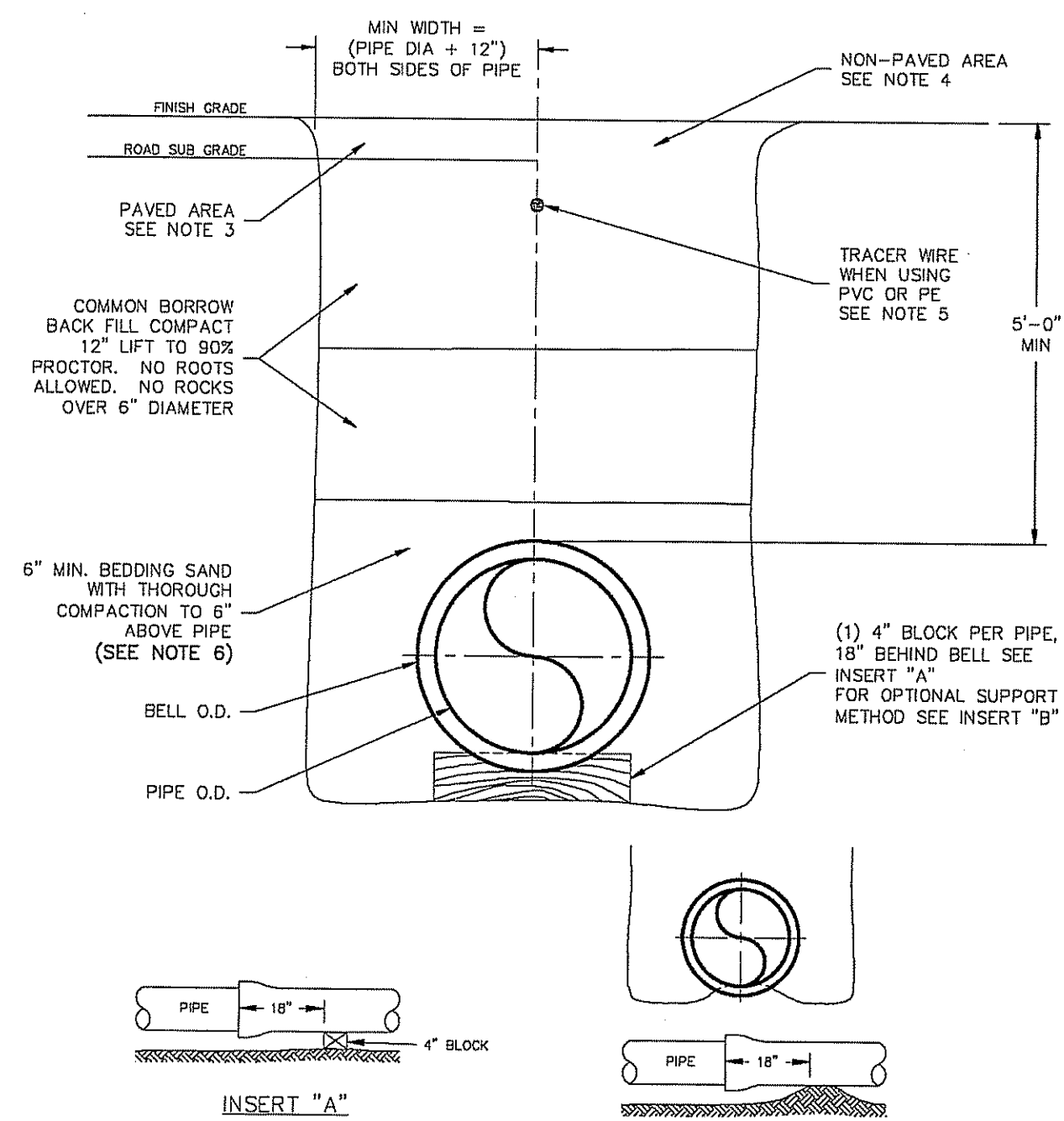
REV.	DATE	DESCRIPTION	DES	PER	STATE	PERMITTING	COMMENTS	DES/UE	NRC	CEB
B	01/08/20	ADDRESS AOT (10/16/19) & UEI (10/11/19)								
A	08/06/19	REV. PER STATE PERMITTING								

STORMWATER MANAGEMENT DETAILS
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77 PLEASANT STREET
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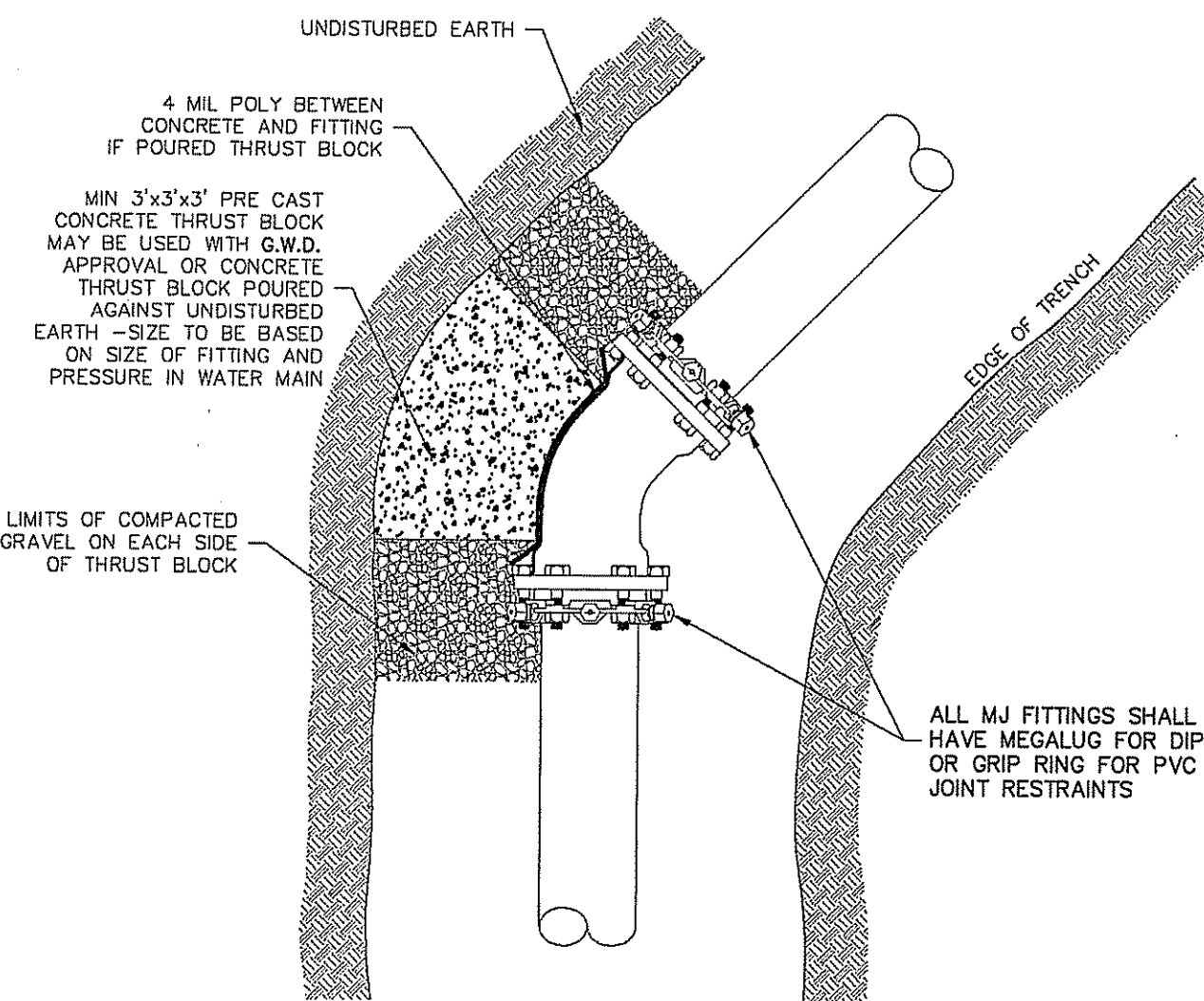
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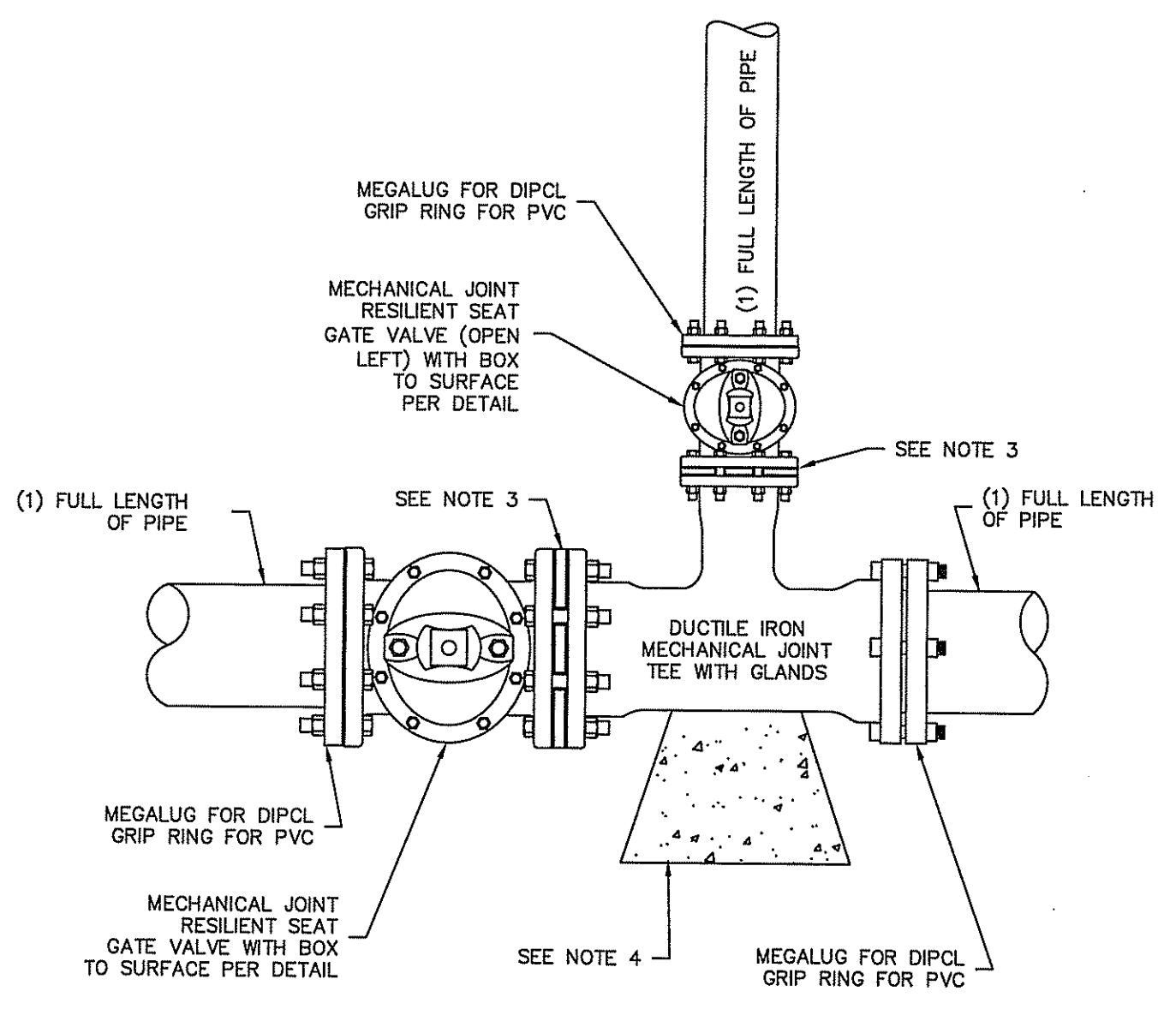
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO G.W.D. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBGRADE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBERTSON CORP., AVON, MA OR EQUIVALENT.
 6. GENERAL FILL BELOW PAVEMENT SUB BASE SHALL BE COMPACTED TO 95% STANDARD PROCTOR.

TYPICAL TRENCH DETAIL 1 DT-7 SCALE: N.T.S.



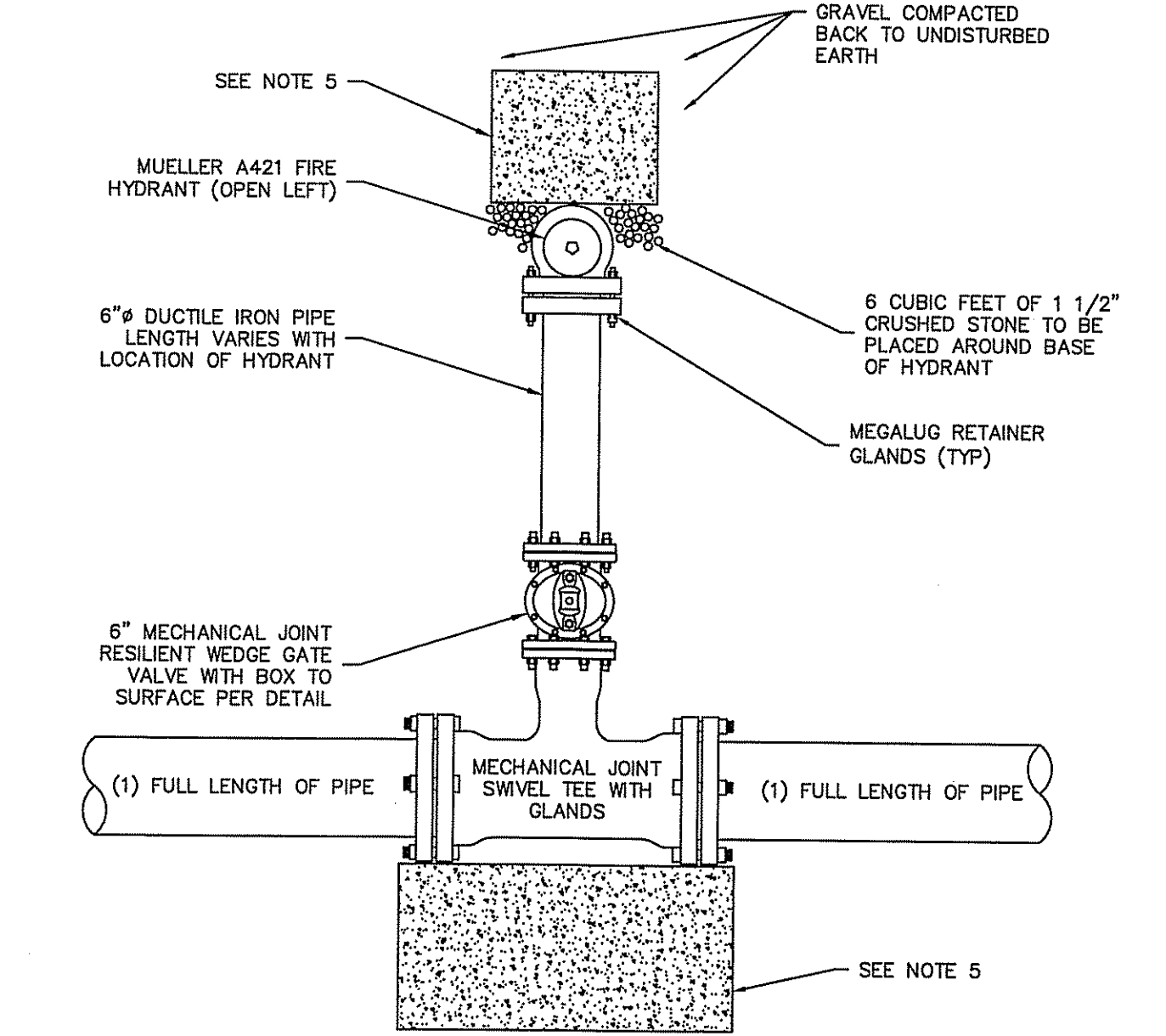
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO G.W.D. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LIDS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
 4. MIN 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH G.W.D. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

TYPICAL THRUST BLOCK BEHIND FITTINGS 2 DT-7 SCALE: N.T.S.



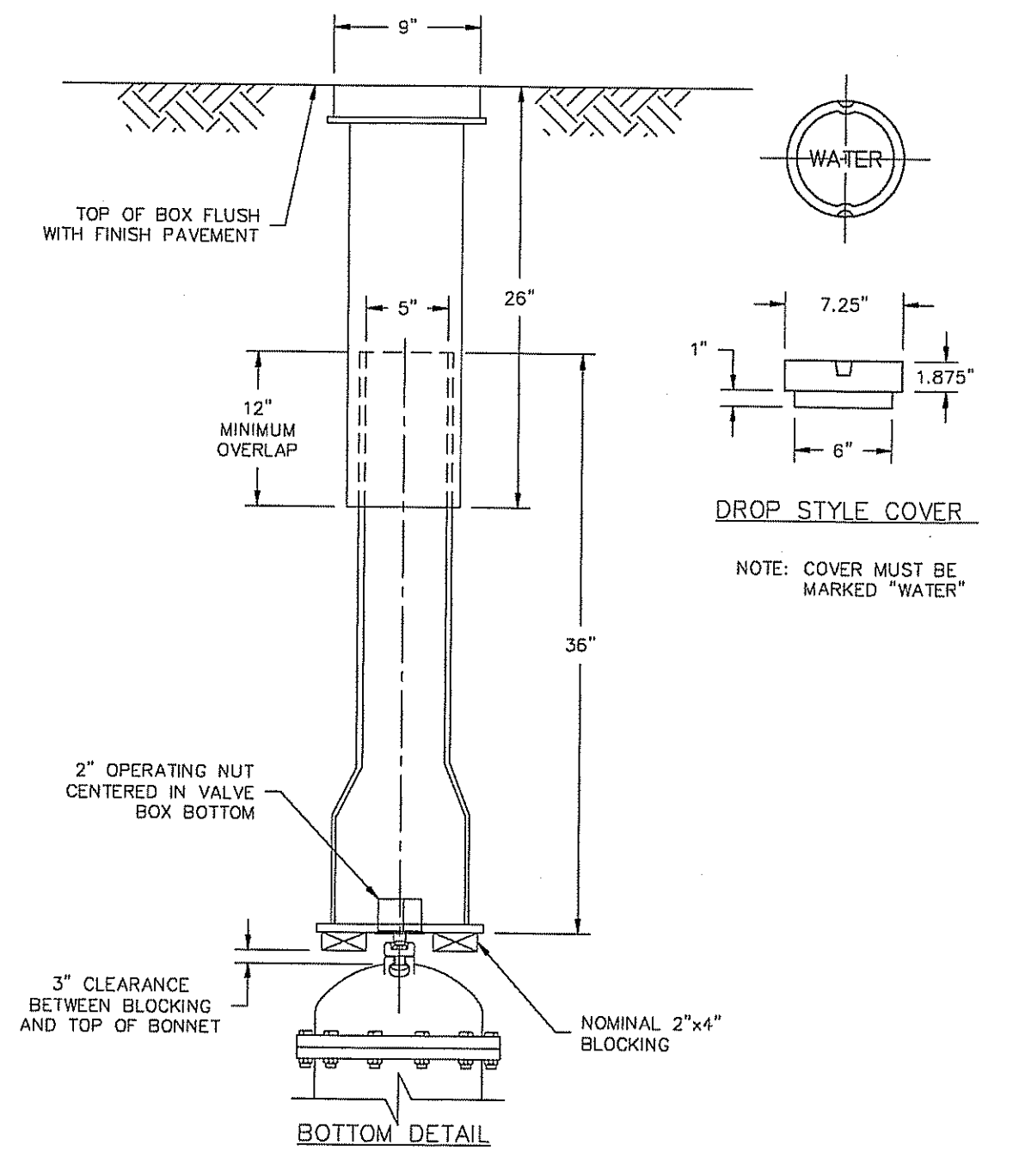
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO G.W.D. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
 3. GATE VALVES SHALL BE RESTRAINED TO MECHANICAL JOINT TEES USING FOSTER TYPE ADAPTER, NOT STAINLESS STEEL RODS.
 4. MIN 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH. SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE APPLICABLE DETAIL.

TYPICAL TEE INSTALLATION 3 DT-7 SCALE: N.T.S.



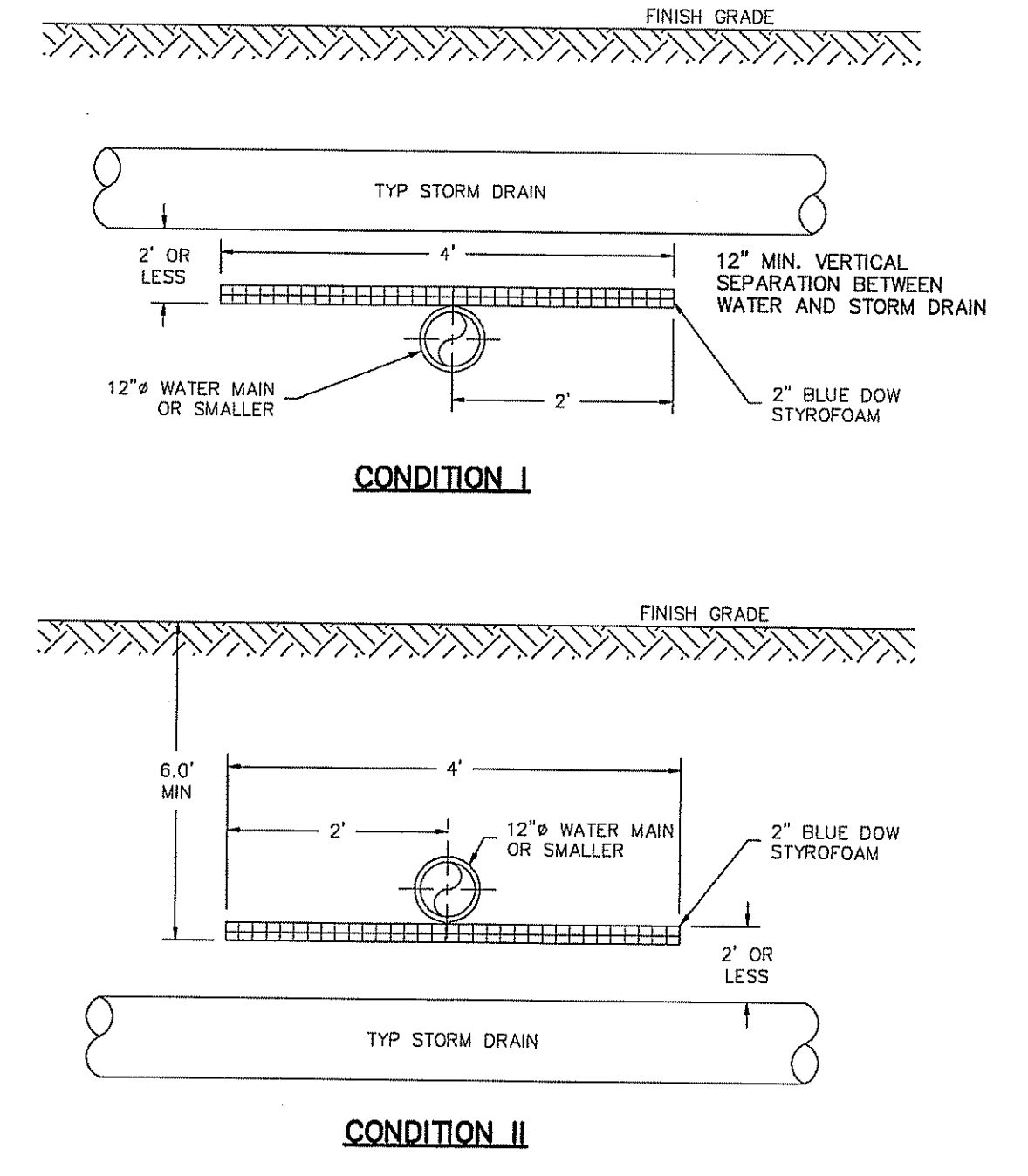
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO G.W.D. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
 3. OWNER/ENGINEER SHALL APPROVE HYDRANT LOCATION IN FIELD PRIOR TO INSTALLATION.
 4. PLUG HYDRANT DRAIN PORT WITH BRASS PLUG.
 5. MIN 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH N.H.W.S.E.B. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE APPLICABLE DETAIL.

TYPICAL HYDRANT INSTALLATION 4 DT-7 SCALE: N.T.S.



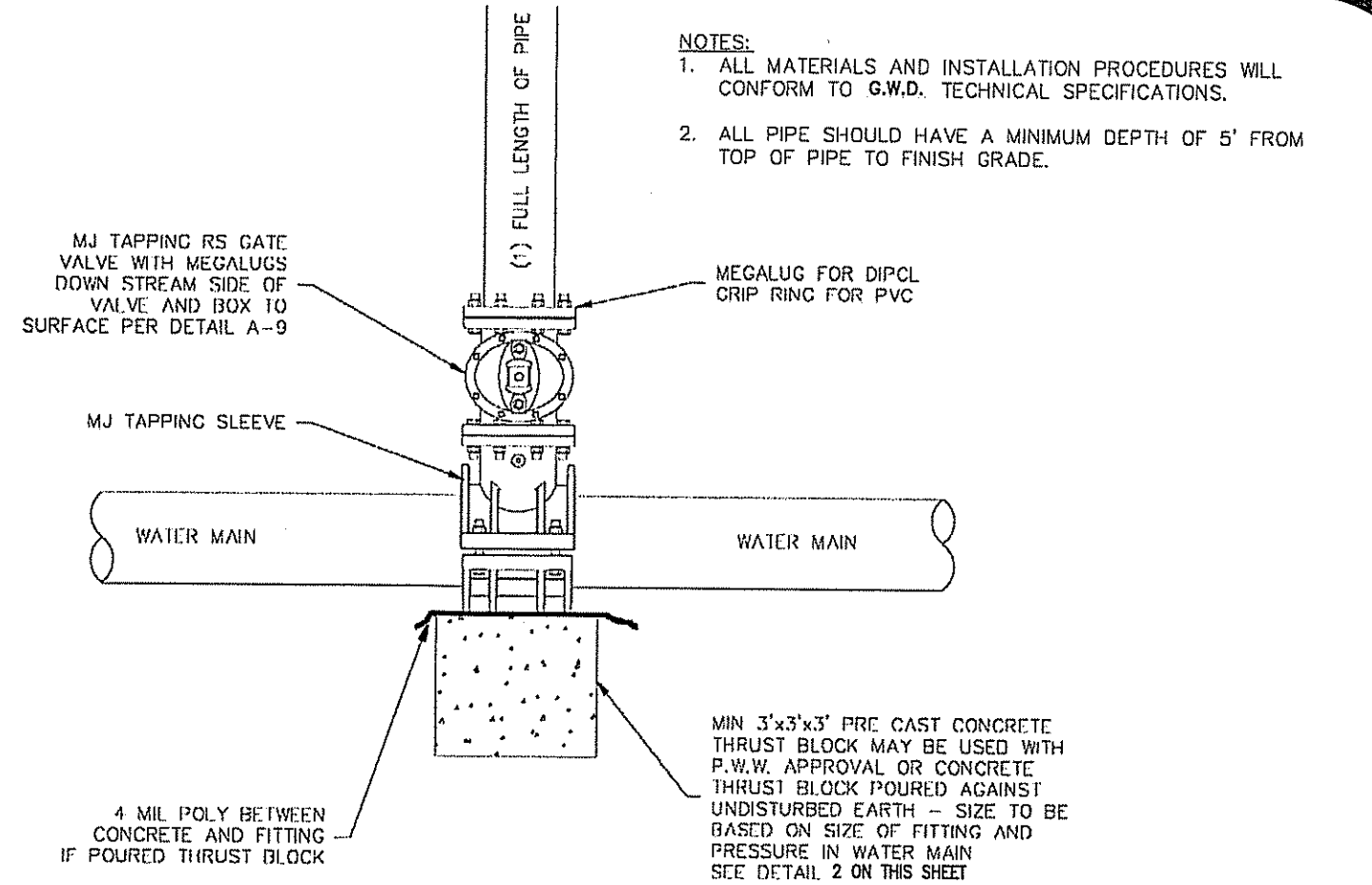
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO G.W.D. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

TYPICAL VALVE BOX 5 DT-7 SCALE: N.T.S.



- NOTES:**
1. GREENVILLE WATER DEPARTMENT RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
 2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
 3. ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1" PIECE OF INSULATION CENTERED OVER SEAM.

STORM DRAIN / WATER MAIN INTERSECTING RUNS 6 DT-7 SCALE: N.T.S.



TYPICAL LARGE SERVICE AND/OR TAPPING SLEEVE 7 DT-7 SCALE: N.T.S.

1. REFERENCE GREENVILLE WATER DEPARTMENT (G.W.D.) SPECIFICATIONS FOR INSTALLATION OF ALL WATER LINES.
2. ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 5 FEET OUTSIDE THE FACE OF THE BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END (FOR OTHERS TO REMOVE AND EXTEND THE LINE AS NECESSARY).
3. THRUST BLOCKS AND MEGALUG (DIP) OR GRIP RING (PVC) RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
4. MINIMUM COVER ON ALL WATER LINES IS 5'-6" UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER WHICH IS 10'-0" HORIZONTAL AND 1'-6" VERTICAL.
6. INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH GREENVILLE WATER DEPARTMENT. ALL INSPECTION FEES SHALL BE PAID FOR BY THE CONTRACTOR.
7. CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE GREENVILLE WATER DEPARTMENT A COPY OF THE RESULTS. GREENVILLE WATER DEPARTMENT SHALL BE ON-SITE TO WITNESS TEST.
8. ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM TO GREENVILLE WATER DEPARTMENT SPECIFICATIONS AND REQUIREMENTS.
9. ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH GREENVILLE WATER DEPARTMENT SPECIFICATIONS. ALL VALVES SHALL OPEN LEFT.
10. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14 GAUGE SOLID COPPER, SIMPLEX BW3001 OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIZED TAPE, GRIFFOLYN COMPANY, INC., TERRATAPE OR EQUAL.
11. CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY OPEN POSITION UPON COMPLETION OF PROJECT.
12. CONTRACTOR SHALL OBTAIN ADVANCE WRITTEN APPROVAL FOR ALL WATER INTERRUPTIONS FROM THE GREENVILLE WATER DEPARTMENT AND NOTIFY ALL AFFECTED PROPERTY OWNERS 48 HOURS PRIOR TO THE WORK.
13. INSTALLATION OF BACKFLOW PREVENTION DEVICES AND WATER METERS (LOCATION AND STYLE) SHALL BE APPROVED BY THE GREENVILLE WATER DEPARTMENT.
14. PVC WATER MAIN PIPE SHALL CONFORM TO AWWA C900, DR18 SPECIFICATIONS AND BE APPROVED BY GREENVILLE WATER DEPARTMENT.

WATER SYSTEM CONSTRUCTION NOTES 8 DT-7

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WATER DETAILS
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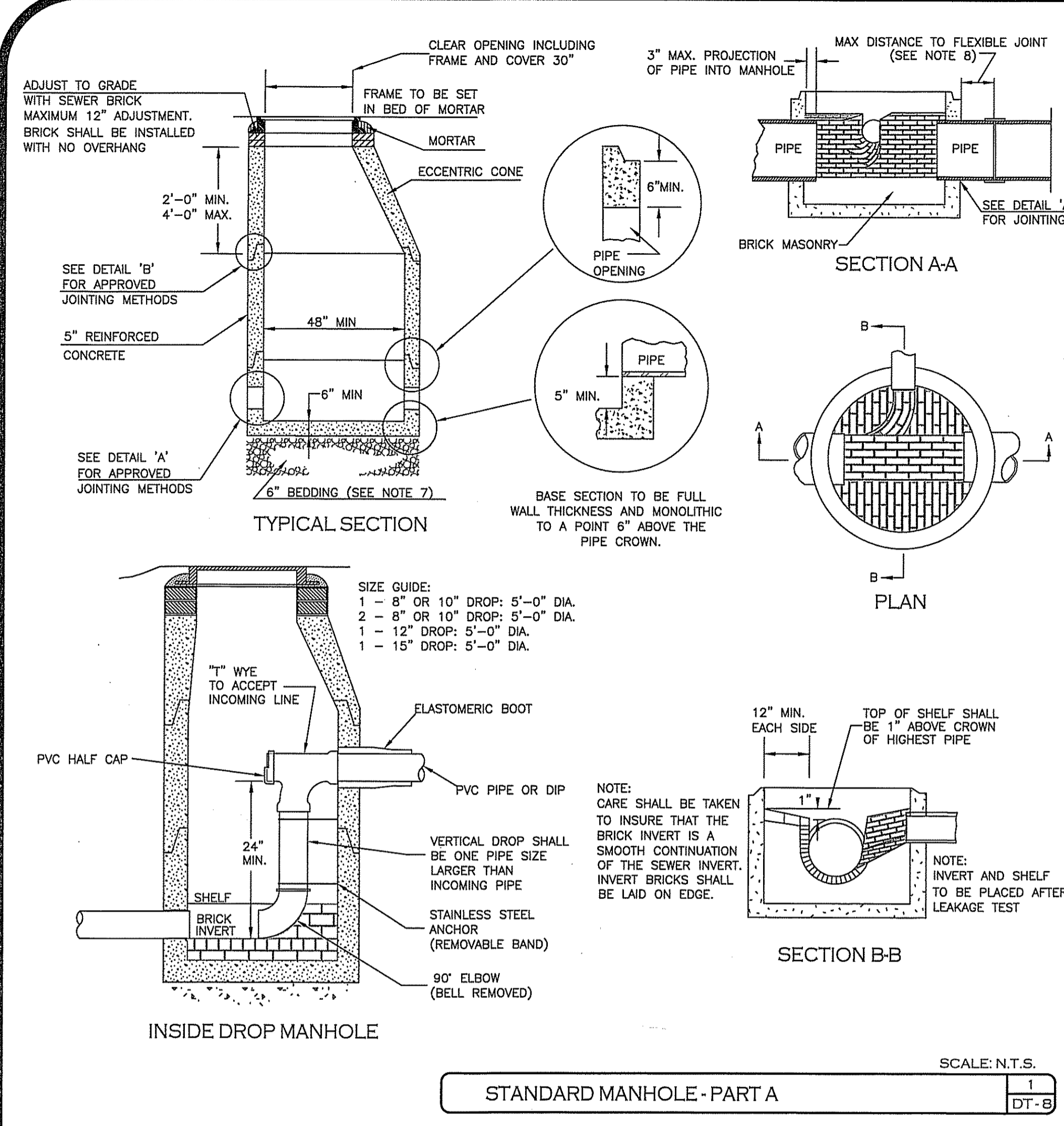
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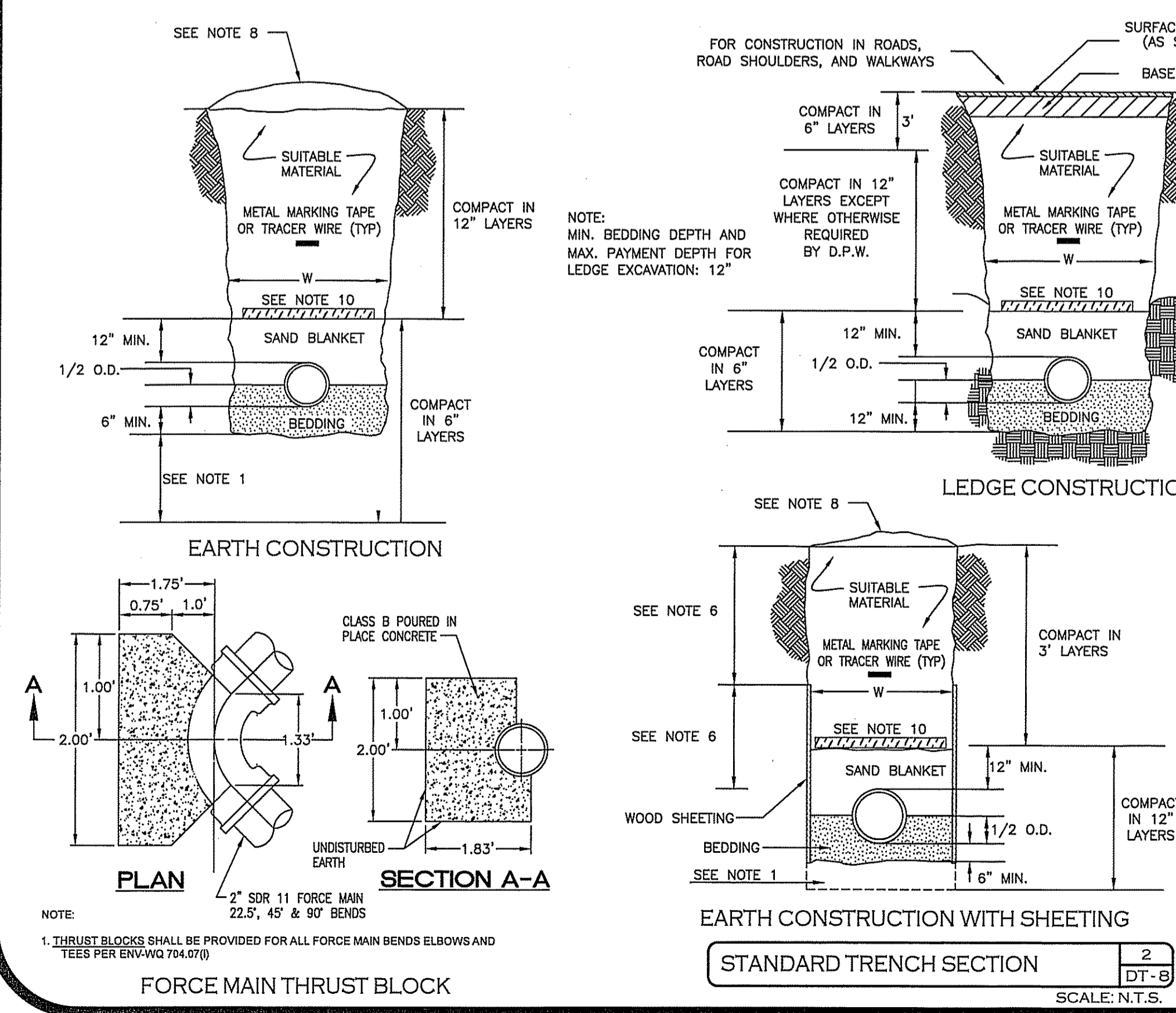
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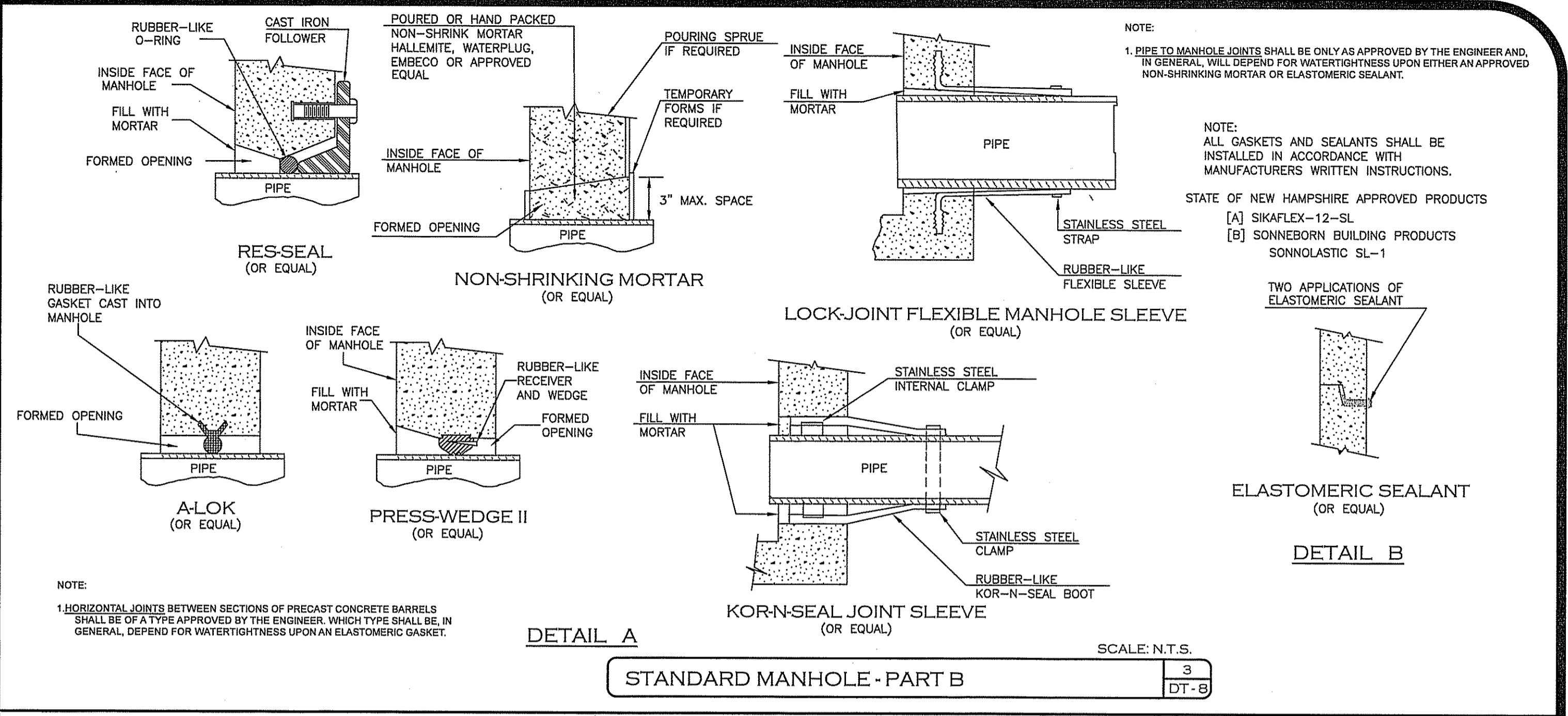
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- NOTES:
- IT IS INTENDED THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE STRENGTH AND LEAK-PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING PER EN-VW 704.12 (D). IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
 - BARRELS AND CONE SECTIONS: SHALL BE PRECAST REINFORCED CONCRETE
 - PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C 478.
 - BASE SECTIONS: SHALL BE MONOLITHIC TO A POINT 6" ABOVE THE CROWN OF THE INCOMING PIPE, AND SHALL BE PRE-CAST REINFORCED CONCRETE.
 - INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE DIRECTION OF FLOW. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
 - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN EQUAL TO CLASS 30, CONFORMING TO ASTM A48 AND PROVIDE A 30 INCH CLEAR OPENING. THE COVERS SHALL BE THE WORD "SEWER" IN 3 INCH HIGH LETTERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 SIZE #67.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-55% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #8 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE. SCREENED GRAVEL OR CRUSHED STONE 1-1/2 TO 1/2 INCH SHALL BE USED.
 - FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
 - RCP & CI PIPE - ALL SIZES - 48"
 - PVC PIPE - UP THROUGH 15" DIAMETER - NO FLEXIBLE JOINT REQUIRED
 - SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADING.
 - HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED WITH A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT IN ACCORDANCE WITH EN-VW 704.12 (D). A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER TIGHTNESS UPON AN MASTIC-LIKE OR ELASTOMERIC SEALANT
 - PIPE TO MANHOLE JOINTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF EN-VW 704.12 (G) AS SHOWN HEREON (DETAIL A).
 - MATERIAL REQUIREMENTS FOR BRICK AND MORTAR SHALL CONFORM TO EN-VW 704.13 (B) (9) AND EN-VW 704.13 (B), (C).
 - ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OF THE MANUFACTURER STAMPED ON THE INSIDE WALL.
 - ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH TWO (2) APPLICATIONS OF BITUMINOUS DAMP-PROOF COATING PER EN-VW 704.12 (J).
 - NO STEPS ARE TO BE PROVIDED/INSTALLED WITHIN THE MANHOLE.
 - SEWER MANHOLES SHALL BE TESTED IN ACCORDANCE WITH EN-VW 704.17.
 - ALL SEWER CONSTRUCTION SHALL CONFORM TO SPECIFICATIONS DEFINED BY TOWN OF GREENVILLE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION. THESE STANDARD MANHOLE DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS AND NHDES CHAPTER EN-VW 700.

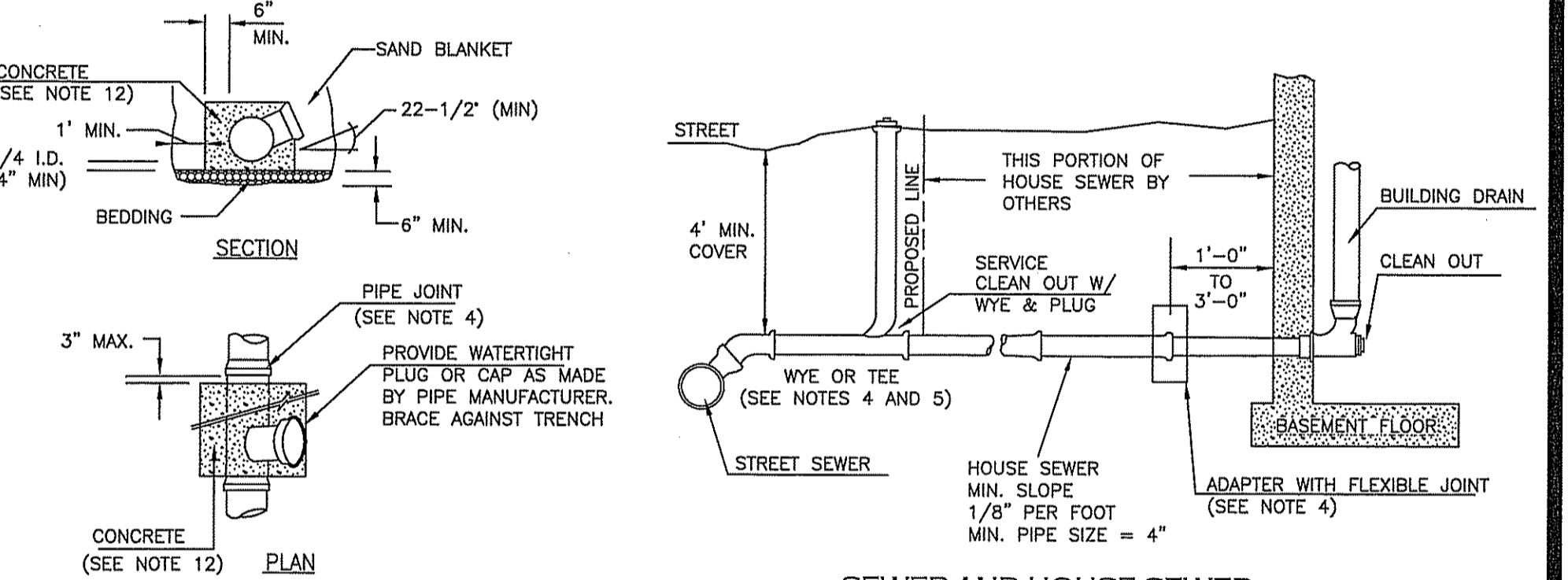


- NOTES:
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, REFILL WITH BEDDING MATERIAL. (SEE ALSO NOTE 7).
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE #67.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-50% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #8 SIEVE
 - SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2" SIEVE. MORE THAN 15% WILL PASS A #20 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
 - SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOPSOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES, IN LARGEST DIMENSION OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT TO MAINTAIN THE COMPLETED CONSTRUCTION. SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP-SOIL, LOAM, MUCK OR PEAT. IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE (AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY) WILL BE PRESERVED.
 - BASE COURSE: IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF N.H. DEPT. OF TRANSPORTATION.
 - WOOD SHEETING: IF REQUIRED, IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER. IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE THE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISH GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
 - W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D.. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 - FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 - CONCRETE: FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000#) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 - CEMENT: 6.0 BAGS PER CUBIC YARD
 - WATER: 5.75 GALLONS PER BAG OF CEMENT
 - MAXIMUM AGGREGATE SIZE: 1 INCH
 - NOTE: ANY SEWER PIPE TO BE ENCASED MUST BE MADE OF DUCTILE IRON.
 - INSTALL TWO INCH THICK DOW STYROFOAM™ BRAND HIGH-LOAD (40) (OR EQUAL) RIGID FOAM INSULATION WHERE LESS THAN FOUR (4) FEET OF COVER IS PROVIDED ON CROSS COUNTRY SEWER AND/OR LESS THAN SIX (6) FEET OF COVER IS PROVIDED UNDER PAVED AREAS.



- NOTE:
- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 4 INCHES.
 - PIPE AND JOINT MATERIALS
 - A. PLASTIC SEWER PIPE
 - 1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARDS	MATERIAL	APPROVED SIZES
D3534	PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
D3034	PVC (SOLID WALL)	18" THROUGH 24" (T-1 & T-2)
F794	PVC (ROBBERD WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (ROBBERD WALL)	8" THROUGH 36"
D2689	ABS (COMPOSITE WALL)	8" THROUGH 15"
*PVC: POLY VINYL CHLORIDE		
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE		
 - ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2899, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
 - JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2899, FORMING A GASKETED, WELDED JOINT.
 - B. DUCTILE-IRON PIPE, FITTINGS AND JOINTS.
 - 1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
 - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
 - A21.61 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
 - 2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
 - A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.
 - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
 - JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERENT MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
 - "T" AND "Y" WHERE A "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURER'S INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY CEMENTED JOINT. A SMOOTHLY DRILLED OR SAWN OPENING. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH (OR OTHER SUCH MATERIAL) AROUND THE JOINT OR APPLYING MORTAR TO HOLD THE CONNECTION AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED.
 - SEWER INSTALLATION THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10, BEDDING AND RE-FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH. TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECT TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
 - A. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
 - C. DRY FLUORESCENT DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST MANHOLE DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE, ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RE-LAID. SO AS TO ASSURE WATER TIGHTNESS.
 - ILLEGAL CONNECTIONS NOTHING BUT SANITARY WASTE FLOW FROM THE HOUSE TOILETS SINKS, LAUNDRY, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
 - HOUSE WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33-87.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-55% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #8 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2 TO 1/2 INCH) SHALL BE USED.
 - CONCRETE: FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000#) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 - CEMENT: 6.0 BAGS PER CUBIC YARD
 - WATER: 5.75 GALLONS PER BAG OF CEMENT
 - MAXIMUM AGGREGATE SIZE: 1 INCH
 - NOTE: ANY SEWER PIPE TO BE ENCASED MUST BE MADE OF DUCTILE IRON.
 - CHIMNEYS IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

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STATE OF NEW HAMPSHIRE
NATHAN J. CHAMBERLIN
REGISTERED PROFESSIONAL ENGINEER
012320

SEWER DETAILS

TAX MAP 2 - LOTS 23-1, 23 & 21

77 PLEASANT STREET

GREENVILLE, NEW HAMPSHIRE

PREPARED FOR:
ADAM AMES
370 BOSTON POST ROAD - SUDBURY, MA 01776

SCALE: AS SHOWN APRIL 11, 2019

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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