

APPLICATION FOR APPEAL

To:
Zoning Board of Adjustment
Town of Greenville
Greenville, NH 03048

Do not write in this space. Case No _____ Date filed _____ (signed – ZBA)
--

Name of applicant Country Corner Mile Reality, LLC & H-COR, LLC.
Address PO Box 248, Amherst NH 03031
Owner Same
(if same as applicant, write "same")

Location of property 750 & 766 Fitchburg Rd
Map 1; Lot# 46D, 47, & 48 (number, street) Zoning District: C/I
(map number & lot number, zoning district)

NOTE: Fill in Section 1, 2, 3, or 4 as appropriate. This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate. Sign application at end.

Section 1. APPEAL FROM AN ADMINISTRATIVE DECISION

Relating to the interpretation and enforcement of the provisions of zoning ordinance.
Decision of the enforcement officer to be reviewed _____

_____ Number _____ Date _____
article _____ section _____ of the zoning ordinance in question: _____

Section 2. APPLICATION FOR A SPECIAL EXCEPTION

Description of proposed use showing justification for a special exception as specified in the zoning ordinance article 5 section 4
See attached project narrative.

Section 3. APPLICATION FOR VARIANCE

A variance is requested from article _____ section _____ of the zoning ordinance to permit _____

Facts supporting this request:

1. The proposed use would not diminish surrounding property values because:

2. Granting the variance would not be contrary to public interest because:

3. Denial of the variance would result in "unnecessary hardship" to the owner. The applicant must either meet the criteria of I or II below.

I. Unnecessary hardship means owing to the special conditions of the property that distinguish it from other properties in the area:

a. No fair and substantial relationship exists between the general public purposes of the zoning ordinance provision and the specific application of that provision to the property; and

b. The proposed use is a reasonable one.

II. If the criteria for unnecessary hardship above are not met an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions on the property that distinguish it from other properties in the area, the property cannot be used in strict conformance with the ordinance, and a variance is therefore necessary to enable reasonable use of it.

I. Granting the variance would do substantial justice because:

II. The use is not contrary to the spirit of the ordinance because:

Section 4. APPLICATION FOR EQUITABLE WAIVER OF DIMENSIONAL REQUIREMENTS

An Equitable Waiver of Dimensional Requirements is requested from article _____
Section _____ of the zoning ordinance to permit _____

1. Does the request involve a dimensional requirement, not a use restriction?
() yes () no
2. Explain how the violation has existed for 10 years or more with no enforcement action, including written notice, being commenced by the town _____

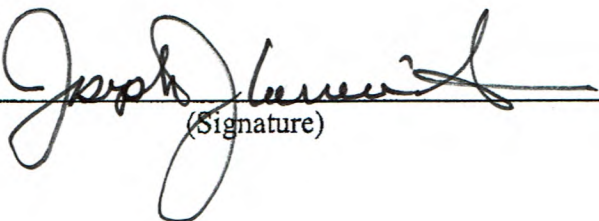
- or -

Explain how the nonconformity was discovered after the structure was substantially completed or after a vacant lot in violation had been transferred to a bonafide purchaser _____

And how the violation was not an outcome of ignorance of the law or bad faith but resulted from a legitimate mistake _____

3. Explain how the nonconformity does not constitute a nuisance nor diminish the value or interfere with future uses of other property in the area _____
4. Explain how the cost of correction far outweighs any public benefit to be gained _____

SIGNATURE

Applicant  Date 11/13/2020
(Signature)

Abutter List

Site Plan Review for The Country Mile Store
750 & 766 Fitchburg Road, Greenville, NH 03048

Map	Block	Lot	Property Owner	Mailing Address
Owner/Applicant:				
1		46D	H-COR, LLC	PO Box 248 Amherst, NH 03031
1		47	Country Corner Mile Realty, LLC	PO Box 248 Amherst, NH 03031
1		48	Country Corner Mile Realty, LLC	PO Box 248 Amherst, NH 03031
Abutters:				
1		44-1	Fieldstone Farm Properties, LLC	38 Fieldstone Lane Rindge, NH 03461
1		44-8	HEG Seven Sophia's Way, LLC	2 International Way Lawrence, MA 01842
1		45	SNZ, LLC	12505 Quail Meadow Drive Auburn, CA 95603
1		46	Paul Cormier	670 Mass Avenue Lenenburg, MA 01462
1		46C	James & Robin Reissfelder	774 Fitchburg Road Greenville, NH 03048
Engineer			David L. Frothingham III	Wilcox & Barton, Inc. 2 Capital Plaza, Suite 305 Concord, NH 03301

Abutters list verified: 10/12/2020

Project Narrative

Project: The Country Mile Store
Address: 750 & 766 Fitchburg Rd, Greenville, NH 03048
Owner/Applicant: Country Corner Mile Realty, LLC & H-COR, LLC

The proposed project is for the removal of the existing gasoline dispensing system and the construction of a new dispensing system in the center of the existing parking lot. Construction activities proposed for the project is anticipated to impact three lots connected by shared parking lots: 1/46D, 1/47, and 1/48. The subject lots are in the C/I – Commercial/Industrial zoning district and have areas of 2.350, 0.975, and 2.700 acres, respectively. Lot 1/46D contains a stand-alone Dunkin’ Donuts building of approximately 2,900 square-feet in area, lot 1/48 contains The Country Mile Store – approximately 10,600 square-feet in area – and the current gasoline dispenser station with two dispenser under a 20-foot by 40-foot, and lot 1/47 contains a diesel dispenser station with a single dispenser under a 20-foot by 20-foot canopy. The applicant is the current owner of all three properties under the name of two limited liability companies. Additionally, the proposed project requires: a request for a waiver to provide a stormwater drainage plan in accordance with Section 8.B.7. of the town Site Plan Regulations (SPR); a request for a waiver to provide a landscape plan in accordance with Section 8.B.10. of the town SPR; and a request for a waiver to provide a Certified Erosion and Sediment Control Plan in accordance with Section 10.B. of the town SPR. The associated waiver requests for the proposed project are attached to this application. A Special Exception is also required for construction of the proposed gasoline dispenser station in accordance with Article 5.4 of the Zoning Regulations and Ordinances for Greenville, NH.

The current gasoline dispenser station consists of two dispensers, supporting four vehicle fueling positions and connected to a 6,000-gal underground storage tank (UST) and 5,000-gal / 10,000-gal split UST, providing multiple grades of fuel to the station. The current station with associated USTs, fuel lines, concrete pads, and structures would be removed after completion of construction of the proposed gasoline dispenser station upgrade and replaced with pavement to provide parking and expanded drive aisle space for The Country Mile Store. The proposed dispenser station would be centrally located in the parking lot on lot 1/47 and consists of four dispensers, supporting eight vehicle fueling positions under a 48-foot by 48-foot canopy that is 18-foot-tall with 15 feet of clear space underneath. The proposed dispenser would be connected to a proposed 6,000-gal UST for premium grade gasoline and 25,000-gal UST for supreme / regular grade gasoline. Additionally, to improve traffic interactions with the adjacent Route 31 corridor and allow parking in front of the store, the northern driveway entrance on lot 1/48 is proposed to be removed and replaced with an expanded green space area in the corridor. The driveway removal will require an NHDOT construction permit.

Based on the available Institute of Transportation Engineers (ITE) trip generation analysis data, the increase in the number of average daily trips resulting in the increased number of dispensing positions proposed gasoline dispenser station is anticipated to generate 822 additional trips. It is important to note that each visit results in two additional trips. However, the increase in fueling positions is proposed to meet existing demands, and the number of trips is limited by the existing vehicle traffic volumes on the adjacent Route 31. Some increases in the average daily trips from the proposed project are due to an increase in accessibility to and higher capacity of vehicle fueling at the dispenser station, but the relocated dispenser station is not a primary destination for trip generation on the subject site – the dispenser station is accessory to the site’s total trip generation and the traffic on Route 31.



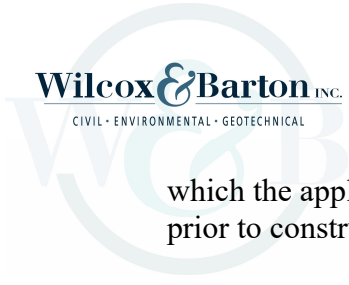
Special Exception Approval Requirements

The proposed development has been designed to improve the functions of access and on-site circulation of the subject parcel. The expansion of the gasoline dispensing system will not create excessive traffic, congestion, noise or odors, is not expected to reduce the value of surrounding properties. The project parcel has adequate sewage and water facilities and sufficient off-street parking. The proposed project relocates the gasoline dispensing system on the project parcels moving the system to a space with an existing parking lot farther from the edge of the road and adjacent to a previously approved diesel dispensing system and is designed to preserve the attractiveness of the Town. The following outline addresses the approval requirements for the requested Special Exception in accordance with Article 5.4 of the Zoning Regulations and Ordinances for Greenville, NH.

- a. The subject lots are situated more than 200 feet, as measured along the public street or road, from all of the following:
 1. A public school or duly organized school other than a public school,
 2. A hospital, convalescent or nursing home,
 3. A place of worship,
 4. A theatre, and
 5. A public library.

- b. *The applicant shall submit a site plan showing the location and size of the building(s), site boundaries, location of office spaces, number of vehicles bays, proposed parking spaces, driveways, entrance and exit drives, service areas, proposed advertising signs and accessory buildings, and any other factors affecting the construction and operation of the facility such as existing and proposed contours, drainage, water supply and sewage disposal facilities, proposed site lighting, and plans for storage and disposal of hazardous substances.* Please find attached project site plan which include the required information, conform with Section 7 of the Town of Greenville Site Plan Regulations and Env-Or 400 Underground Storage Tank Facilities.

- c. *The proposed project will obtain all necessary permits and approvals required by this Zoning Ordinance, State regulations, and by all other State and Town regulations, Building Codes, and ordinances prior to construction.* The project requires site plan approval from the Town Planning Board. Subject to approval of the Planning Board, the proposed project will comply with any and all conditions of approval set by the Planning Board, including acquiring the applicable construction permits through the Town Building Inspector & Code Enforcement department such as a Building permit, Demolition permit, Sign permit, etc. prior to construction. An Application for the Construction for a New or Substantially Modified Underground Storage Tank (UST) System was submitted October 12, 2020, and is pending the review of the New Hampshire Department of Environmental Services (NHDES) Oil Remediation and Compliance Bureau for the proposed USTs. The subject Facility ID is #011317, and the subject application material can be reviewed through a file review with NHDES. The project also requires a New Hampshire Department of Transportation Driveway Permit,



which the applicant shall apply for and obtain after site plan approval from the Town and prior to construction.

Proposed Project Design Standards and Requirements

The proposed development plans have considered various design aspects in order to assure the orderly, safe, attractive, and proper design, use, and layout of the sites, consistent with the protection of the public health, convenience, and welfare of the Town of Greenville. The following outline addresses the project's design standards and development requirements in accordance with Section 7 of the Town of Greenville Site Plan Regulations (SPR).

- A. The proposed project meets the provisions of the Planning Ordinance and other regulations and ordinances of the Town of Greenville and meets the intent of the Master Plan. For the purpose of improving traffic circulation and increasing availability of vehicle fueling to match user-demand, the proposed project expands and relocates the gasoline dispenser station from lot 48 to the more open lot 47. This improves egress and ingress from Route 31, which is the central corridor of the town commercial/industrial district. This also improves separation of pedestrian traffic using the Country Mile Store from the vehicular traffic of the gasoline dispenser station. Furthermore, the proposed closing of the north entrance to lot 48 restores open, green space along the Route 31 corridor.
- B. The proposed project provides improvements to site safety and attractiveness. Relocation of the gasoline dispenser station and associated USTs reduces potential spread fire between the store and dispenser station and reduces obstructions in front of the store for clear fire line readily accessible to emergency services. Additionally, the regular fill services performed for the dispenser station would no longer occur in front of the store, which obstructs traffic flow.
- C. The proposed project adheres to the principals of good design and promotes safety improvements, economic advances in the expansion of available dispensers, and efficiency in accessibility to Route 31.
- D. The proposed project allows for a net increase in green space available on lot 48 along Route 31 and would not decrease green spaces on lots 46D nor 47, and all proposed structures and impervious pads are positioned in areas currently occupied impervious surfaces.
- E. The proposed gasoline dispenser station has been positioned in such a manner to allow clear space for more unimpeded vehicular traffic, reducing potential dangers from vehicle collisions.
- F. The proposed site improvements have been designed in such a manner that traffic access to the site and the circulation of traffic within the site would not create hazards to either vehicles or pedestrians. The proposed dispenser station is located away from the store's traffic in an open area allowing more free movement of passenger and semi-trailer vehicles. Furthermore, the drive aisle in front of the store would be free of structures and allow clear travel through the aisle. Overall, the proposed project increases the accessibility of the sites for customers, deliveries, and emergency services.

- G. The proposed site has been designed in such a manner that storm water drainage would not adversely affect surrounding properties, the public storm drainage system, or increase peak flows across the property boundary during both 10 year and 100 year frequency storms. The proposed dispenser station canopy shall direct storm water off the canopy via roof leaders to an independent drainage line, which would convey roof runoff directly to the existing stormwater pond. Since proposed construction activities would occur in already impervious areas, no increases in volume of runoff are expected on lot 47. The removal of the north driveway of lot 48 would result in a net increase of green space, and consequently, a reduction of peak flow and volume of runoff on lot 48. A request for a waiver to provide a stormwater drainage plan in accordance with Section 8.B.7. of the town SPR is attached to this application.
- H. Additional waste generation is not expected. As such, the proposed project would not change the existing waste management activities for the subject sites.
- I. The proposed project would not result in alterations to any existing landscaping areas on lots 46D nor 47. No additional screening on the sides of the existing parking lots are proposed. Proposed restoration of the green space over the removed north entrance driveway does not include provisions for additional screening in front of the proposed rearranged drive aisle and parking lot. The proposed restoration would be consistent with the existing green space area. A request for a waiver to provide a landscape plan in accordance with Section 8.B.10. of the town SPR is attached to this application.
- J. The proposed project provides additional outdoor lighting in the canopy of the dispenser station, which are shielded and positioned in such a manner that would not direct lighting on any adjacent residential property or cause glare to passing vehicles on Route 31. There are no proposed alterations to existing outdoor lighting.
- K. The proposed project would remove the existing canopy with associated signage on Lot 48 and construct a new canopy with associated signage on Lot 47. A separate application for new signage will be submitted to the Town Building Inspector.
- L. The proposed project would not impact the existing snow storage areas and procedures for the subject sites. Snow would continue to be stored on the eastern end of the parking lot above the storm water pond on lot 47.
- M. The proposed project requires minimum erosion and sediment controls. Most construction is proposed within paved areas. Potential erosion and sediment within the proposed areas of excavation are expected to be maintained within the excavation areas. Sediment track out is proposed to be swept within the excavation areas. Sediment controls are proposed over existing downgrade storm water inlets and at the edge of pavement downgrade of proposed excavation areas. These controls would reduce potential migration of sediment into these control areas from potential track out on to the pavement from excavation areas if not swept. Stockpiles of removed pavement and soil if left unattended outside of hours of construction are proposed to be surrounded by

compost filter socks and covered to reduce erosion and sedimentation of stockpiles. A request for a waiver to provide a Certified Erosion and Sediment Control Plan in accordance with Section 10.B. of the town SPR is attached to this application.

- N. The proposed project would allow more accessibility to the store and the emergency shut off to the gasoline dispenser station for the fire department without introducing any requirements for specialized equipment or training, and a devoted fire lane in front of the store for emergency vehicle use. Fire extinguishers are proposed to be provided in accordance with the extra (high) hazard requirements for Class B hazards, except that the maximum travel distance to a 80 B:C extinguisher shall be permitted to be 100 ft. Fire extinguishers shall be installed, inspected, and maintained in accordance with NFPA 10.
- O. The proposed project requires the storage of hazardous materials for the gasoline dispenser station. Storage of hazardous materials is proposed to be in double-walled underground storage tanks. The plans show the location and capacity of each of the underground storage tanks. The tanks are equipped with leak detection system, fuel level monitoring, overfill protection systems, and spill containment for both the tank and dispenser areas. A leak detection system triggers an alarm at the control panel when a leak is detected in the interstitial space of the tank, in the tank, or in dispenser sumps.
- P. The proposed project requires the certification from the town Fire Department, Highway Department, and Board of Selectmen. The applicant will meet all required criteria for the project as specified by the applicable town agencies. Additionally, the proposed project requires the approvals from the New Hampshire Department of Transportation for the proposed work within the Route 31 corridor and from New Hampshire Department of Environmental Services for the proposed UST and gasoline service station. The applicant will meet all required criteria for the project as specified by the applicable state agencies, and copies of the state approvals for the project are proposed to be provided to the town when obtained.

The Country Mile Store

750 & 766 Fitchburg Road, Greenville, NH

Wilcox & Barton INC.

CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY

1.

ISSUED FOR

OWNER

SITE

DRAWING TITLE

SCALE

DATE

DRAFTED BY

CHECKED BY

PROJECT MGR

PROJECT NO.

SHEET NO.

ENGINEER

NO. 15480

PROFESSIONAL ENGINEER

NEW HAMPSHIRE III

NO. P.E. #15480

10/15/2020

GAG

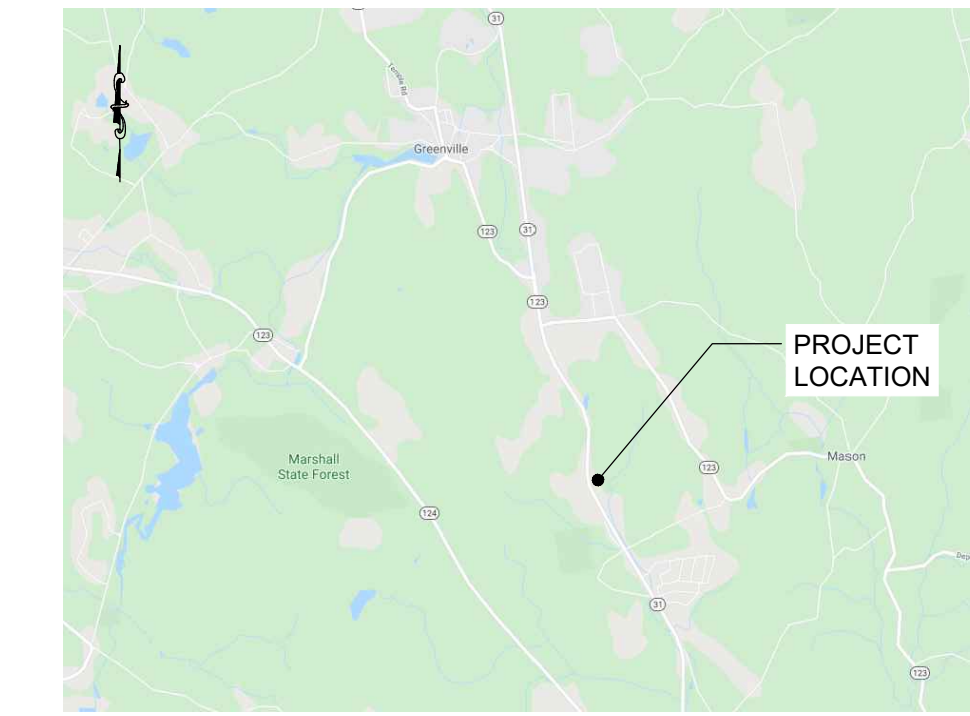
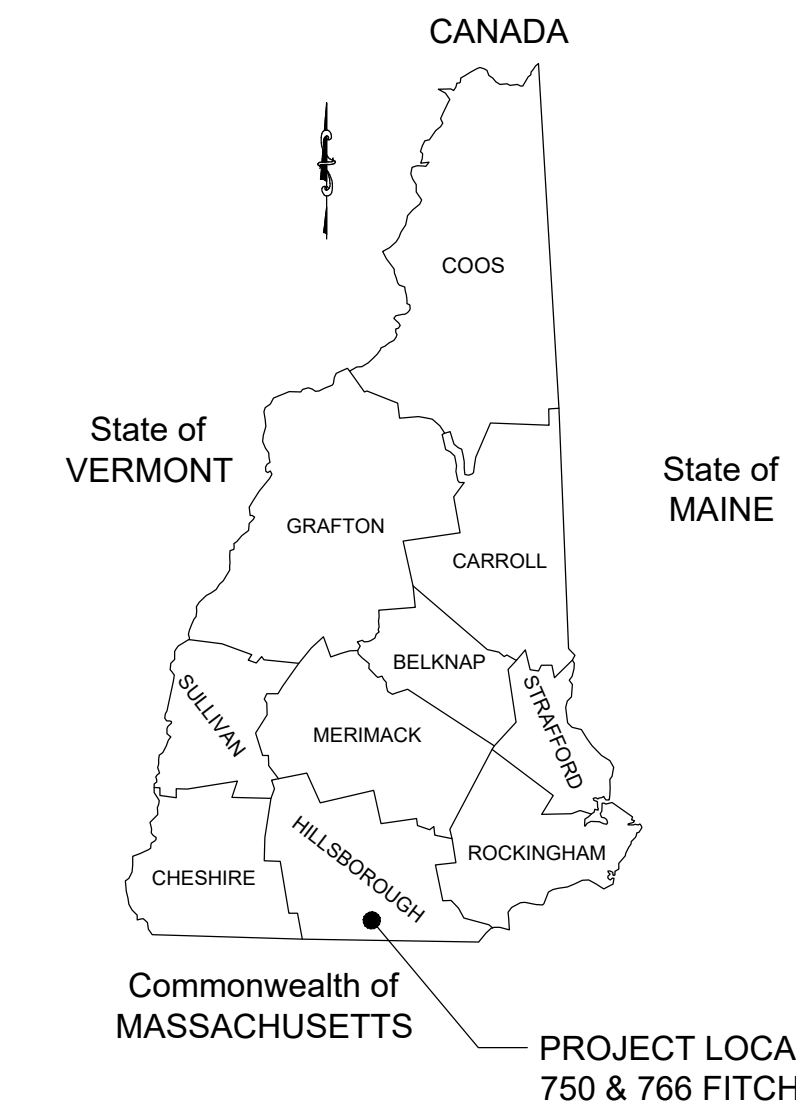
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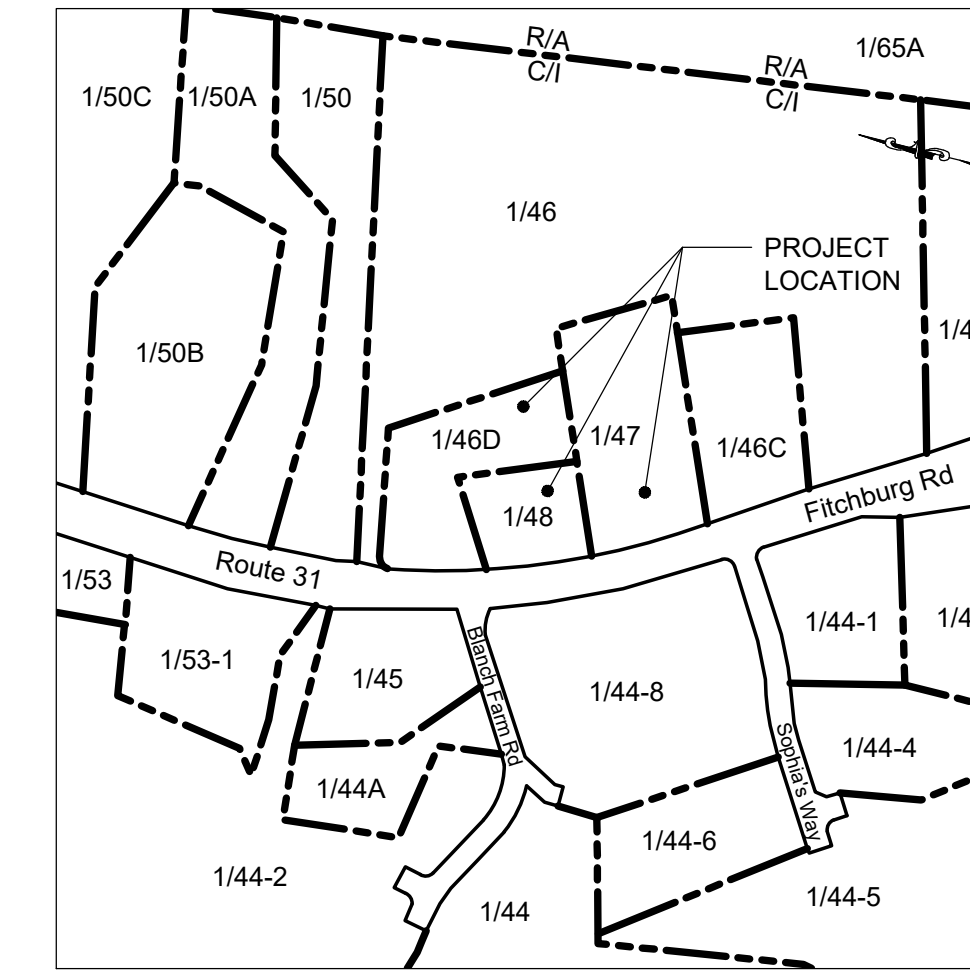
01 OF 11



LOCUS
NOT TO SCALE



PLOT PLAN
NOT TO SCALE



TAX MAP
1" = 400'

ABUTTER INFORMATION:

- MAP 1 / LOT 44-1, FIELDSTONE FARM PROPERTIES, LLC, 38 FIELDSTONE LANE, RINDGE, NH 03461, BK 8991 / PG 795 (COMMERCIAL USE)
- MAP 1 / LOT 44-8, HEG SEVEN SOPHIA'S WAY, LLC, 2 INTERNATIONAL WAY, LAWRENCE, MA 01842, BK 8728 / PG 155 (COMMERCIAL USE)
- MAP 1 / LOT 45, SNZ, LLC, 12505 QUAIL MEADOW DRIVE, AUBURN, CA 95603, BK 9162 / PG 526 (COMMERCIAL USE)
- MAP 1 / LOT 46, PAUL CORMIER, 670 MASS AVENUE, LUNENBURG, MA 01462, BK 8011 / PG 200 (RESIDENTIAL USE)
- MAP 1 / LOT 46C, JAMES & ROBIN REISSFELDER, 774 FITCHBURG ROAD GREENVILLE, NH 03048, BK 5689 / PG 1771 (RESIDENTIAL USE)

DRAWING NOTES:

- THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF GREENVILLE ARE PART OF THIS PLAT AND APPROVAL OF THIS PLAT IS CONTINGENT ON COMPLETION OF ALL REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE GREENVILLE PLANNING BOARD AND ATTACHED HERETO.
- THE SUBJECT PARCELS DEPICTED IN PROPOSED PLANS ARE LOTS OF RECORD.
- EXISTING CONDITIONS, NORTH ORIENTATION, AND BOUNDARIES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "LOT LINE ADJUSTMENT PLAN" PREPARED FOR COUNTRY CORNER MILE REALTY, LLC, DATED JULY 26, 2020 BY SANDFORD SURVEYING AND ENGINEERING, INC. RECORDED HCRD #37887.

WAIVERS REQUESTED:

- LANDSCAPING
 - STORMWATER MANAGEMENT PLAN
 - CERTIFIED EROSION AND SEDIMENT CONTROL PLAN
- SEE WAIVER REQUESTS PROVIDED IN APPLICATION PACKAGE.

APPROVED BY

UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36

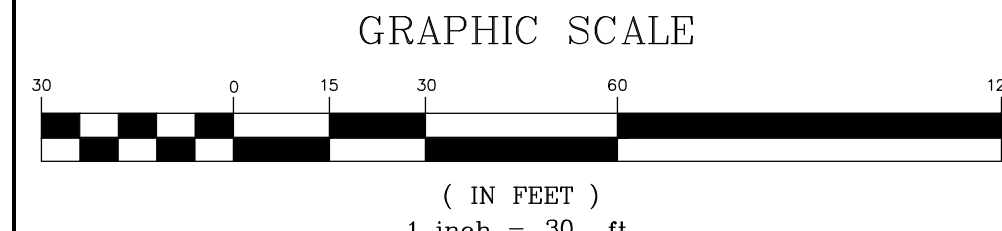
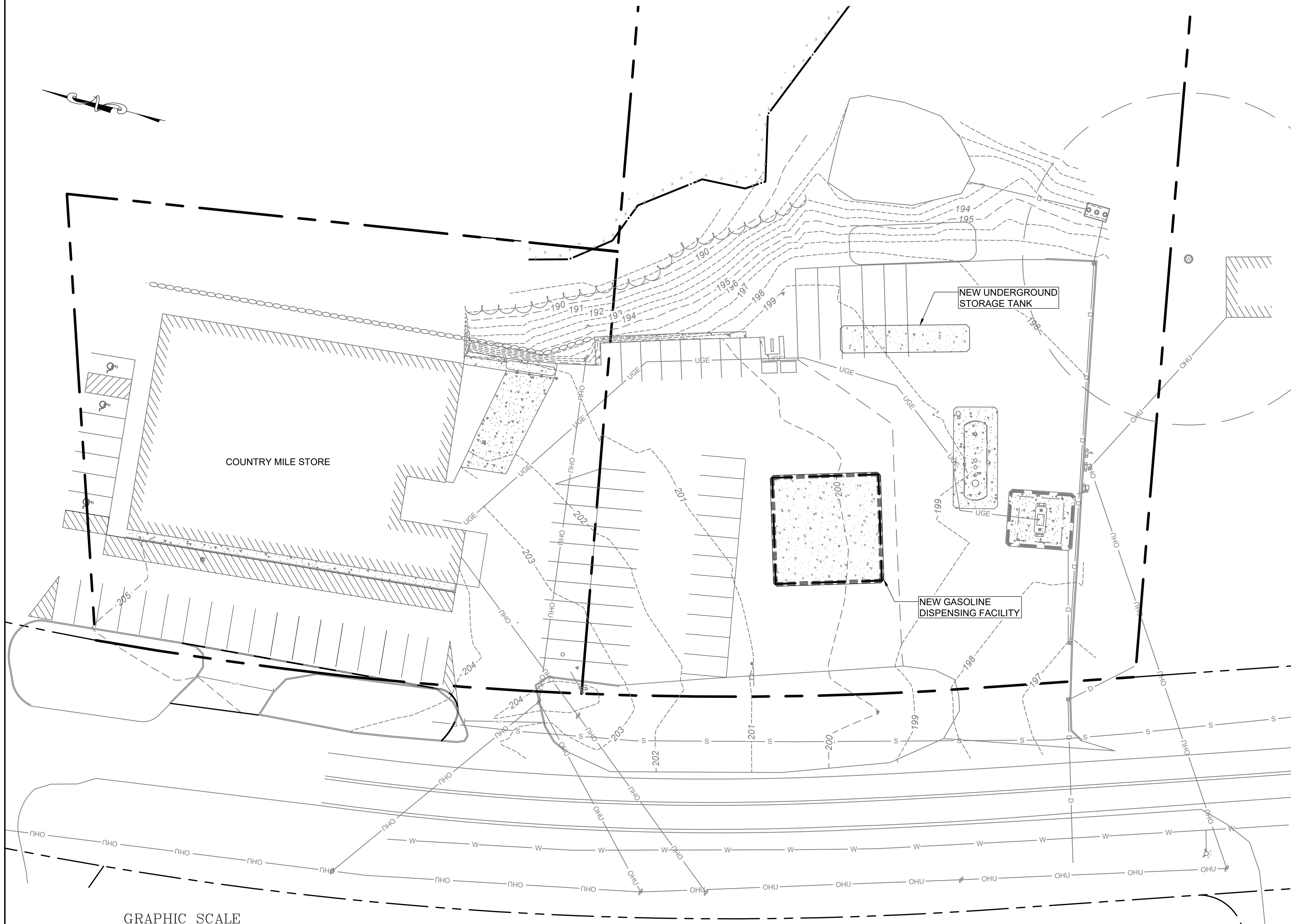
GREENVILLE PLANNING BOARD

TOWN OF GREENVILLE, NEW HAMPSHIRE

IN ACCORDANCE WITH VOTE OF THE BOARD DATED:

APPROVAL OF THIS PLAN IS LIMITED TO THE DATE AS SHOWN

CHAIR _____ CLERK _____



PROJECT DESCRIPTION:

THE PROPOSED PROJECT SCOPE INCLUDES THE REMOVAL OF THE EXISTING 4 POSITION GASOLINE DISPENSING STATION FROM LOT 1/48 AND THE CONSTRUCTION OF A NEW 8 POSITION GASOLINE DISPENSING STATION ON LOT 1/47. THE PROJECT SCOPE ALSO INCLUDES CHANGES TO THE PARKING LAYOUT AND THE CLOSURE OF ONE OF THE ACCESS DRIVE TO LOT 1/48. THE PROPOSED 8 POSITION GASOLINE DISPENSING WILL CONSIST OF A NEW 31,000 GALLON UNDERGROUND STORAGE TANK, 4 DISPENSERS, AND ASSOCIATED PIPING AND CONCRETE PADS.

SHEET INDEX

SHEET	NUMBER	TITLE	DATE ISSUED	LATEST REVISION	ADDRESS:
1	C0.1	COVER SHEET	10/15/2020	---	750 (1/46D) & 766 (1/47 & 1/48) FITCHBURG ROAD
2	C1.1	DEMOLITION PLAN	10/15/2020	---	ZONING DISTRICT: C1 - COMMERCIAL/INDUSTRIAL
3	C1.2	OVERALL SITE PLAN	10/15/2020	---	MINIMUM LOT AREA: 2.00 ACRES
4	C1.3	FUELING SYSTEM SITE PLAN	10/15/2020	---	MINIMUM LOT FRONTAGE: 200 FT
5	C1.4	CIRCULATION PLAN	10/15/2020	---	MAXIMUM BUILDING COVERAGE: 25%
6	C1.5	EROSION CONTROL PLAN	10/15/2020	---	MAXIMUM BUILDING HEIGHT: 35 FT
7	C5.1	TANK PROFILE	10/15/2020	---	
8	C5.2	DETAILS	10/15/2020	---	
9	C5.3	DETAILS	10/15/2020	---	
10	C5.4	EROSION CONTROL DETAILS	10/15/2020	---	
11	C5.5	NOTES	10/15/2020	---	

ZONING AND PARKING ANALYSIS*:

OWNER OF RECORD:	MAP 1 / LOT 47	MAP 1 / LOT 48	MAP 1 / LOT 46D
COUNTRY CORNER MILE REALTY, LLC PO BOX 248 AMHERST, NH 03031 BK. 6793 / PG. 2422	COUNTRY CORNER MILE REALTY, LLC 152 HITCHING POST LANE BEDFORD, NH 03110 BK. 6793 / PG. 2428	COUNTRY CORNER MILE REALTY, LLC 152 HITCHING POST LANE BEDFORD, NH 03110 BK. 6793 / PG. 2428	H-COR, LLC 152 HITCHING POST LANE BEDFORD, NH 03110 BK 8262 / PG 2459
	750 (1/46D) & 766 (1/47 & 1/48) FITCHBURG ROAD		
		C1 - COMMERCIAL/INDUSTRIAL	
	PROVIDED 2.350 (1/46D), 2.70 AC (1/47), & 0.927 AC (1/48)	PROVIDED 2319 FT (1/46D), 250 FT (1/47), & 221 FT (1/48)	PROVIDED 219 FT (1/46D), 250 FT (1/47), & 221 FT (1/48)
	PROVIDED 2.3% (1/47), & 33.7% (1/48)	PROVIDED 2.3% (1/47), & 33.7% (1/48)	PROVIDED 2.3% (1/47), & 33.7% (1/48)
	PROVIDED 18 FT	PROVIDED 18 FT	PROVIDED 18 FT

BUILDING SETBACKS REQUIRED	REQUIRED	EXISTING	PROPOSED
STREET SETBACK	50 FT	62	3
LOT LINE SETBACK	15 FT	5	3
GREEN SPACE BELT WIDTH	10 FT	62	3
MINIMUM GREEN SPACE	25%	70.0% (1/47), & 26.9% (1/48)	70.0% (1/47), & 26.9% (1/48)
REQUIRED PARKING FOR COUNTRY MILE STORE	1 SPACE REQUIRED PER 300 SQUARE FEET GROSS FLOOR AREA	13,616 SF = 46 SPACES	13,616 SF = 46 SPACES
TOTAL SPACES ACCESSIBLE	46	62	3
TOTAL IMPERVIOUS AREAS POST-CONSTRUCTION	34,685	38,207	N/A
PARKING AREAS AND PAVEMENT BUILDINGS	16,345 SF	35,503 SF	N/A
LOADING DOCKS AND WALKWAYS	13,616 SF	2,704 SF	N/A
TOTAL	4,724 SF	0 SF	N/A
BUILDING COVERAGE = TOTAL BUILDING / TOTAL LOT AREA	25%	2.3% (1/47), & 33.7% (1/48)	2.3% (1/47), & 33.7% (1/48)
*NO CHANGES IN USE, LOT SIZE, OR COVERAGE ARE PROPOSED TO LOT 1/46D AND THEREFORE THERE ARE NO CHANGES TO THE ZONING OR PARKING ANALYSIS FROM PREVIOUS APPROVALS.			
**NO EXISTING GREEN SPACE BELT IN FRONT OF CURRENT GASOLINE DISPENSER STATION. NEW CURB LINE IS PROPOSED TO TIE INTO EXISTING SOUTH ENTRANCE DRIVEWAY.			

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC

PO BOX 248 AMHERST, NH

THE COUNTRY MILE STORE

750 & 766 FITCHBURG RD GREENVILLE, NH

**FACILITY ID: 0113157
MBLU: 1/46D, 1/47, & 1/48**

COVER SHEET

SCALE: N.T.S. DATE: 10/15/2020

DRAFTED BY: GAG CHECKED BY: DLF PROJECT MGR: DLF PROJECT NO.: GAFT0121

STATE OF NEW HAMPSHIRE
DAVID L. FROTHINGHAM III
NO. 15480
PROFESSIONAL ENGINEER

C0.1

ENGINEER: DAVID L. FROTHINGHAM III
NO. P.E. #15480

01 OF 11

H-COR, LLC
 PO Box 248
 Amherst, NH 03031
 BK 8262 / PG 2459
 (Commercial Use)

Wilcox & Barton, INC.
 CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
 CONCORD, NH 03301
 603-369-4190
 www.wilcoxandbarton.com

REVISION HISTORY

ISSUED FOR

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OWNER

**H-COR, LLC &
 COUNTRY CORNER MILE
 REALTY, LLC**

**PO BOX 248
 AMHERST, NH**

**THE COUNTRY MILE
 STORE**

**750 & 766 FITCHBURG RD
 GREENVILLE, NH**

**FACILITY ID: 0113157
 MBLU: 1/46D, 1/47, & 1/48**

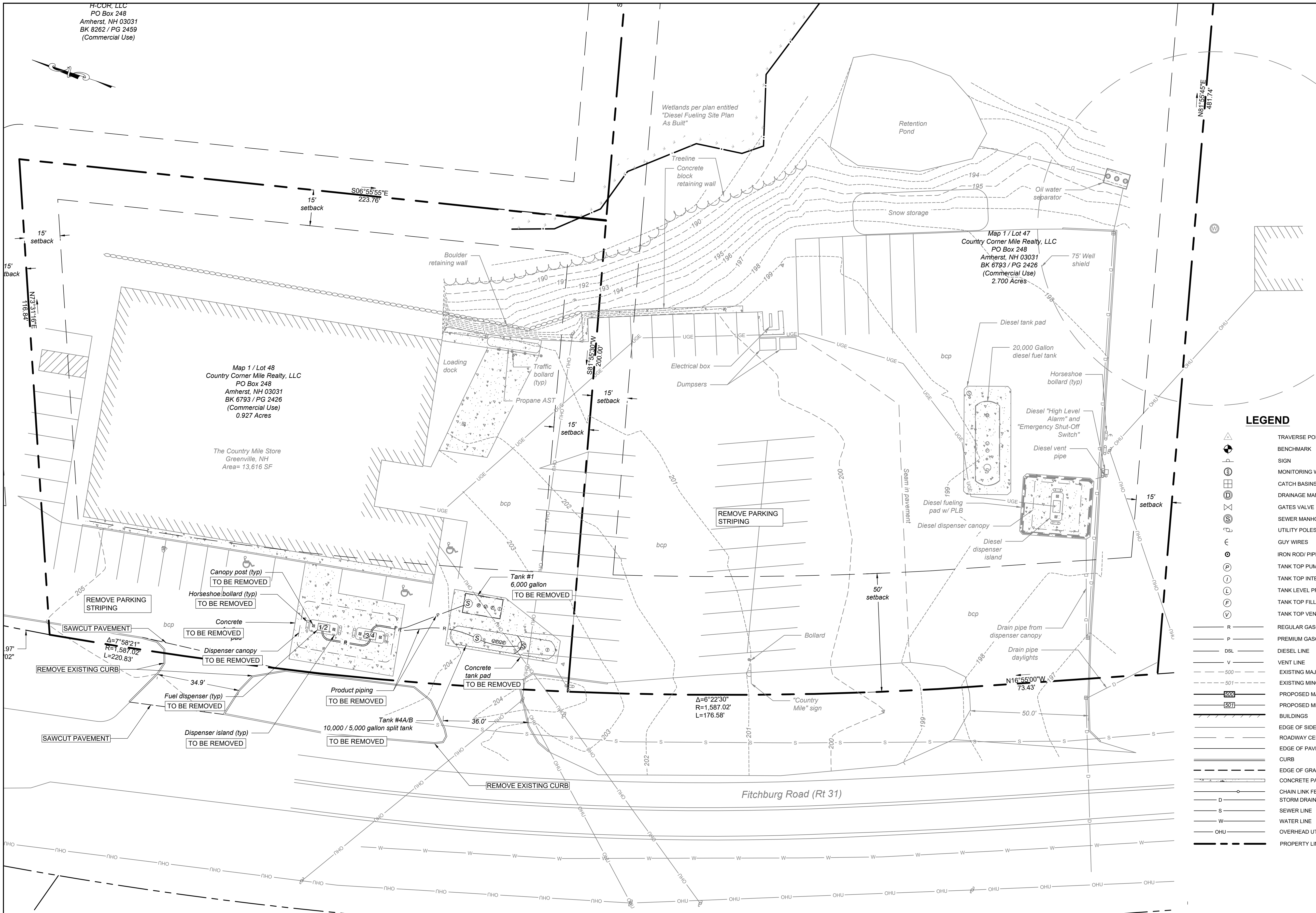
DRAWING TITLE

DEMOLITION PLAN

SCALE	DATE
1" = 20'	10/15/2020
DRAFTED BY	CHECKED BY
GAG	DLF
PROJECT MGR	PROJECT NO.
DLF	GAFT0121

	<p>C1.1</p>

02 OF 11

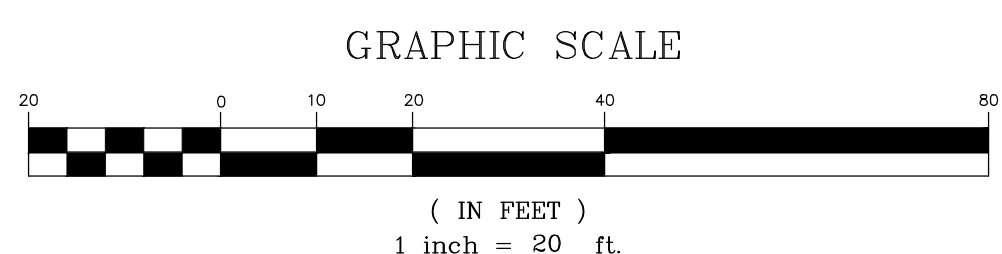


LEGEND

- ▲ TRAVERSE POINT
- BENCHMARK
- ⊕ SIGN
- MONITORING WELLS
- ⊞ CATCH BASINS
- ⊞ DRAINAGE MANHOLES
- ⊞ GATES VALVE (WATER)
- ⊞ SEWER MANHOLES
- ⊞ UTILITY POLES
- ⊞ GUY WIRES
- ⊞ IRON ROD/ PIPE BOUNDARY MONUMENT
- ⊞ TANK TOP PUMP
- ⊞ TANK TOP INTERSTITIAL MONITOR
- ⊞ TANK LEVEL PROBE
- ⊞ TANK TOP FILL
- ⊞ TANK TOP VENT EXTRACTOR
- R — REGULAR GASOLINE LINE
- P — PREMIUM GASOLINE LINE
- DSL — DIESEL LINE
- V — VENT LINE
- 500 — EXISTING MAJOR CONTOUR
- 501 — EXISTING MINOR CONTOUR
- 500 — PROPOSED MAJOR CONTOUR
- 501 — PROPOSED MINOR CONTOUR
- B — BUILDINGS
- E — EDGE OF SIDEWALK
- C — ROADWAY CENTERLINE
- P — EDGE OF PAVEMENT
- C — CURB
- G — EDGE OF GRAVEL
- P — CONCRETE PAD
- D — CHAIN LINK FENCE
- S — STORM DRAIN LINE
- S — SEWER LINE
- W — WATER LINE
- OHU — OVERHEAD UTILITY
- P — PROPERTY LINE

GENERAL NOTES:

- TOPOGRAPHY, AND EXISTING FEATURES FROM SURVEY BY WILCOX & BARTON, INC. ON 08/06/2020. WETLAND, AND UTILITY LOCATIONS FROM THE "DIESEL FUELING SITE PLAN AS BUILT" PREPARED BY FIELDSTONE LAND CONSULTANTS, PLLC DATED APRIL 12, 2012.
- PROPERTY LINES FROM THE "LOT LINE ADJUSTMENT PLAN" PREPARED BY SANFORD SURVEYING AND ENGINEERING, BEDFORD, NH, DATED JULY 26, 2013.
- THIS DRAWING IS NOT INTENDED TO BE A BOUNDARY SURVEY
- CONTRACTOR SHALL CONTACT DIG-SAFE PRIOR TO ANY EXCAVATION
- PRIOR TO COMPONENT REMOVAL CONTACT MATT JONES AT NHDES (603-271-2986) FOR PROJECT SPECIFIC ASSESSMENT REQUIREMENTS.



APPROVED BY

UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
GREENVILLE PLANNING BOARD
 TOWN OF GREENVILLE, NEW HAMPSHIRE
 IN ACCORDANCE WITH VOTE OF THE BOARD DATED:

APPROVAL OF THIS PLAN IS LIMITED TO THE DATE AS SHOWN

 CHAIR

 CLERK

Map 1 / Lot 44-B
 HEG Seven Sophia's Way, LLC
 2 International Way
 Lawrence, MA 01842
 BK 8728 / PG 155
 (Commercial Use)

Parking Summary:

EXISTING PARKING:
62 car parking spaces
5 Handicap parking spaces (3 required)
5 Truck spaces

PROPOSED PARKING:
62 car parking spaces
3 Handicap parking spaces (3 required)
5 Truck spaces
1 Customer Loading Space

REVISION HISTORY

1.

ISSUED FOR

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER

H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC
PO BOX 248 AMHERST, NH

THE COUNTRY MILE STORE
750 & 766 FITCHBURG RD GREENVILLE, NH
FACILITY ID: 0113157
MBLU: 1/46D, 1/47, & 1/48

OVERALL SITE PLAN

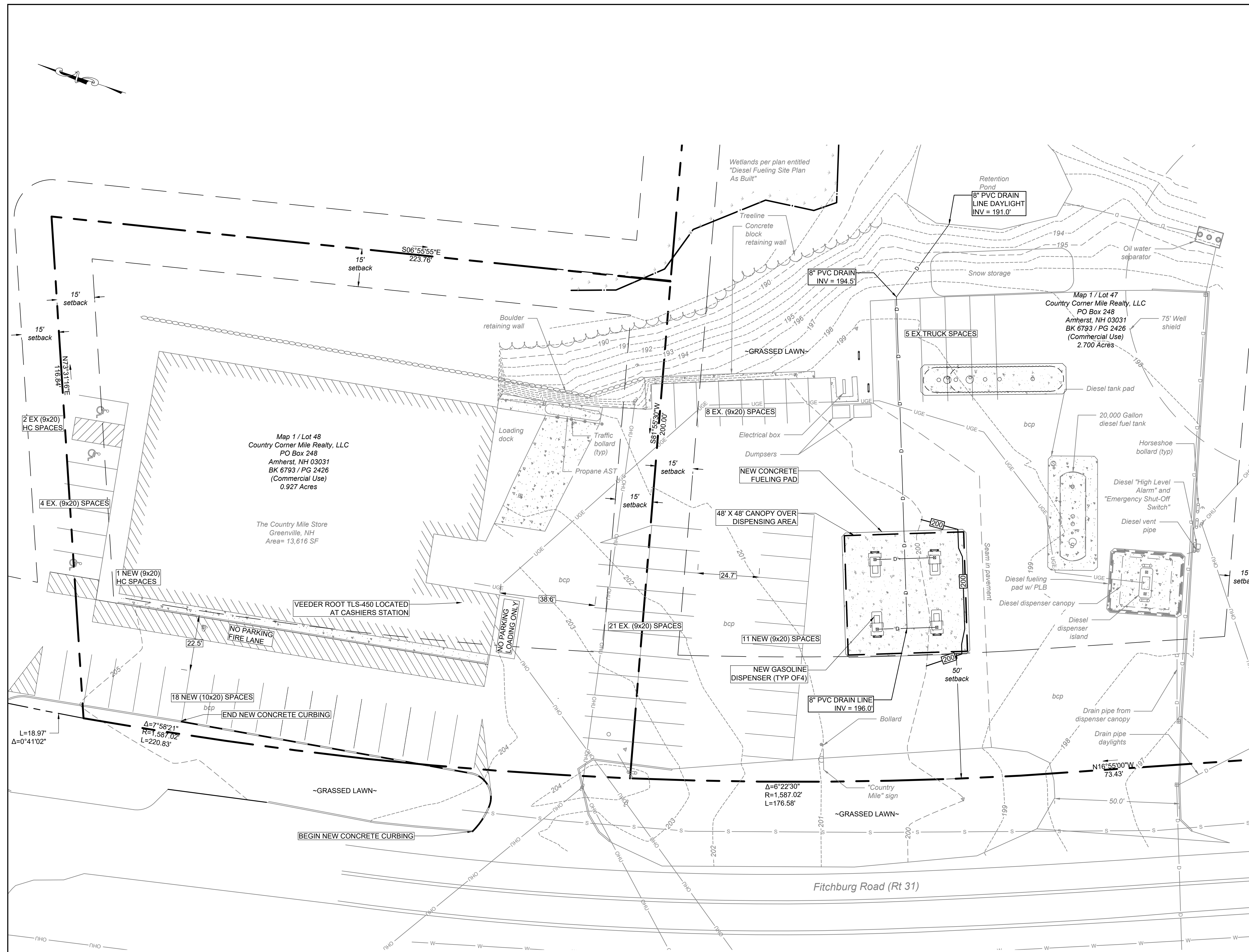
SCALE	DATE		
1" = 20'	10/15/2020		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
GAG	DLF	DLF	GAFT0121

STATE OF NEW HAMPSHIRE
DAVID L. FROTHINGHAM III
No. 15480
LICENSED PROFESSIONAL ENGINEER

C1.2

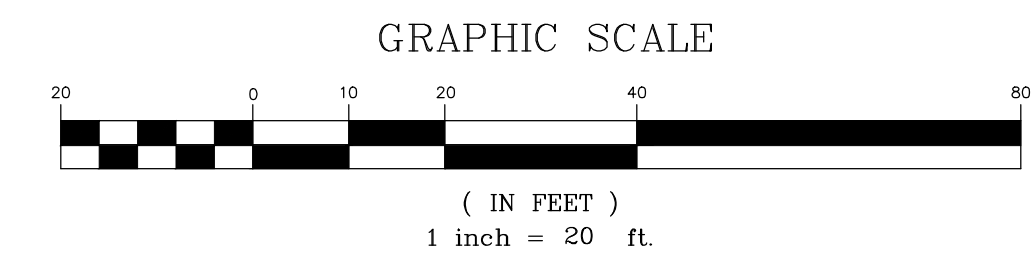
ENGINEER: DAVID L. FROTHINGHAM III
NH P.E. #15480

03 OF 11



LEGEND

- ▲ TRAVERSE POINT
- ⊕ BENCHMARK
- ⊙ SIGN
- ⊙ MONITORING WELLS
- ⊙ CATCH BASINS
- ⊙ DRAINAGE MANHOLES
- ⊙ GATES VALVE (WATER)
- ⊙ SEWER MANHOLES
- ⊙ UTILITY POLES
- ⊙ GUY WIRES
- ⊙ IRON ROD / PIPE BOUNDARY MONUMENT
- ⊙ TANK TOP PUMP
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- — — EXISTING MAJOR CONTOUR
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- — — PROPOSED MAJOR CONTOUR
- — — PROPOSED MINOR CONTOUR
- — — BUILDINGS
- — — EDGE OF SIDEWALK
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- — — EDGE OF PAVEMENT
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- — — EDGE OF GRAVEL
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- — — STORM DRAIN LINE
- — — SEWER LINE
- — — WATER LINE
- — — OVERHEAD UTILITY
- — — PROPERTY LINE
- — — STORMWATER FLOW PATH



APPROVED BY
UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
GREENVILLE PLANNING BOARD
TOWN OF GREENVILLE, NEW HAMPSHIRE
IN ACCORDANCE WITH VOTE OF THE BOARD DATED:
APPROVAL OF THIS PLAN IS LIMITED TO THE DATE AS SHOWN

CHAIR _____ CLERK _____

REVISION HISTORY

1.

ISSUED FOR

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OWNER

H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC

**PO BOX 248
AMHERST, NH**

THE COUNTRY MILE STORE
**750 & 766 FITCHBURG RD
GREENVILLE, NH**

**FACILITY ID: 0113157
MBLU: 1/46D, 1/47, & 1/48**

DRAWING TITLE

**FUELING SYSTEM
SITE PLAN**

SCALE

1" = 10'

DATE

10/15/2020

DRAFTED BY

GAG

CHECKED BY

DLF

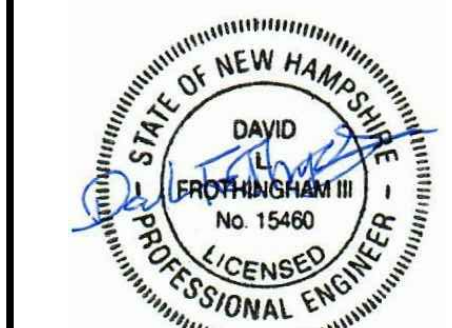
PROJECT MGR

DLF

PROJECT NO.

GAFT0121

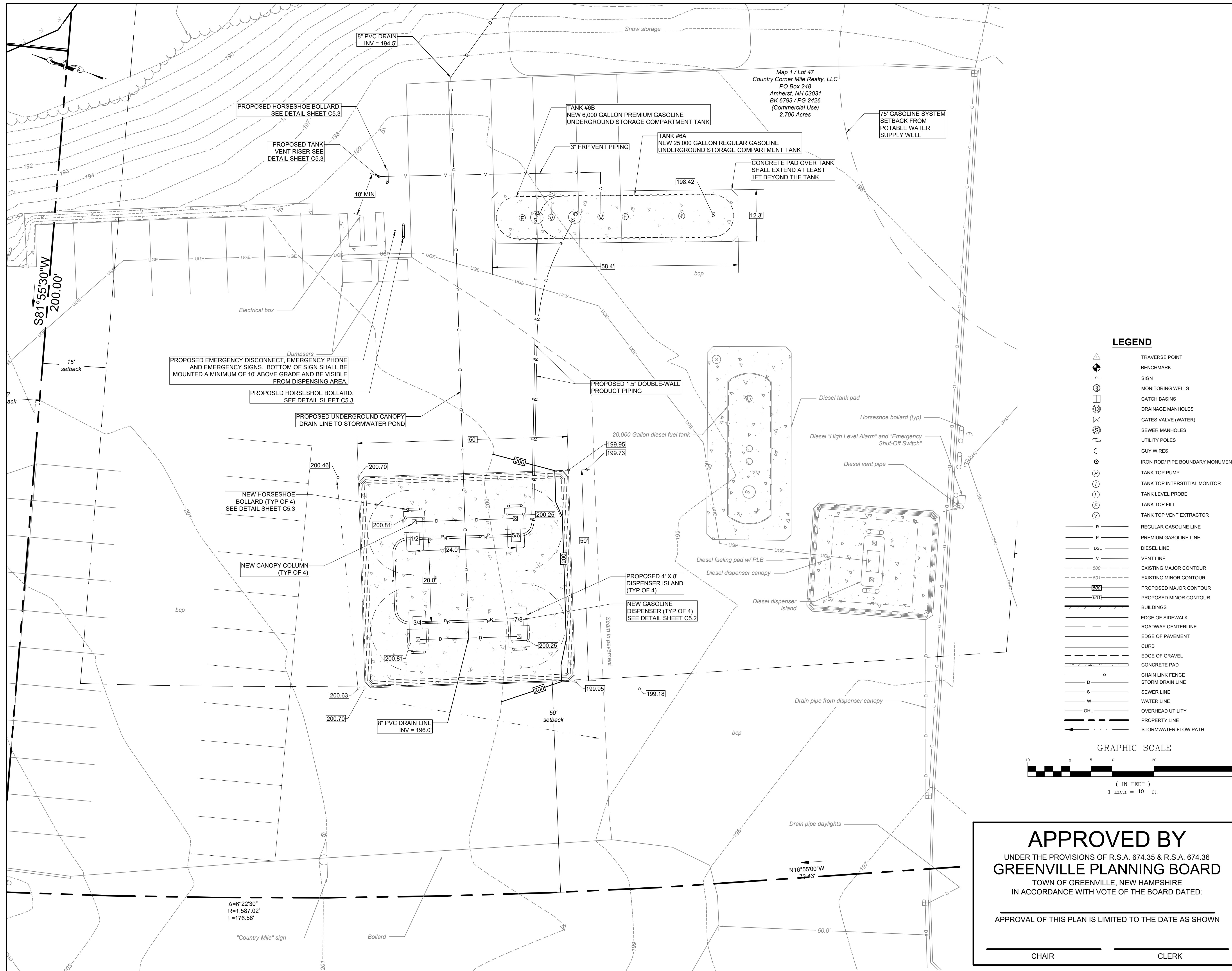
SHEET NO.



C1.3

ENGINEER: DAVID L. FROTHINGHAM III
NH P.E. #15450

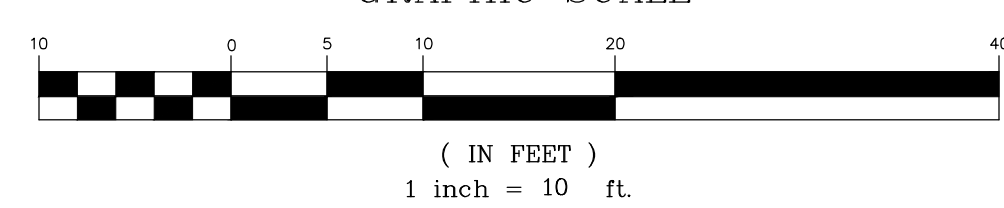
04 OF 11



LEGEND

- TRAVERSE POINT
- BENCHMARK
- SIGN
- MONITORING WELLS
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- WATER LINE
- OVERHEAD UTILITY
- PROPERTY LINE
- STORMWATER FLOW PATH

GRAPHIC SCALE



APPROVED BY
UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
GREENVILLE PLANNING BOARD
TOWN OF GREENVILLE, NEW HAMPSHIRE
IN ACCORDANCE WITH VOTE OF THE BOARD DATED:

APPROVAL OF THIS PLAN IS LIMITED TO THE DATE AS SHOWN

CHAIR _____ CLERK _____

$\Delta=6^{\circ}22'30''$
 $R=1,587.02'$
 $L=176.58'$

"Country Mile" sign

Bollard

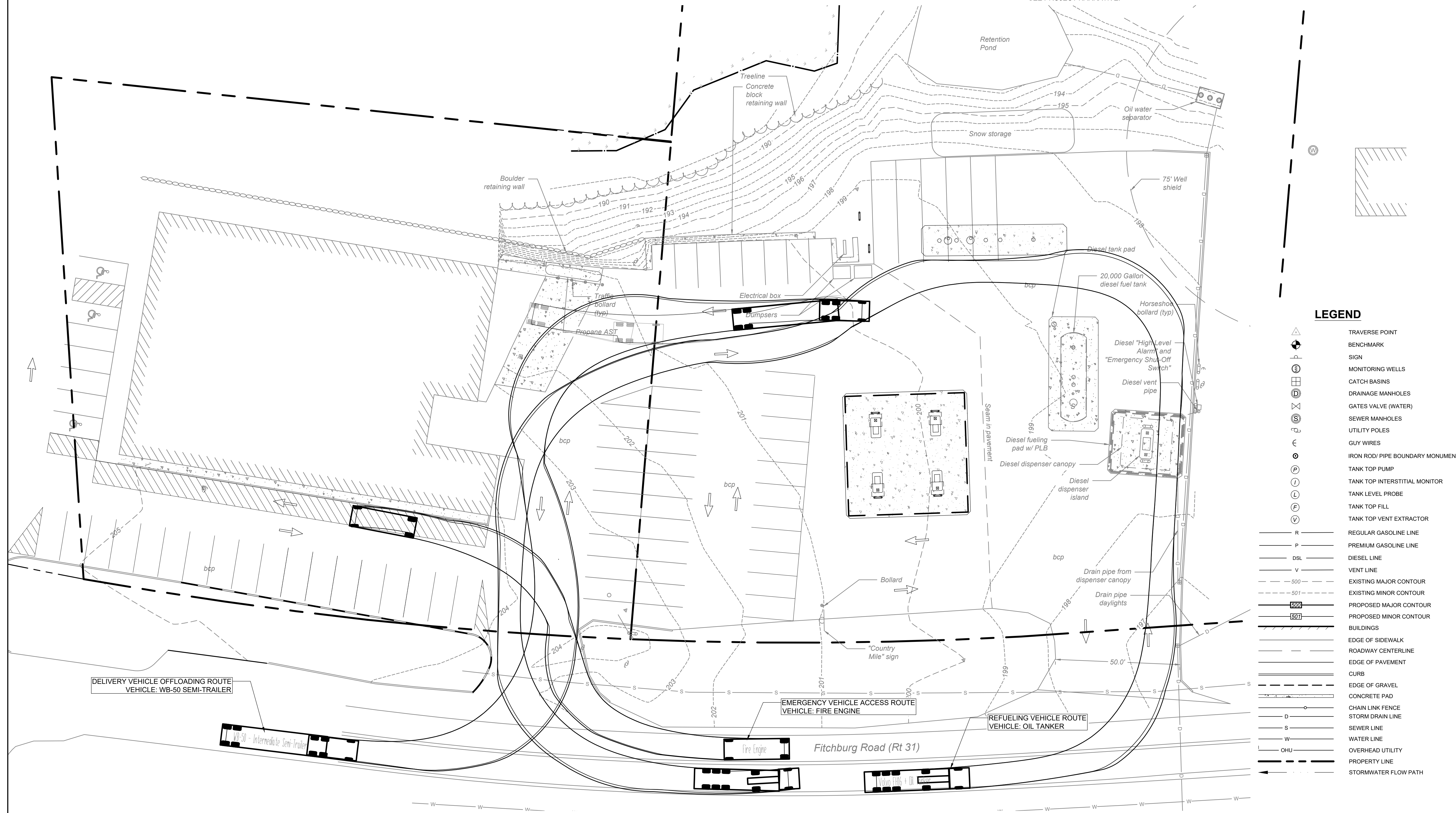
TRAFFIC ESTIMATE IMPACTS SUMMARY:

AVERAGE DAILY TRIPS (ADT)
REQUIREMENT - GAS/SERVICE STATION W/ CONVENIENCE MARKET (ITE 945)
205.36 PER VEHICLE FUELING POSITION (FP)

EXISTING:
4 FP X 205.36/FR = 822 TRIPS

PROPOSED:
8 FP X 205.36/FR = *1644 TRIPS

*SEE PROJECT NARRATIVE.



LEGEND

- ▲ TRAVERSE POINT
- ⊕ BENCHMARK
- ⊙ SIGN
- ⊙ MONITORING WELLS
- ⊙ CATCH BASINS
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REVISION HISTORY

NO.	DATE	DESCRIPTION
1		

ISSUED FOR

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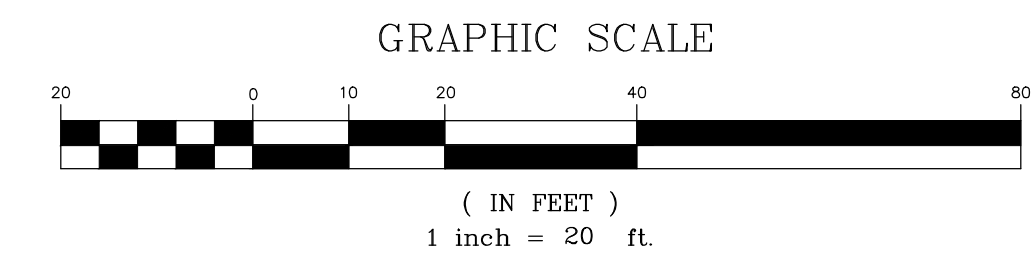
OWNER
H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC
PO BOX 248
AMHERST, NH

SITE
THE COUNTRY MILE STORE
750 & 766 FITCHBURG RD
GREENVILLE, NH
FACILITY ID: 0113157
MBLU: 1/46D, 1/47, & 1/48

DRAWING TITLE
CIRCULATION PLAN

SCALE 1" = 20'	DATE 10/15/2020
DRAFTED BY GAG	CHECKED BY DLF
PROJECT MGR DLF	PROJECT NO. GAFT0121

STATE OF NEW HAMPSHIRE
DAVID L. FROTHINGHAM III
No. 15480
LICENSED PROFESSIONAL ENGINEER
C1.4
SHEET NO.
05 OF 11



APPROVED BY
UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
GREENVILLE PLANNING BOARD
TOWN OF GREENVILLE, NEW HAMPSHIRE
IN ACCORDANCE WITH VOTE OF THE BOARD DATED:
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CHAIR _____ CLERK _____

REVISION HISTORY

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OWNER

**H-COR, LLC &
COUNTRY CORNER MILE
REALTY, LLC**

**PO BOX 248
AMHERST, NH**

SITE

**THE COUNTRY MILE
STORE**
**750 & 766 FITCHBURG RD
GREENVILLE, NH**

**FACILITY ID: 0113157
MBLU: 1/46D, 1/47, & 1/48**

DRAWING TITLE

**EROSION
CONTROL PLAN**

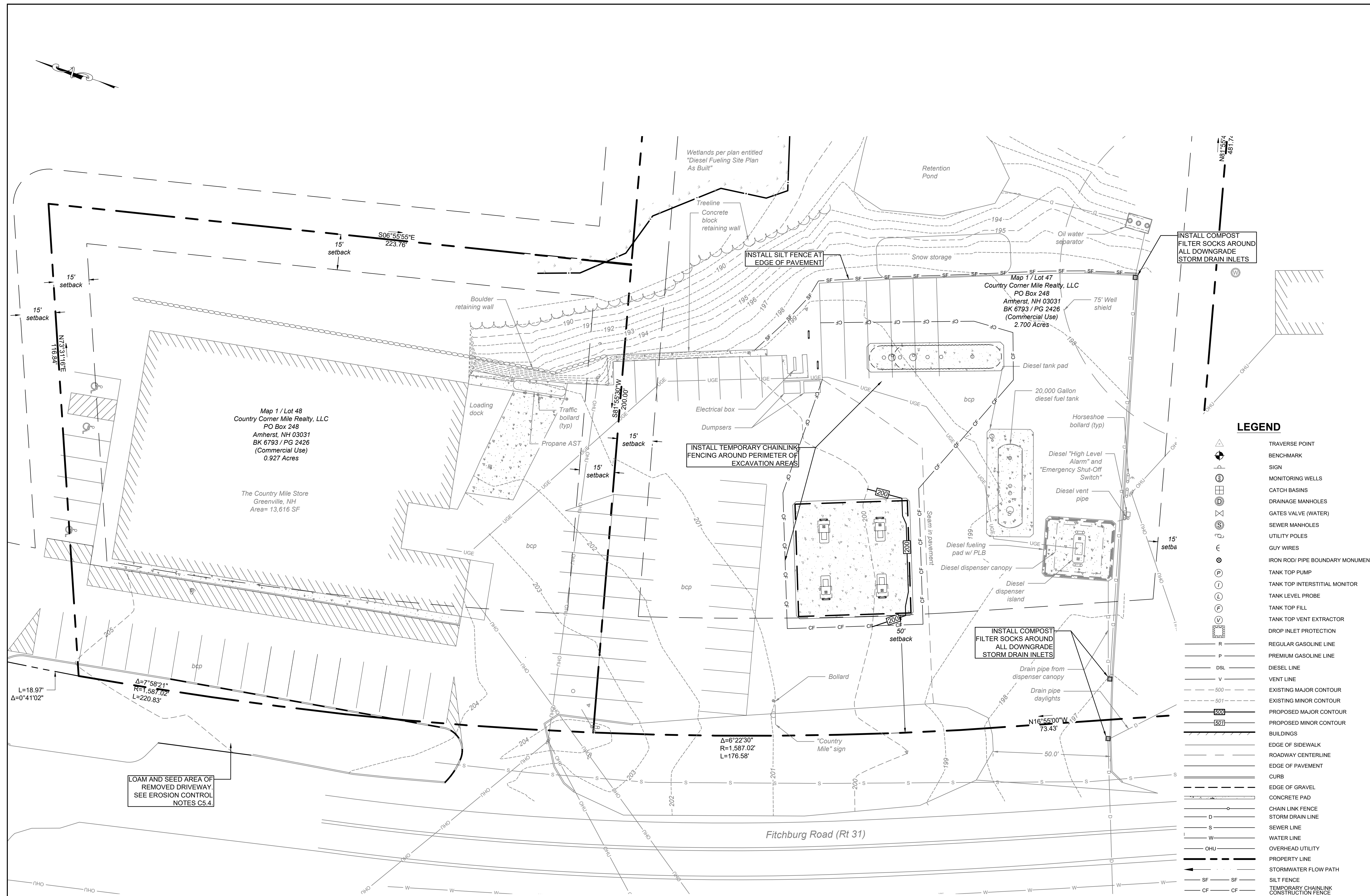
SCALE	DATE		
1" = 20'	10/15/2020		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
GAG	DLF	DLF	GAFT0121
SHEET NO.			

STATE OF NEW HAMPSHIRE
DAVID L. FROTHINGHAM III
No. 15480
LICENSED PROFESSIONAL ENGINEER

C1.5

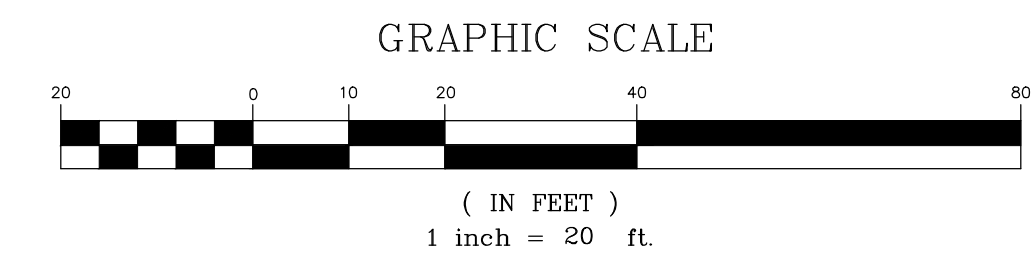
ENGINEER: DAVID L. FROTHINGHAM III
NH P.E. #15480

06 OF 11



LEGEND

	TRAVERSE POINT
	BENCHMARK
	SIGN
	MONITORING WELLS
	CATCH BASINS
	DRAINAGE MANHOLES
	GATES VALVE (WATER)
	SEWER MANHOLES
	UTILITY POLES
	GUY WIRES
	IRON ROD/PIPE BOUNDARY MONUMENT
	TANK TOP PUMP
	TANK TOP INTERSTITIAL MONITOR
	TANK LEVEL PROBE
	TANK TOP FILL
	TANK TOP VENT EXTRACTOR
	DROP INLET PROTECTION
	REGULAR GASOLINE LINE
	PREMIUM GASOLINE LINE
	DIESEL LINE
	VENT LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	BUILDINGS
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	ROADWAY CENTERLINE
	EDGE OF PAVEMENT
	CURB
	EDGE OF GRAVEL
	CONCRETE PAD
	CHAIN LINK FENCE
	STORM DRAIN LINE
	SEWER LINE
	WATER LINE
	OVERHEAD UTILITY
	PROPERTY LINE
	STORMWATER FLOW PATH
	SILT FENCE
	TEMPORARY CHAINLINK CONSTRUCTION FENCE



APPROVED BY
UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
GREENVILLE PLANNING BOARD
TOWN OF GREENVILLE, NEW HAMPSHIRE
IN ACCORDANCE WITH VOTE OF THE BOARD DATED:
APPROVAL OF THIS PLAN IS LIMITED TO THE DATE AS SHOWN

CHAIR _____ CLERK _____

LOAM AND SEED AREA OF REMOVED DRIVEWAY. SEE EROSION CONTROL NOTES C5.4.

PARTS LIST

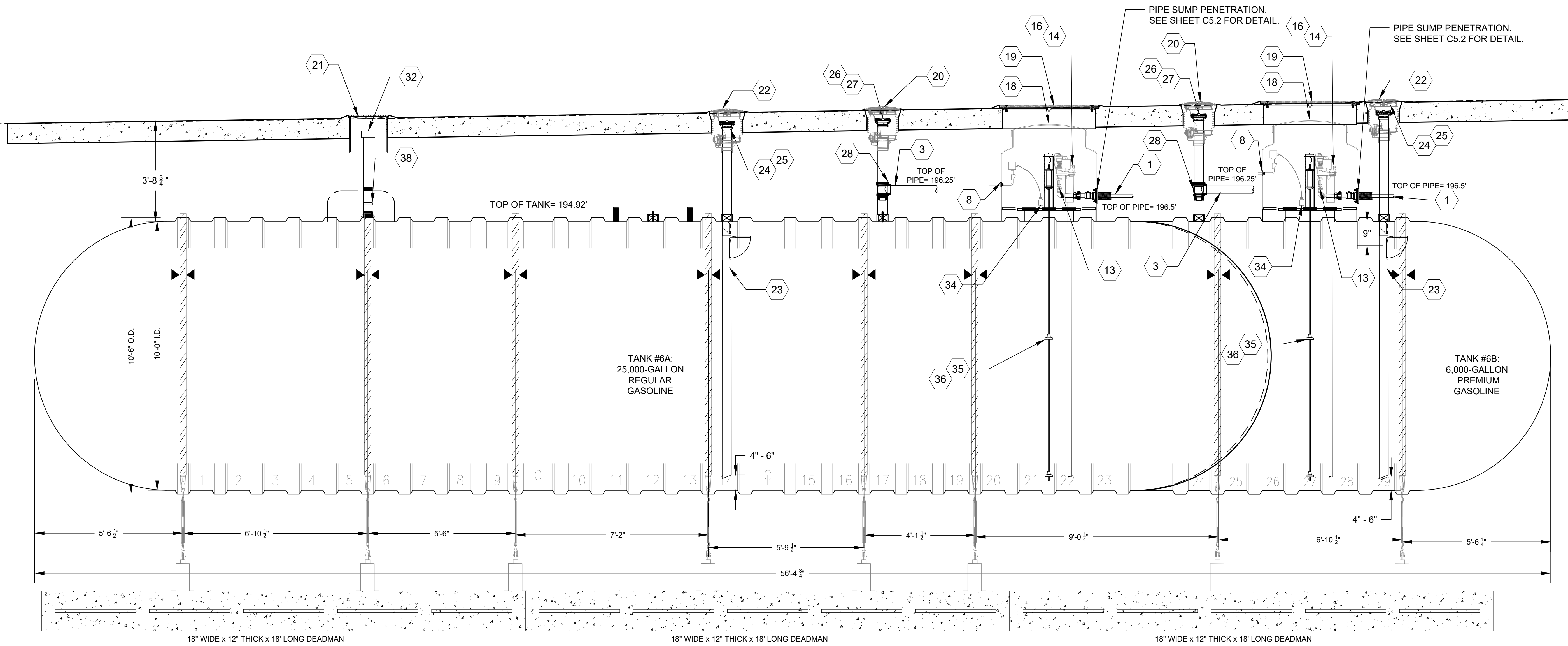
ID	DESCRIPTION	MANUFACTURER	MODEL #
1	1.5" PRESSURE UL971 DOUBLE WALL PIPE	APT	XP-150-SC-500
2	RESERVED		
3	3" FIBERGLASS REINFORCED PIPING	NOV AMERON	DUALOY 3000/L
4	1.5" PIPE DUCTED ENTRY BOOT	APT	DEB-150-SC
5	CORRUGATED PIPE DUCTING	APT	DUCT-400-250
6	1.5" SECONDARY TEST BOOTS	APT	STB-150
7	1.5" CLAMHELL SWIVEL COUPLING FOR XP PIPE	APT	MS-XP-150-150
8	3/4" ELECTRICAL ENTRY BOOTS	APT	FEB-C-0075
9	ENCORE FIBERGLASS DISPENSER SUMP	APT	LMM-3617-S
10	CRASH VALVE STABILIZER MOUNTING KIT FOR SUMP	APT	SBK-3
11	1 1/2" EMERGENCY CRASH VALVE DOUBLE POPPET	OPW	10BHMP-5830
12	1.5" FLEX HOSE X 18" LONG, EZ MALE X MALE	FLEX-ING	FLX-11218EZXM
13	2" BALL VALVE	MORRISON BROTHERS	691-08001V
14	2.0 HP TURBINE PUMP	FE PETRO	402731918
15	RESERVED		
16	GASOLINE LINE LEAK DETECTOR	FE PETRO	MLD+G
17	RESERVED		
18	FIBERGLASS TANK SUMP	CONTAINMENT SOLUTIONS	SW PTS (WT 34) 42/ 8-4
19	44" COMPOSITE CAM LOCK MANHOLE	EMCO WHEATON	A0716-044CW
20	5 GALLON SINGLE WALL SPILL BUCKET	EMCO WHEATON	A1005-517A
21	12" MONITOR MANHOLE	EMCO WHEATON	A0721-119
22	5-GALLON DOUBLE WALL SPILL BUCKET	EMCO WHEATON	A1005-517G
23	OVERFILL PROTECTION VALVE AND DROP TUBE	OPW	71SO-410C
24	4" BRASS SWIVEL FILL ADAPTOR	EMCO WHEATON	A0030-124S
25	FILL ADAPTOR CAP	EMCO WHEATON	A0097-005
26	4" BRASS VAPOR SWIVEL ADAPTOR	EMCO WHEATON	A0076-124S
27	VAPOR ADAPTOR CAP	EMCO WHEATON	A0099-002
28	4" x 4" x 3" VAPOR EXTRACTOR FITTING	OPW	223-4430
29	RESERVED		
30	3" PRESSURE VACCUUM VENT	OPW	723V-3203
31	RESERVED		
32	4" TANK MONITOR CAP	MORRISON BROTHERS	305XPA1200AKEVR
33	TLS-450 PLUS TANK MONITORING CONSOLE	VEEDER ROOT	860091-301
34	NON-DISCRIMINATING SUMP SENSOR	VEEDER ROOT	794380-208
35	MAG PLUS TANK PROBE	VEEDER ROOT	846396-109
36	PHASE SEPERATION WATER DETECTOR MAG PLUS INSTALLATION KIT	VEEDER ROOT	886100-000
37	RESERVED		
38	DUAL-POINT HYDROSTATIC BRINE SENSOR	VEEDER ROOT	79480-303

CONTAINMENT SOLUTIONS DWT8 (10') AUTO SHUTOFF SETTINGS

TANK 6A - REGULAR GASOLINE COMPARTMENT		TANK 6B - PREMIUM GASOLINE COMPARTMENT	
NOMINAL CAPACITY	25,000 GAL	NOMINAL CAPACITY	6,000 GAL
ACTUAL CAPACITY	24,970 GAL	ACTUAL CAPACITY	6,108 GAL
90% VOLUME	22,473 GAL	90% VOLUME	5,497 GAL
95% VOLUME	23,721 GAL	95% VOLUME	5,802 GAL
TANK FULL LEVEL (Y)	120 IN	TANK FULL LEVEL (Y)	120 IN
95% TANK LEVEL (X)	107 3/8 IN	95% TANK LEVEL (X)	108 IN
Y-X(Z)	12 3/8 IN	Y-X(Z)	12 IN
Z-2"	10 3/8 IN	Z-2"	10 IN
PLACE 95% FILL MARK ON VALVE		PLACE 95% FILL MARK ON VALVE	
10 3/8" FROM INSIDE TOP OF TANK		10" FROM INSIDE TOP OF TANK	

NOTE:

- TANK 6 31,000-GALLON, DOUBLE-WALLED FIBERGLASS, UL 1316 STANDARD OF DESIGN, MANUFACTURED BY CONTAINMENT SOLUTIONS.
- DUE TO THE POSSIBLE BREAKDOWN OF TANK SYSTEM MATERIALS, NHDES REQUIRES THAT BOSTIK OR RECOMMENDED MARINE SEALANTS BE APPLIED ONLY TO THE OUTSIDE OF TANK AND DISPENSER SUMPS



Wilcox & Barton INC.
 CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
 CONCORD, NH 03301
 603-369-4190
 www.wilcoxandbarton.com

REVISION HISTORY

ISSUED FOR

OWNER

H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC
 PO BOX 248
 AMHERST, NH

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SITE

THE COUNTRY MILE STORE
 750 & 766 FITCHBURG RD
 GREENVILLE, NH
 FACILITY ID: 0113157
 MBLU: 1/46D, 1/47, & 1/48

DRAWING TITLE

TANK PROFILE

SCALE	N.T.S.	DATE	10/15/2020
DRAFTED BY	GAG	PROJECT MGR	DLF
CHECKED BY	DLF	PROJECT NO.	GAFT0121
SHEET NO.			

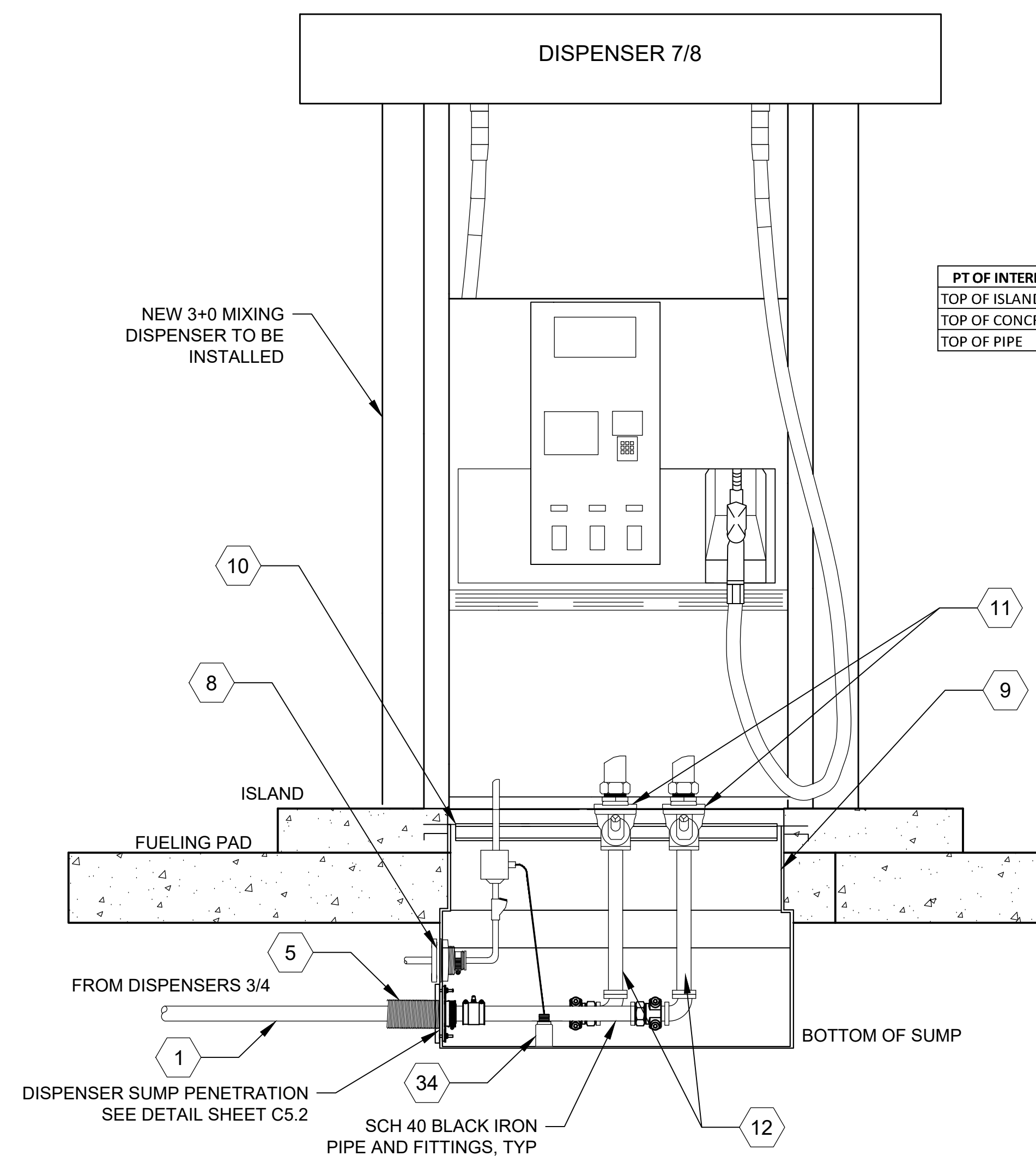
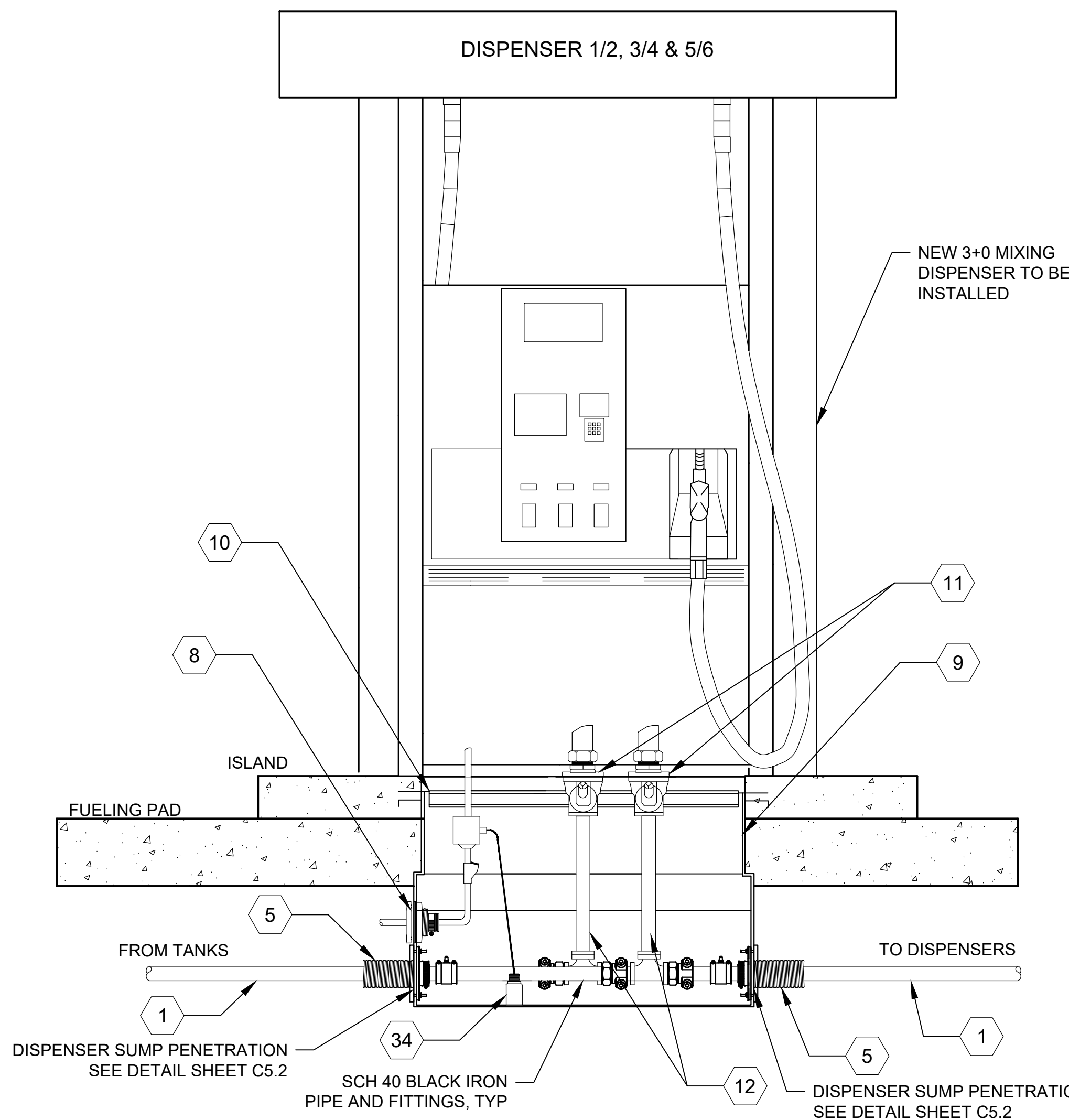
STATE OF NEW HAMPSHIRE
 DAVID L. FROTHINGHAM III
 No. 15480
 LICENSED PROFESSIONAL ENGINEER

C5.1

ENGINEER: DAVID L. FROTHINGHAM III
 NH P.E. #15480

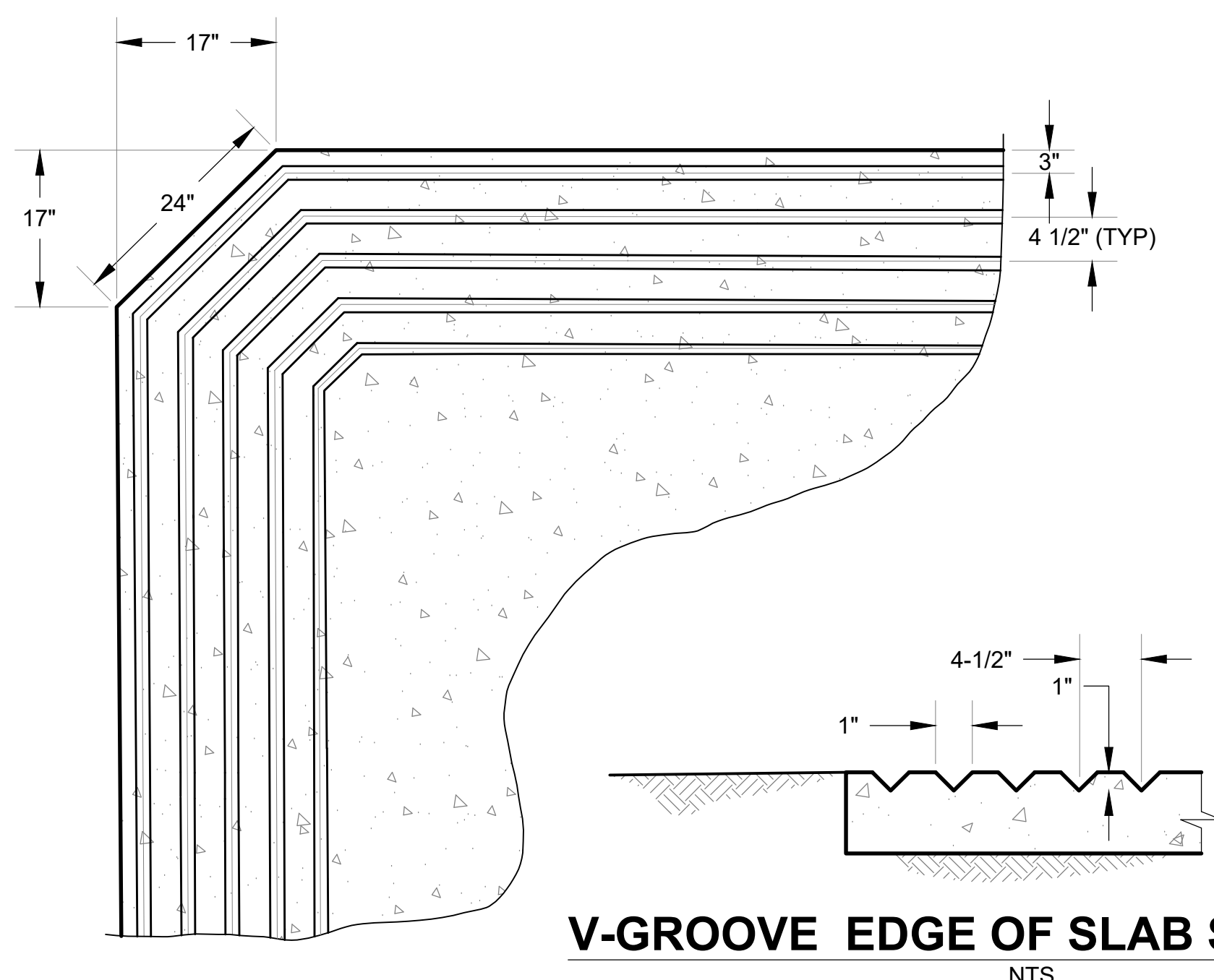
07 OF 11

PT OF INTEREST	ELEVATIONS (FT)			
	DISPENSER 1/2	DISPENSER 3/4	DISPENSER 5/6	DISPENSER 7/8
TOP OF ISLAND	201.31	201.31	200.75	200.75
TOP OF CONCRETE	200.81	200.81	200.25	200.25
TOP OF PIPE	199.31	199.00	198.75	198.50



DISPENSER DETAILS

- NOTES:
1) PARTS LIST ON SHEET C5.1
2) GALVANIZED PIPING SHALL NOT BE USED WITH DIESEL FUEL SYSTEMS.



POSITIVE LIMITING BARRIER (PLB) DETAIL

- NOTES:
- "V" GROOVES SHALL BE TROWELED IN CONCRETE SLAB
 - "V" GROOVES SHALL BE A CONSISTENT WIDTH AND DEPTH FOR THE ENTIRE APRON
 - GROOVES MUST BE KEPT CLEAN OF DIRT AND DEBRIS
 - GROOVE LEVELNESS TESTING SHALL BE PERFORMED BY FILLING THE GROOVED BORDER WITH WATER UPON INITIAL CURING OF THE CONCRETE. NO MORE THAN 1/4 INCH OF THE SIDE OF ANY GROOVE SHALL BE ABOVE THE WATER LEVEL WHEN THE GROOVES ARE FILLED TO CAPACITY WITH WATER. A GROOVED BORDER NOT MEETING THE LEVELNESS CRITERIA SHALL BE REMOVED AND REPLACED TO MEET SPECIFICATION AT CONTRACTOR'S COST.

PLB VOLUME CALCULATION:

NUMBER OF DISPENSERS: 4

NUMBER OF HOSES: 2 EACH

PLB GROOVE WIDTH: 1 INCH

PLB DEPTH: 1 INCH

PLB CROSS-SECTIONAL AREA: 0.00347 SF

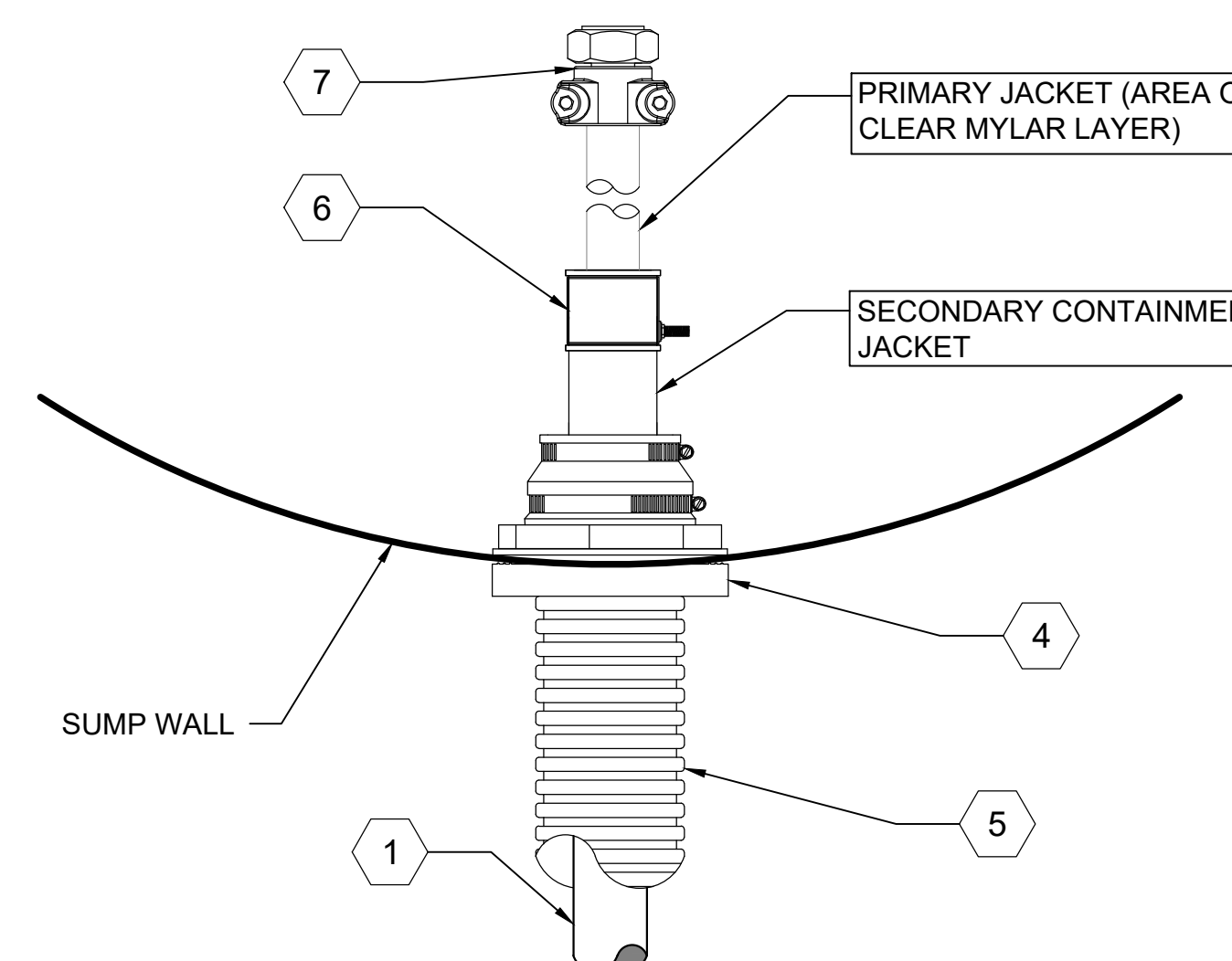
PLB GROOVE LENGTH: 232 FT

NUMBER OF GROOVES: 5

TOTAL PLB VOLUME: .81 FT³

TOTAL PLB VOLUME: 6.06 GAL

REQUIRED PLB VOLUME: 5 GAL OK



NTS SOURCE: WILCOX & BARTON, INC DEC 2015

- NOTES:
- THE SCUFF GUARD MUST BE CUT BACK TO BE EVEN WITH, OR OUTSIDE OF THE SUMP WALL ENSURING THAT THE ENTRY BOOT SEALS ON THE SECONDARY CONTAINMENT JACKET ARE NOT ON THE SCUFF GUARD LAYER

REVISION HISTORY

1.

ISSUED FOR

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER

H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC

PO BOX 248
AMHERST, NH

SITE

THE COUNTRY MILE STORE
750 & 766 FITCHBURG RD
GREENVILLE, NH

FACILITY ID: 0113157
MBLU: 1/46D, 1/47, & 1/48

DRAWING TITLE

DETAILS

SCALE	N.T.S.	DATE	10/15/2020
DRAFTED BY	GAG	CHECKED BY	DLF
PROJECT MGR	DLF	PROJECT NO.	GAFT0121

STATE OF NEW HAMPSHIRE
DAVID L. FROTHINGHAM III
No. 15460
LICENSED PROFESSIONAL ENGINEER

C5.2

ENGINEER: DAVID L. FROTHINGHAM III
NH P.E. #15460

SHEET NO.
08 OF 11

REVISION HISTORY

1.

ISSUED FOR

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DRAWING TITLE

DETAILS

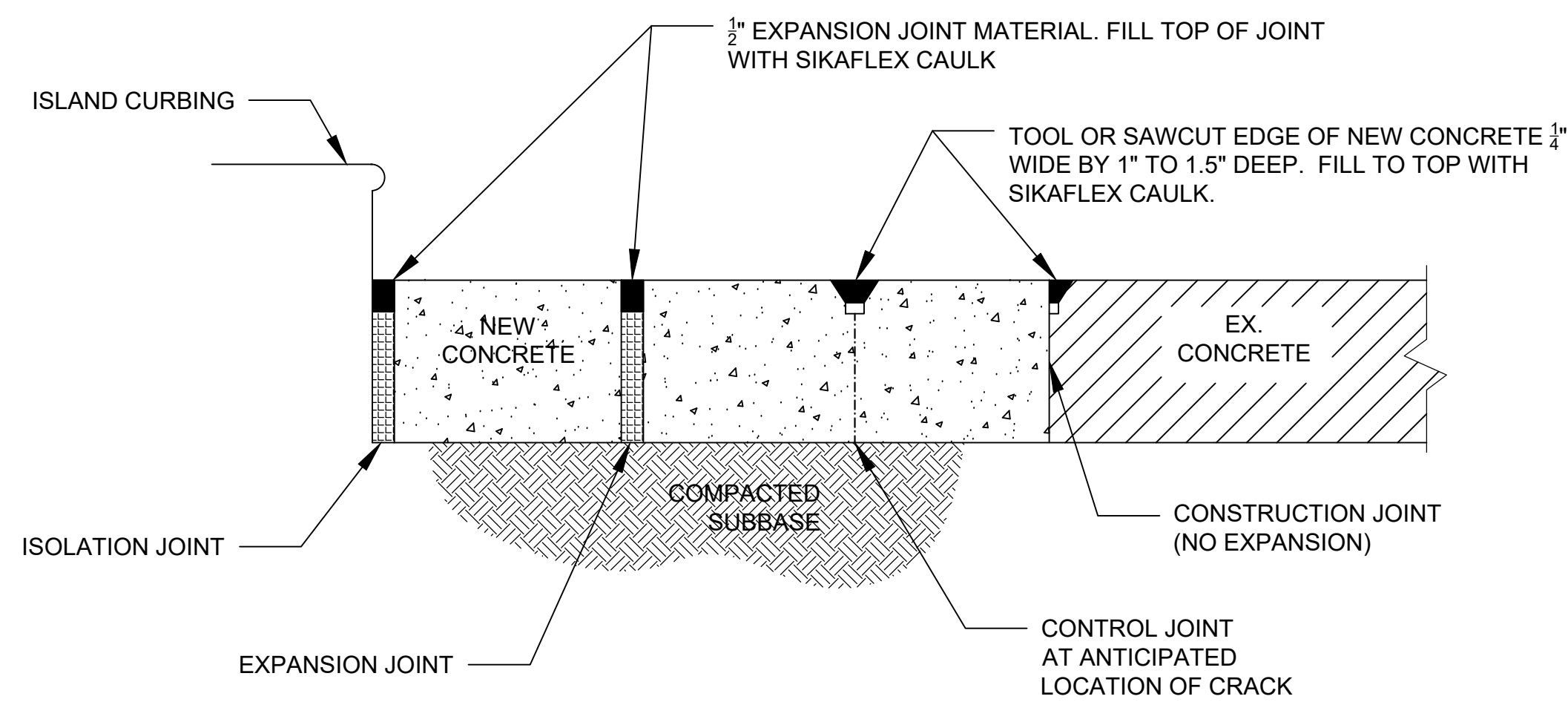
SCALE	N.T.S.	DATE	10/15/2020
DRAFTED BY	GAG	PROJECT MGR	DLF
CHECKED BY	DLF	PROJECT NO.	GAFT0121

STATE OF NEW HAMPSHIRE
DAVID L. FROTHINGHAM III
No. 15480
LICENSED PROFESSIONAL ENGINEER

C5.3

ENGINEER: DAVID L. FROTHINGHAM III
NH P.E. #15480

SHEET NO.
09 OF 11

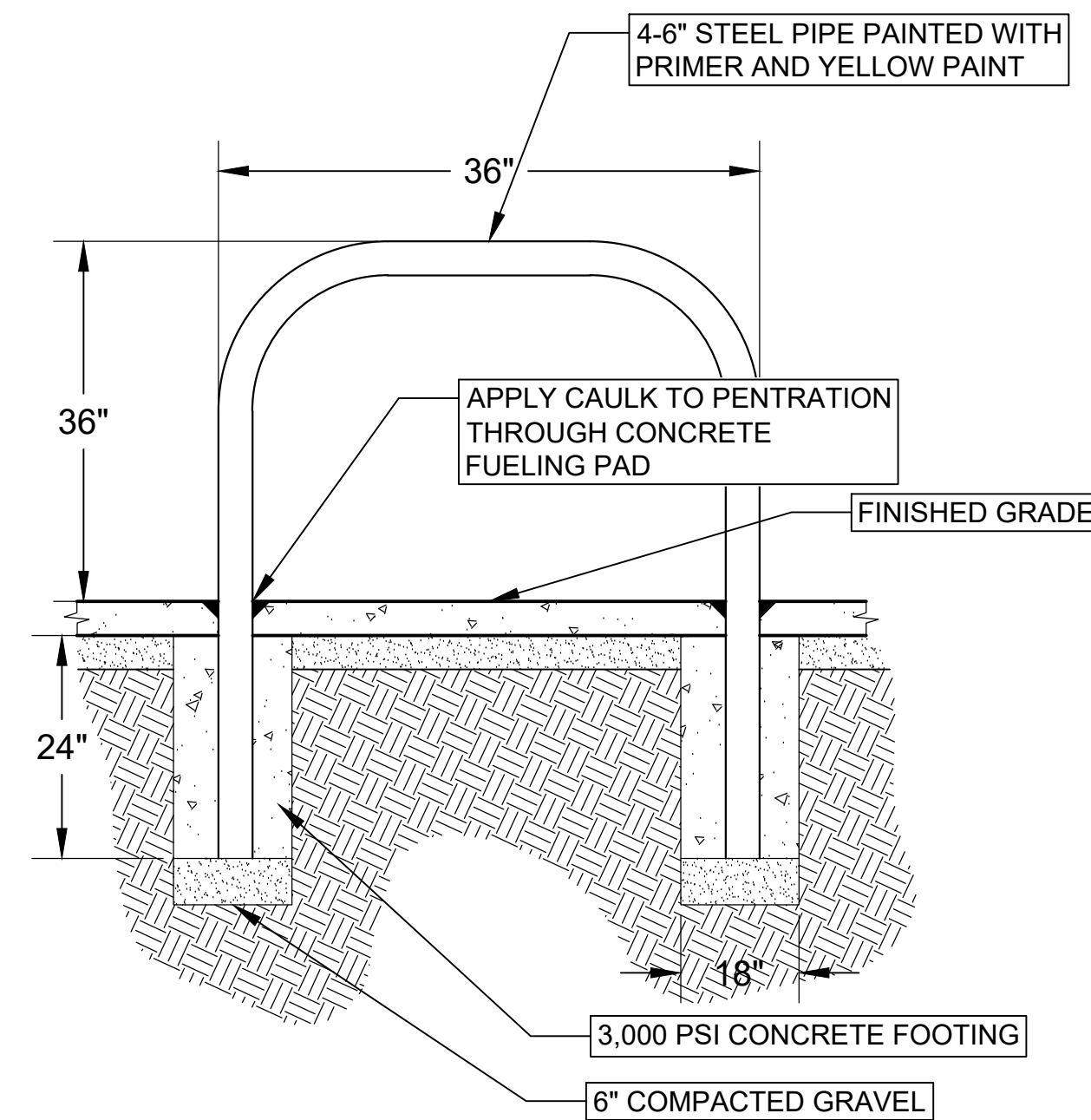


CONCRETE JOINT DETAIL

NTS SOURCE: WILCOX & BARTON, INC DEC 2015

NOTES:

1. CAULK SHALL BE SIKAFLEX 1C SELF LEVELING CAULKING OR APPROVED EQUAL

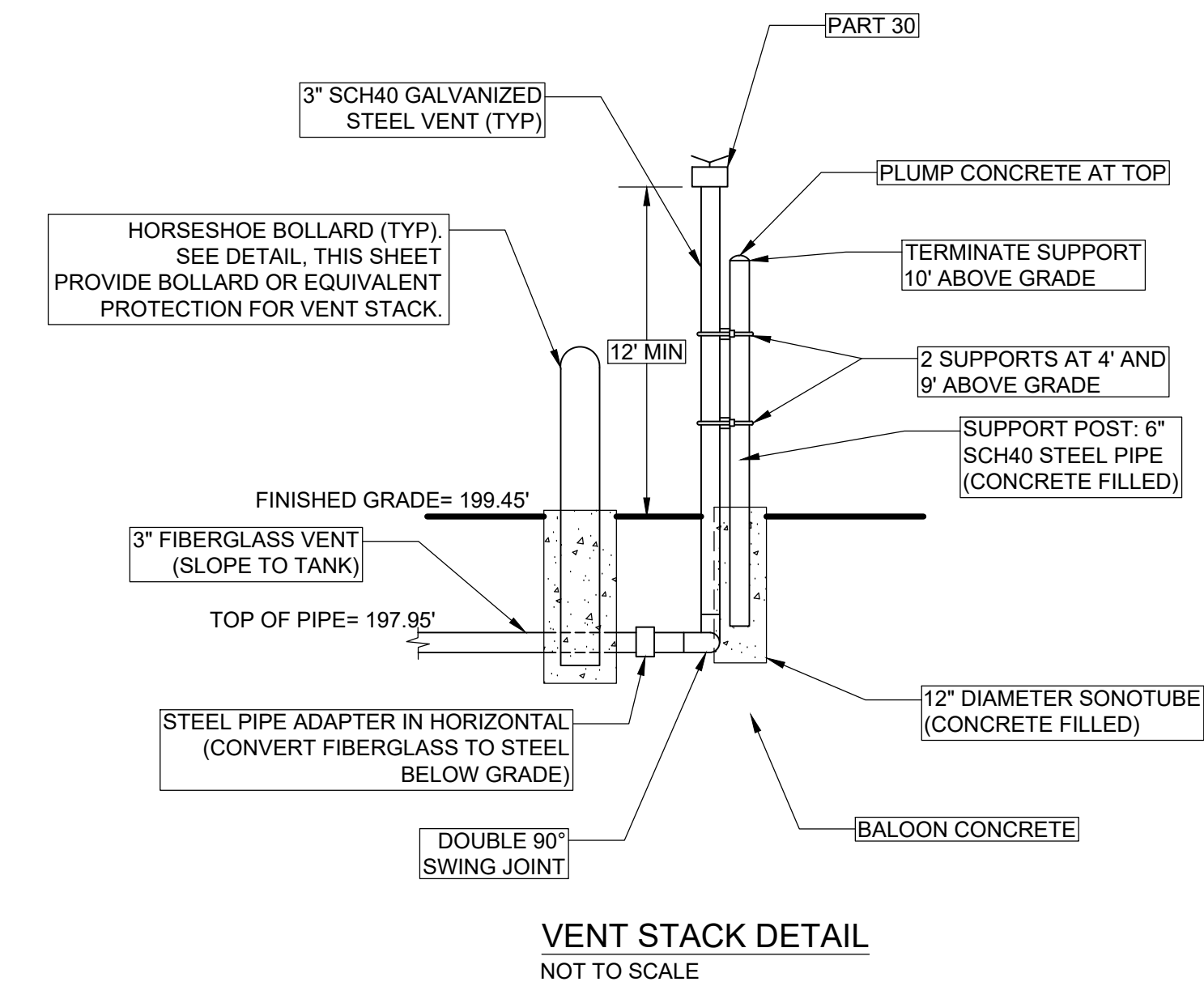


HORSESHOE BOLLARD DETAIL

NTS SOURCE: WILCOX & BARTON, INC DEC 2015

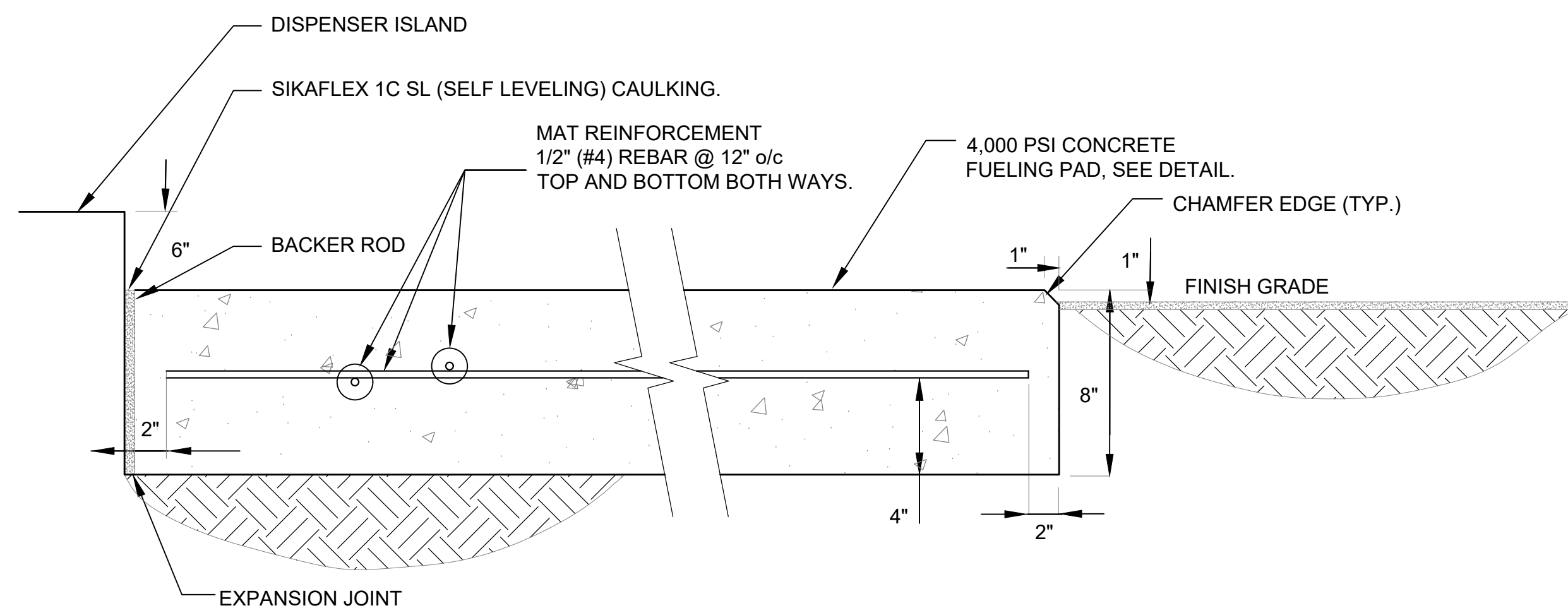
NOTES:

1. CAULK SHALL BE SIKAFLEX 1C SELF LEVELING CAULKING OR APPROVED EQUAL



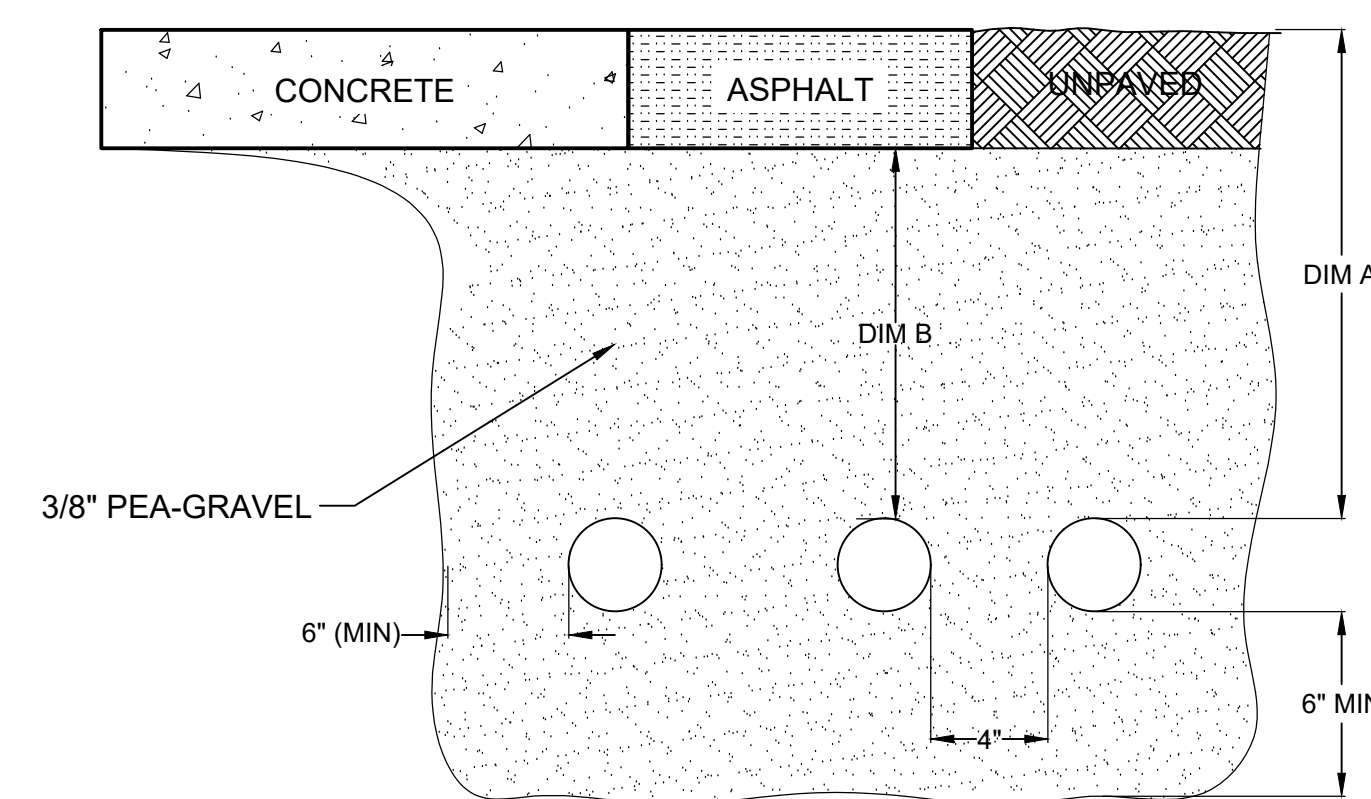
NOTES:

1. IF STEEL VENT PIPING COMPONENTS ARE USED, ALL SUBSURFACE PORTIONS MUST BE COATED IN 1/8" EPOXY.
2. MINIMUM STRAIGHT RUN PIPING LENGTHS APPLY TO ALL RIGID VENT PIPING. PER API RP 1615, NHDES REQUIRES A 4-FT MINIMUM STRAIGHT LENGTH AT ALL RIGID ENTRY LOCATIONS, FITTINGS, SUMPS, VENT RISERS, AND CHANGES IN DIRECTION. STRAIGHT PIPING LENGTH IS MEASURE FROM FITTING EDGE TO FITTING EDGE.
3. IF A SWING JOINT IS PLANNED, IT MUST BE CONSTRUCTED OF SCH 40 STEEL COMPONENTS WITH 1/8" EPOXY COATING FOR CORROSION PROTECTION.
4. VENT CAPS SHALL BE NO LESS THAN 5' FROM ANY BUILDING OPENING, 15 FEET FROM POWERED AIR INTAKES AND 3' ABOVE ANY SURFACE WHICH CAN COLLECT SNOW.
5. GASOLINE VENT CAPS SHALL BE MORE THAN 10 FEET FROM ALL ELECTRICAL COMPONENTS.
6. REFER TO SHEET C5.1 FOR PARTS IDENTIFICATION.



FUELING PAD SECTION

NTS SOURCE: WILCOX & BARTON, INC



PIPE TRENCH DETAIL

NTS SOURCE: WILCOX & BARTON, INC JULY 2015

NOTES:

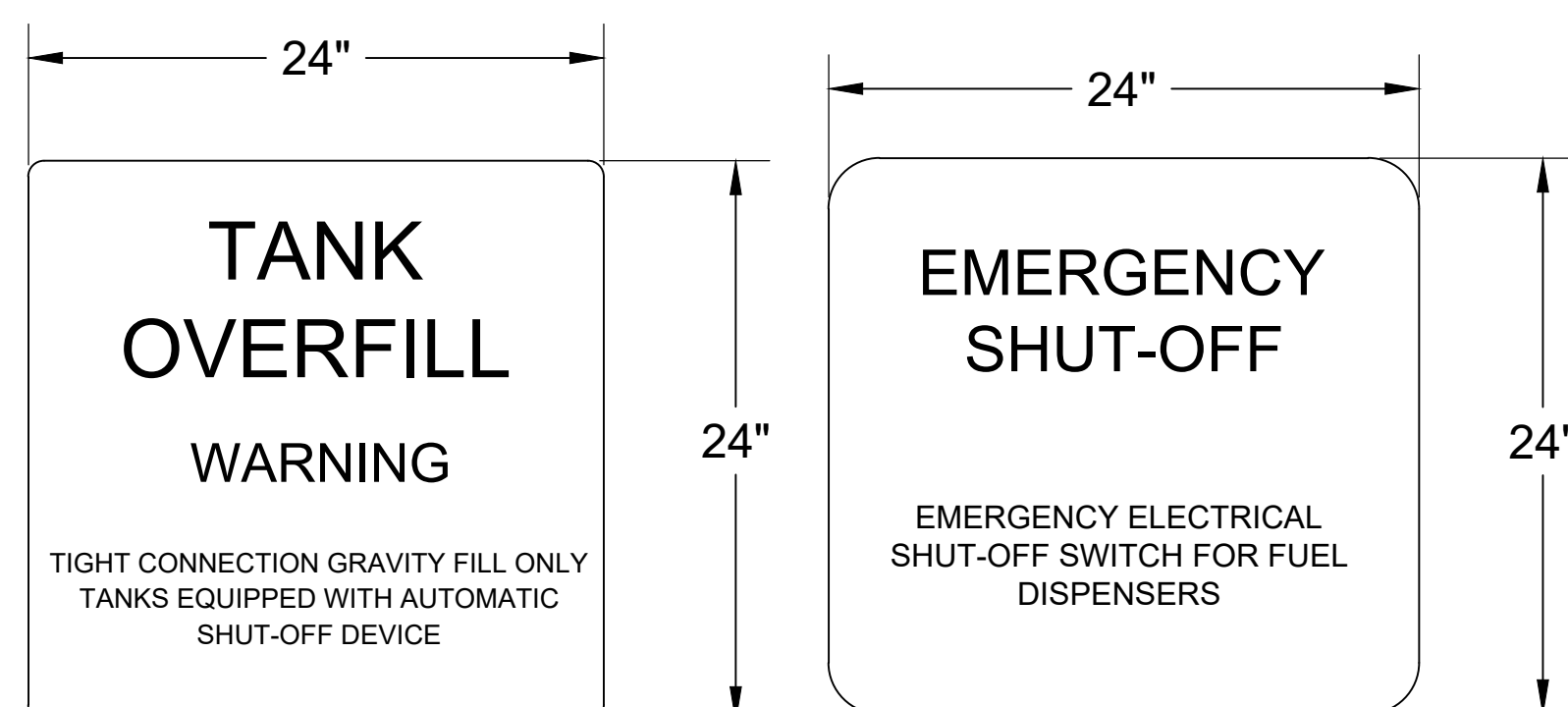
1. MAINTAIN MINIMUM 4" SEPARATION (HORIZONTAL & VERTICAL) BETWEEN PIPES AND OTHER OBJECTS

PIPE TRENCH DIMENSIONS

PIPE SIZE (IN)	SURFACE CONDITION	DIM A (IN)	DIM B (IN)
DOUBLE WALL PIPING (APT XP)			
ALL	PAVED, MIN 6" CONCRETE	12	6
	MIN 12" ASPHALT/OTHER	18	6

PIPE TRENCH DIMENSIONS

PIPE SIZE (IN)	SURFACE CONDITION	DIM A (IN)	DIM B (IN)
NOV DUALOY FIBERGLASS REINFORCED PLASTIC PIPE			
2	UNPAVED	18	12
	PAVED, MIN 4" ASPHALT	12	8
	PAVED, MIN 4" CONCRETE	9	5
3	PAVED, MIN 6" CONCRETE	9	3
	UNPAVED	20	14
	PAVED, MIN 4" ASPHALT	13	9
3	PAVED, MIN 4" CONCRETE	11	7
	PAVED, MIN 6" CONCRETE	10	4



OVERFILL AND EMERGENCY SHUT-OFF SIGNAGE DETAIL

NTS SOURCE: WILCOX & BARTON, INC DEC 2015

NOTES:

1. TANK OVERFILL ALARM SIGN TO BE 24" X 24" SINGLE FACED, MOUNTED. WHITE BACKGROUND WITH 2" HIGH RED LETTERS. TO BE INSTALLED ADJACENT TO ACKNOWLEDGEMENT SWITCH.
2. EMERGENCY SHUT-OFF SIGN TO BE 24" X 24" SINGLE FACED, MOUNTED. WHITE BACKGROUND WITH 2" HIGH RED LETTERS. TO BE INSTALLED ADJACENT TO THE EMERGENCY SHUT-OFF SWITCH.

EROSION CONTROL NOTES

IF EROSION CONTROL MATTING IS USED ON SITE IT SHALL BE WOVEN ORGANIC MATERIAL (E.G. COCO MATTING) THE USE OF WELDED PLASTIC OR 'BIODEGRADABLE PLASTIC' NETTING IN EROSION CONTROL MATTING IS NOT PERMITTED.

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.

SCHEDULE OF WORK
THIS WORK IS ANTICIPATED TO BE PERFORMED IN SPRING 2020. CONSTRUCTION IS ANTICIPATED TO BE COMPLETED BY FALL 2020.

ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION.

- DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
- NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
- PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
- WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
- WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
- AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
- REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

EROSION CONTROL IMPLEMENTATION SCHEDULE

THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:

- PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
- BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- INSTALL PERMANENT STORM DRAIN SYSTEM.
- INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
- REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS.
- PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

TEMPORARY STABILIZATION:

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.

TEMPORARY GRADING: TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

MULCH: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREAS WITHIN 48 HOURS AFTER SEEDING.

TACKIFIER: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORN DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

ROAD CLEANING: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISSIPATES THE WATER EVENLY OVER THE SURFACE.

PERMANENT STABILIZATION: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

EXCAVATION DEWATERING:

SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

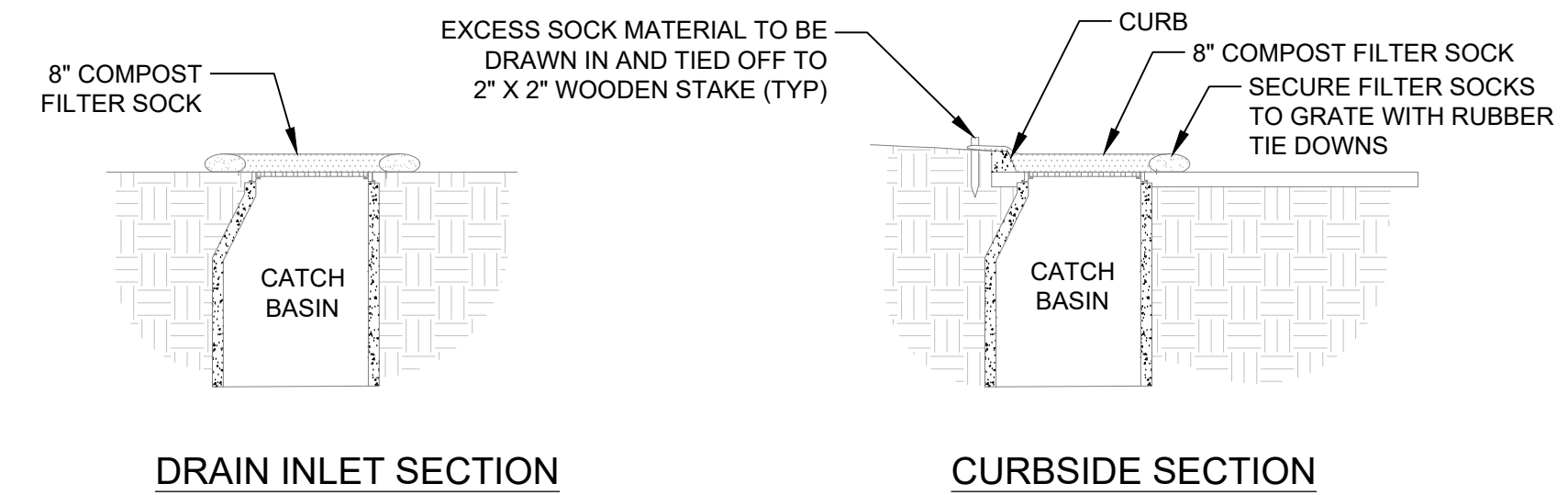
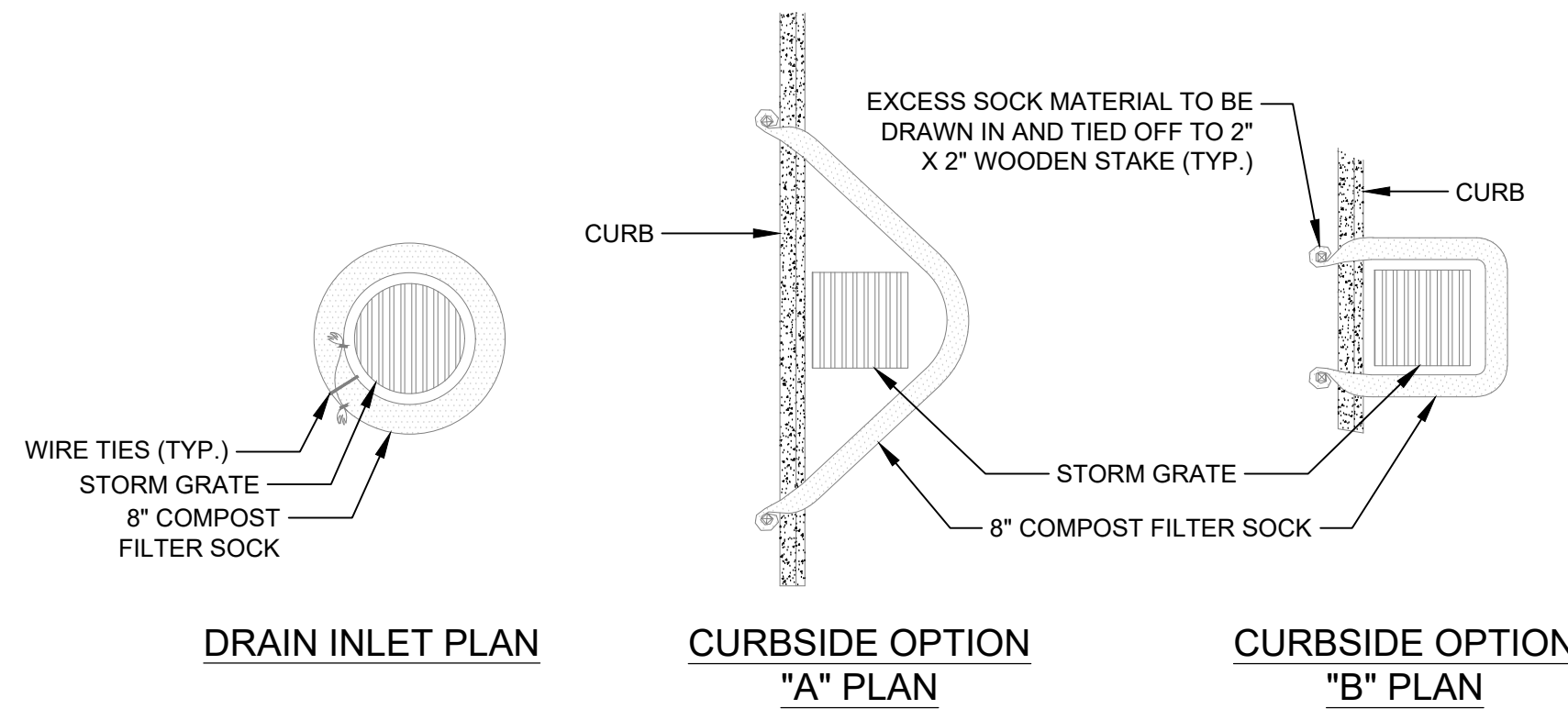
THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MGL), RESPECTIVELY.

SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING:

GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

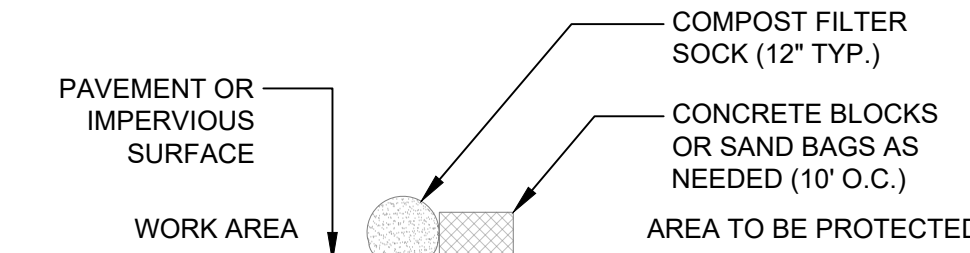
EROSION CONTROL SEED		
SEED	BY % MASS	% GERMINATION (MIN)
WINTER RYE 80 (MIN)	80 (MIN)	85
RED FESCUE (CREEPING)	4 (MIN)	80
PERENNIAL GRASS	3 (MIN)	90
RED CLOVER	3 (MIN)	90
OTHER CROP GRASS	0.5 (MAX)	
NOXIOUS WEED SEED	0.5 (MAX)	
INERT MATTER	1.0 (MAX)	

PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

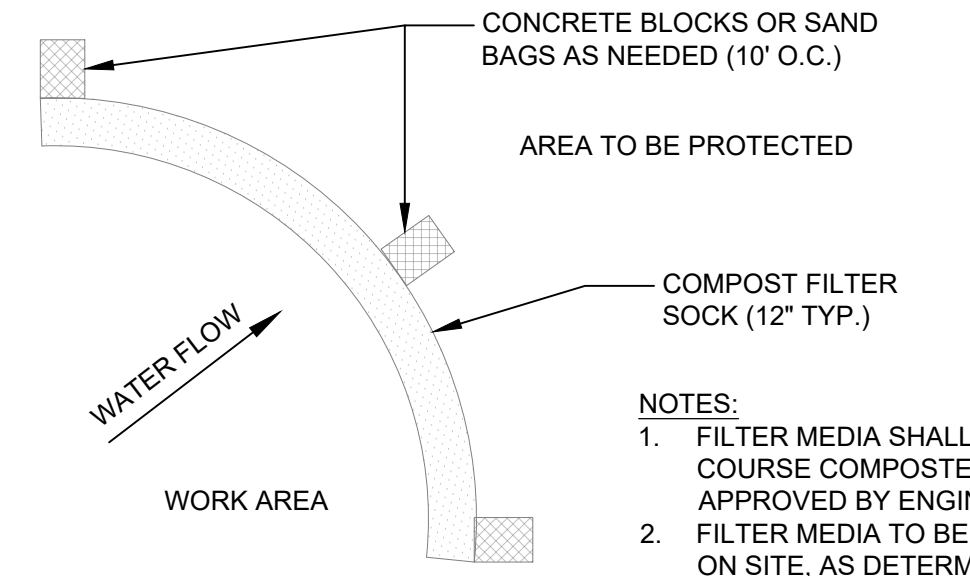


FILTER SOCK SEDIMENT CONTROL INLET PROTECTION

- NOTES:
- FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
 - FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



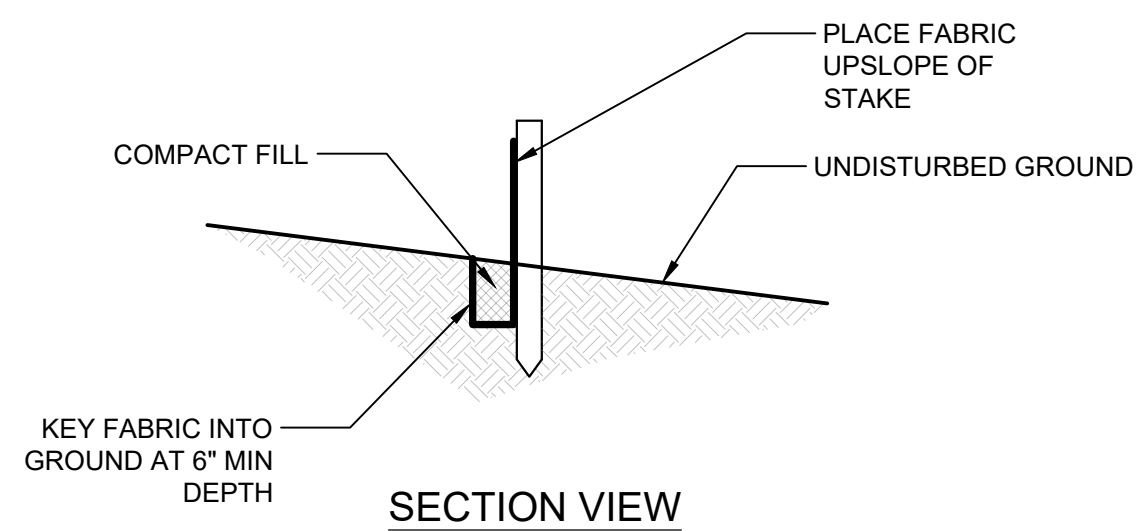
CROSS SECTION



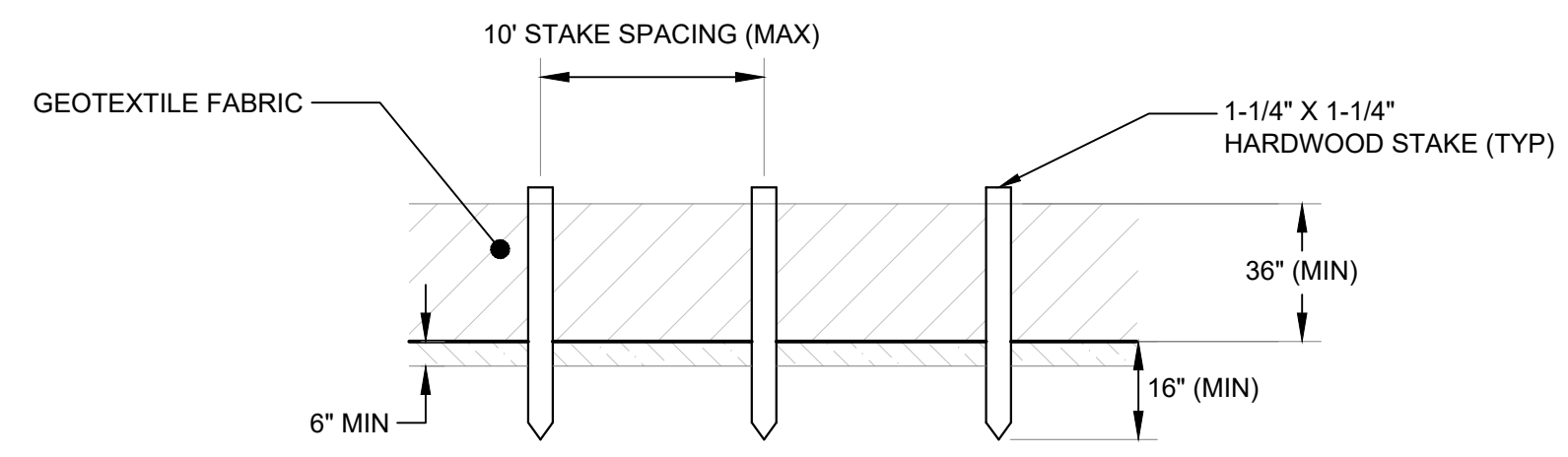
PLAN VIEW

FILTER SOCK SEDIMENT CONTROL ON PAVEMENT

NOT TO SCALE



SECTION VIEW



PROFILE VIEW

- NOTES:
- DUE TO UV STABILITY OF FABRIC, SILT FENCE MAY NOT BE USED FOR A PERIOD LONGER THAN ONE (1) YEAR.
 - SILT FENCE NOT TO BE USED IN AREAS OF CONCENTRATED FLOW (E.G. SWALES/DITCHES)
 - WIRE FENCE SUPPORT (14 GAGE W/6\" MESH OPENING MIN) IS REQUIRED FOR INSTALLATIONS WITHIN 100 FEET OF STREAMS, RIVERS, OR OTHER WATERS OF THE STATE.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6\" MAXIMUM MESH OPENING.
 - ENDS OF FILTER CLOTH SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
 - APPROVED PREFABRICATED FENCING INCLUDES ENVIROFENCE, GEOPAB, MIRAFI 100X. OTHERS MAY BE SUITABLE BUT SUBJECT TO ENGINEER'S APPROVAL.
 - INSPECT FENCE REGULARLY FOR DAMAGE DUE TO ANIMALS, EQUIPMENT, AND WIND
 - REMOVE ACCUMULATED SEDIMENT WHEN LEVEL REACHES 1/2 THE HEIGHT OF FENCE

SILT FENCE DETAIL

NOT TO SCALE

Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY

ISSUED FOR

OWNER

H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC

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SITE

THE COUNTRY MILE STORE

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FACILITY ID: 0113157

MBLU: 1/46D, 1/47, & 1/48

EROSION CONTROL NOTES & DETAILS

SCALE: N.T.S. DATE: 10/15/2020

DRAFTED BY: GAG CHECKED BY: DLF PROJECT MGR: DLF PROJECT NO: GAFT0121

STATE OF NEW HAMPSHIRE

DAVID L. FROTHINGHAM III
No. 15480
LICENSED PROFESSIONAL ENGINEER

C5.4

ENGINEER: DAVID L. FROTHINGHAM III
NH P.E. #15480

SHEET NO. 10 OF 11

GENERAL NOTES:

- A. THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE CONSTRUCTION OF NEW GASOLINE FUEL FILLING STATION COMPONENTS. NEW COMPONENTS INCLUDE UNDERGROUND STORAGE TANKS, DISPENSERS, DISPENSER SUMPS, NEW VENT PIPING AND DOUBLE WALLED PRODUCT PIPING.
- B. DRAWING INFORMATION BASED ON SURVEY BY WILCOX & BARTON INC., DATED 08/06/2020. THIS IS NOT A BOUNDARY SURVEY.
- C. THE FACILITY IS OPERATED AS AN UNATTENDED FACILITY.
- D. THE SYSTEM OWNER SHALL ENSURE THAT THE INSTALLATION CONTRACTOR OR GENERAL CONTRACTOR RECEIVES A COPY OF THESE PLANS AND SPECIFICATIONS (ENTIRE DOCUMENT) PRIOR TO COMMENCEMENT OF ANY TANK-RELATED WORK.
- E. THE CONTRACTOR SHALL BE CERTIFIED FOR UNDERGROUND STORAGE TANK INSTALLATION AND RETROFITTING BY THE INTERNATIONAL CODE COUNCIL PURSUANT TO ENV-OR 407.05. THEY SHALL BE AWARE THAT A STATE CONSTRUCTION APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF ANY TANK INSTALLATION RELATED WORK. THE CONTRACTOR SHALL BE ICC CERTIFIED IN CATEGORY U1 (INSTALLATION) AND U2 (REMOVAL) AS APPLICABLE FOR THE SCOPE OF WORK.
- F. THE CONTRACTOR SHALL ENSURE THAT THE INSTALLATION IS PERFORMED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND INDUSTRY CODES (PEI/RP 100, 2017 EDITION).
- G. ANY CHANGES, DEVIATIONS, IMPROPER NOTIFICATION OR DOCUMENTATION AND RECORD KEEPING OR INCORRECT INSTALLATION PRACTICES ARE NOT THE RESPONSIBILITY OF THE ENGINEER, UNLESS SPECIFICALLY RETAINED TO OVERSEE THE WORK.
- H. THESE SPECIFICATIONS WERE PREPARED TO COMPLY WITH STATE AND FEDERAL REGULATIONS REGARDING UNDERGROUND STORAGE TANKS, HAZARDOUS WASTE, SAFETY AND UNDERGROUND AND SURFACE WATER PROTECTION. ANY CONTRACTOR, CONSULTANT, ENGINEER OR INDIVIDUAL, WHO USES THESE PLANS AND SPECIFICATIONS TO PERFORM THE WORK, OR ANY PORTION OF THE WORK, SHALL COMPLY STRICTLY WITH THE PLANS AND SPECIFICATIONS. NO CHANGES OR DEVIATIONS SHALL BE MADE WITHOUT NOTIFYING THE NHDES AND THE ENGINEER.
- I. THE ENGINEER IS NOT RESPONSIBLE FOR ANY POLLUTION OR RELEASE FROM THE SYSTEM OR MALFUNCTION OF ANY EQUIPMENT DUE TO UNAUTHORIZED CHANGES OR DEVIATIONS FROM THE PLANS AND SPECIFICATIONS, POOR WORKMANSHIP OR MISTAKES BY THE CONTRACTOR OR FAULTY OR MALFUNCTIONING EQUIPMENT PROVIDED BY THE CONTRACTOR OR MANUFACTURER.
- J. THE PROPERTY IS LOCATED OUTSIDE OF THE 100-YEAR FLOOD PLAIN.
- K. SEASONAL HIGH WATER TABLE IS ESTIMATED AT 3 FEET BELOW GROUND SURFACE BASED ON AREA SOILS DESCRIPTIONS FROM THE NRCS.
- L. SITE SURFACE DRAINAGE SHALL NOT BE DIRECTED OVER ANY TANK OR DISPENSING PAD. THE CONTRACTOR SHALL ADJUST GRADES AS NEEDED TO DIRECT STORM WATER AWAY FROM THE TANK COVER AND DISPENSING PADS.
- M. ALL STEEL PIPING SHALL BE SCHEDULE 40 OR GREATER STEEL. PER ENV-OR 405.02, ALL STEEL PIPING MUST BE COMPLETELY ISOLATED FROM SOIL, GROUNDWATER, AND BACKFILL MATERIAL USING SECONDARY CONTAINMENT THAT IS NON-METALLIC, NON-POROUS, AND NON-BIODEGRADABLE. ALL STEEL PIPING INSTALLED BELOW GRADE AND OUTSIDE TANK OR DISPENSER SUMPS SHALL BE COATED WITH 1/8" FIBERGLASS OR EPOXY. THE USE OF PIPE WRAP TAPE (POLYKEN 980/ 955 OR APPROVED EQUAL) IS ALSO ACCEPTABLE FOR THE ISOLATION AND CORROSION PROTECTION OF BURIED STEEL PIPE.
- N. PIPING AND CONDUIT SHALL BE EQUIPPED WITH LIQUID TIGHT ENTRY FITTINGS AT ALL TANK AND DISPENSERS SUMPS. USE OF SEALANTS SHALL COMPLY WITH THESE PLANS.
- O. REMOVAL OR ABANDONMENT OF EXISTING PIPING AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH ENV-OR 408.03. A SITE ASSESSMENT WILL BE PERFORMED BY THE ENGINEER.
- P. ALL SUMP SENSORS SHALL BE INSTALLED IN THE LOWEST POINT OF THE SUMP BEING MONITORED AND SECURED IN A MANNER THAT KEEPS THEM IN A VERTICAL ORIENTATION WITHOUT PUTTING STRESS OF ANY SORT ON THE ELECTRICAL WIRING.
- Q. ALL FIBERGLASS REINFORCED PIPING (FRP) STRAIGHT RUNS SHALL BE AT LEAST 4 FEET LONG, NOT INCLUDING ANY FITTINGS.
- R. ALL ELECTRICAL AND CONDUIT INSTALLATIONS. MATERIALS/ OFFSETS SHALL MEET NFPA 70-14 ARTICLE 514 REQUIREMENTS.
- S. FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE TO THE EXTRA (HIGH) HAZARD REQUIREMENTS FOR CLASS B HAZARDS, EXCEPT THAT THE MAXIMUM TRAVEL DISTANCE TO A 80 B:C EXTINGUISHER SHALL BE PERMITTED TO BE 100 FT. FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH NFPA 10.
- T. PROVIDE WARNING SIGNS CONSPICUOUSLY POSTED IN THE DISPENSING AREA AND SHALL INCORPORATE THE FOLLOWING LANGUAGE OR EQUIVALENT WORDING AS IDENTIFIED IN NFPA 30A 9.2.5.4 & 9.5.3.

WARNING

It is unlawful and dangerous to dispense gasoline into unapproved containers.

- No smoking.
- Stop motor.

No filling of portable containers in or on a motor vehicle.

Place container on ground before filling.

Discharge your static electricity before fueling by touching a metal surface away from the nozzle.

Do not re-enter your vehicle while gasoline is pumping.

If a fire starts, **do not** remove nozzle — back away immediately.

Do not allow individuals under licensed age to use the pump.

EMERGENCY INSTRUCTIONS

- In case of fire or spill:
- (1) Use emergency stop button, adjacent to dispensing area.
- (2) Report accident by calling 911, Report Location (766 Fitchburg Road)

PROCEDURAL SPECIFICATION:

- A. PRIOR TO COMPONENT REMOVAL CONTACT MATT JONES AT NHDES (603-271-2986) FOR PROJECT SPECIFIC ASSESSMENT REQUIREMENTS.
- B. NHDES SHALL BE INFORMED OF THE TENTATIVE INSTALLATION AS FAR IN ADVANCE AS POSSIBLE.
- C. NHDES SHALL BE INFORMED TWO WEEKS BEFORE THE INSTALLATION IS TO COMMENCE TO ESTABLISH A FIRM INSPECTION DATE.
- D. NHDES SHALL BE NOTIFIED FIVE DAYS PRIOR TO THE FINAL BACKFILLING OF THE COMPLETED PIPING TO CONFIRM THE INSPECTION DATE.
- E. BEFORE ISSUING AN AUTHORIZATION TO OPERATE, THE STATE AGENCY:
 - E.1. REQUIRES THE TANK OWNER TO SIGN THE STATE REGISTRATION FORM WHICH INCLUDES VERIFICATION OF FINANCIAL RESPONSIBILITY, AND SIGNED VERIFICATION FROM THE ICC INSTALLER THAT THE TANK SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS OR SIGNED BY A LICENSED PROFESSIONAL ENGINEER (PER ENV-OR 404.04(I)). THIS FORM MUST BE PRESENTED TO THE STATE PERSONNEL PRESENT DURING THE INSTALLATION INSPECTION IN ORDER TO RECEIVE THE AUTHORIZATION TO OPERATE WITHOUT DELAY.
 - E.2. MUST BE IN RECEIPT OF A LETTER PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED PROFESSIONAL ENGINEER PER Env-Or 407.07 STATING THAT THE INSTALLATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE NHDES APPROVED PLANS.
- F. THE TANK SYSTEM CANNOT BE PUT INTO USE WITHOUT THE FINAL NHDES INSPECTION AND RECEIPT OF AN AUTHORIZATION TO OPERATE.

INSTALLATION PROCEDURES:

- A. EXCAVATION SHALL BE PERFORMED IN A SAFE MANNER TO PROTECT WORKERS FROM CAVE-IN AND CHEMICAL VAPORS.
- B. PRIOR TO COMPLETING BACKFILL, AND AFTER TESTING, UNUSED TANK CONNECTIONS, HANDLING HOOKS AND PIPE RISERS SHALL BE SEALED WITH 1/8" FIBERGLASS OR EPOXY FOR CORROSION PROTECTION.
- C. TANK COVER SHALL BE AT LEAST 12" OF HOMOGENEOUS FILL. PER THE MANUFACTURER, BACKFILL MATERIALS SHALL BE HOMOGENEOUS CLEAN SAND, 3/8" PEA GRAVEL OR NO. 8 CRUSHED STONE. BACKFILL MATERIALS SHALL BE COMPACTED PRIOR TO PLACEMENT OF THE CONCRETE PAD.
- D. PIPELINES SHALL HAVE MINIMUM PEA-GRAVEL COVER AS SHOWN IN TRENCH DETAILS. THE TOP OF THE PRODUCT LINE AT THE SUMPS SHALL BE AS SHOWN IN THE ELEVATION VIEW.
- E. A MINIMUM OF SIX (6) INCHES OF 3/8" PEA-GRAVEL BEDDING SHALL BE PLACED UNDER THE PIPE AND COMPACTED BEFORE PLACEMENT OF THE PIPE.
- F. PIPING SHALL BE SPACED AS SHOWN ON THE TRENCH DETAILS. BACKFILL SHALL BE PLACED AND COMPACTED AFTER LAYING THE PIPE.
- G. THE COMPLETED PRIMARY PRODUCT PIPING SHALL BE AIR TESTED AT 50-100 PSI FOR AT LEAST ONE HOUR PRIOR TO BACKFILLING AND ALL JOINTS SHALL BE SOAPED ALL AROUND AND INSPECTED FOR BUBBLES.
- H. THE COMPLETED SECONDARY PRODUCT PIPING SHALL BE AIR TESTED AT 5 TO 8 PSI FOR AT LEAST ONE HOUR PRIOR TO BACKFILLING. ALL JOINTS SHALL BE SOAPED ALL AROUND AND INSPECTED FOR BUBBLES. RETEST SHALL OCCUR AFTER COMPLETION OF BACKFILLING. THE SECONDARY PIPING SHALL BE PRESSURIZED FOR A MINIMUM OF TWO HOURS AFTER BACKFILL IS COMPLETED.
- I. AFTER AIR TESTING, THE ANNULAR SPACE BETWEEN THE PRIMARY AND SECONDARY PIPES SHALL REMAIN OPEN.
- J. THE INTEGRITY OF THE COMPLETED VENT PIPING SHALL BE AIR TESTED FOR LEAKS.
 - J.1. PRESSURIZE THE SYSTEM TO 25 PSI AND HOLD FOR AT LEAST 1 MINUTE. SOAP ALL JOINTS TO TEST FOR LEAKS. UPON PASSING RESULTS, RAISE THE LINE PRESSURE IN THE SYSTEM TO A MAXIMUM OF 50 PSI AND HOLD FOR ONE MINUTE. AGAIN, SOAP ALL JOINTS AND TEST FOR LEAKS. PER PEI/RP 100-11 11.1.2, MAINTAIN 50 PSI FOR AT LEAST ONE HOUR.
 - J.2. UPON PASSING RESULTS OF THE 50 PSI TEST, THE CONTRACTOR SHALL REDUCE THE LINE PRESSURE TO 25 PSI UNTIL ALL BACKFILLING AND SURFACE WORK ABOVE THE PIPING HAS BEEN COMPLETED.
- K. ALL SUMPS SHALL BE TESTED FOR TIGHTNESS IN ACCORDANCE WITH HYDROSTATIC TIGHTNESS TEST PER ENV-OR 406.15 (FILL THE SUMP WITH WATER TO WITHIN 1" OF TOP OR 10" ABOVE THE TOP OF THE HIGHEST PENETRATION, WHICHEVER IS LOWER - NO LIQUID LEVEL CHANGE SHALL BE ALLOWED FOR 3 HOURS). TESTING SHALL BE CONDUCTED AFTER ALL SEAMS, PIPING CONNECTIONS, AND CONDUITS HAVE BEEN INSTALLED THROUGH ALL SUMPS.
- L. SPILL CONTAINMENT EQUIPMENT SHALL BE TESTED FOR TIGHTNESS BY HYDROSTATIC TEST; FILL CONTAINER TO WITHIN 1" OF TOP, NO WATER LOSS AFTER ONE HOUR.

M. THE INTERSTITIAL SPACE OF INSTALLED SPILL BUCKETS SHALL BE VACUUM TESTED PER MANUFACTURERS INSTRUCTIONS. FOR EMCO-WHEATON A1005 DOUBLE-WALLED SPILL BUCKETS, THE INTERSTITIAL SPACE SHALL BE PLACED UNDER A VACUUM OF 30 INCHES OF WATER AND ALLOWED TO STABILIZE. ONCE STABLE VACUUM IS ACHIEVED, THE UNIT MUST HOLD VACUUM FOR AT LEAST 1 MINUTE WITH NO MORE THAN A 4 INCHES OF WATER LOSS IN VACUUM. PASSING RESULTS SHALL BE DOCUMENTED AND PROVIDED TO THE NHDES FOR THEIR PRE-BACKFILL INSPECTION.

N. FOLLOWING NHDES FINAL INSPECTION AND PRIOR TO ISSUANCE OF AUTHORIZATION TO OPERATE, THE PRIMARY CONTAINMENT SYSTEM SHALL BE CHECKED TO VERIFY TIGHTNESS PER ENV-OR 406.17. TEST RESULTS SHALL BE FORWARDED TO NHDES INSPECTOR AND UPLOADED TO NHDES ONESTOP (BY OWNER)

O. PRODUCT SHALL NOT BE DRAWN INTO ANY PIPING FOR TESTING, CALIBRATION, OR FOR ANY OTHER REASON UNTIL A POST BACKFILL INSPECTION HAS BEEN PERFORMED AND AUTHORIZATION TO OPERATE HAS BEEN GRANTED.

P. NEVER DIRECTLY CONNECT ANY METALLIC PIPING MADE OF DIFFERENT MATERIALS. A DIELECTRIC INSULATING UNION OR FITTING IS REQUIRED TO ISOLATE THE DIFFERENT MATERIALS AND EACH MATERIAL MUST BE SEPARATELY CATHODICALLY PROTECTED UNLESS IT IS COMPLETELY ISOLATED FROM THE SOIL.

RECORDS:

- A. THE CONTRACT SHALL PROVIDE THAT THE TANK OWNER AND THE FACILITY OWNER SHALL KEEP ON FILE ALL MANUFACTURER'S PAPERS, INSTRUCTIONS, WARRANTIES AND COMPLETED INSTALLATION CHECKLISTS FOR ALL EQUIPMENT ITEMS.
- B. RECORD DRAWING SHALL BE KEPT IN THE FIELD SHOWING ACTUAL LOCATIONS, LAYOUT, EQUIPMENT AND CONFIGURATIONS AS INSTALLED. ANY VARIATIONS FROM THESE DESIGN PLANS SHALL BE PROVIDED TO THE ENGINEER AND THE FACILITY OWNER AT THE COMPLETION OF ALL WORK.

CONTRACTOR INSTALLATION VERIFICATION:

A. THE CONTRACTOR PERFORMING THE INSTALLATION SHALL SIGN THE STATE REGISTRATION FORM INDICATING THE METHOD OF VERIFICATION OF PROPER INSTALLATION FOLLOWING THE FINAL STATE INSPECTION.

POSTING:

- A. A LABEL LISTING THE TANK MANUFACTURER'S INFORMATION FROM THE TANK PLATE, AS WELL AS THE INSTALLATION DATE, INSTALLATION CONTRACTOR(S) AND VOLUME BY PERCENTAGE OF ADDITIVES, SHALL BE POSTED NEAR THE STATE PERMIT.
- B. THE STATE UNDERGROUND STORAGE TANK PERMIT SHALL BE POSTED IN A CONSPICUOUS BUT PROTECTED LOCATION.
- C. PRIOR TO OPERATION THE FOLLOWING POSTINGS SHALL BE POSTED IN A CONSPICUOUS LOCATION INSIDE THE BUILDING: CLASS C OPERATOR DETAILS, PERMIT TO OPERATE, TANK CERTIFICATE, SPILL RESPONSE GUIDELINES, AND SENSOR LIST.



Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY

NO.	DATE	DESCRIPTION

ISSUED FOR

OWNER

H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC

PO BOX 248 AMHERST, NH

SITE

THE COUNTRY MILE STORE

750 & 766 FITCHBURG RD GREENVILLE, NH

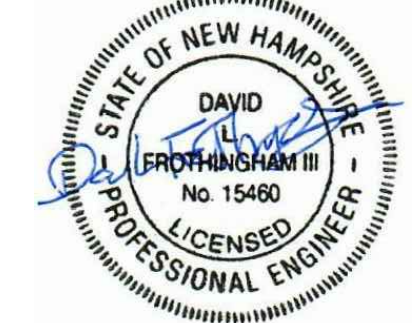
FACILITY ID: 0113157

MBLU: 1/46D, 1/47, & 1/48

NOTES

SCALE	N.T.S.	DATE	10/15/2020
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DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
GAG	DLF	DLF	GAFT0121



ENGINEER: DAVID L. FROTHINGHAM III
NH P.E. #15480

SHEET NO.

C5.5

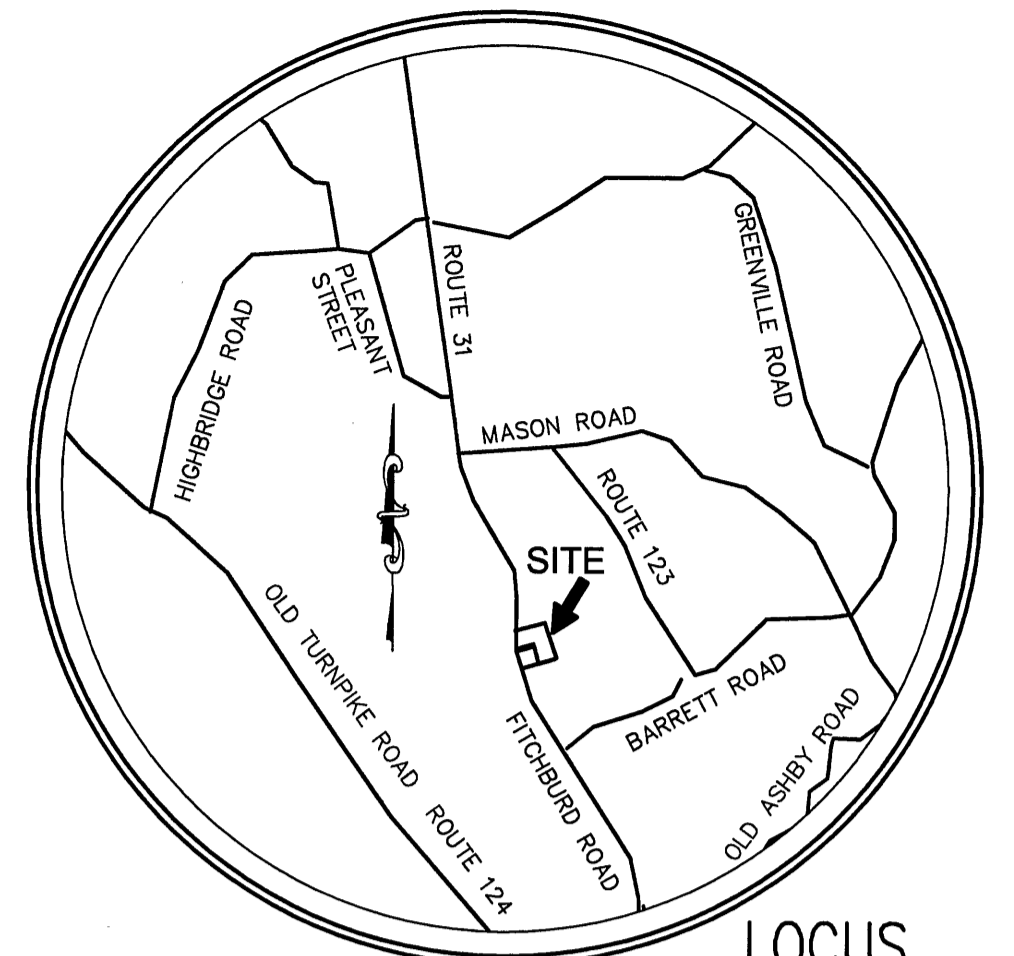
11 OF 11

LEGEND

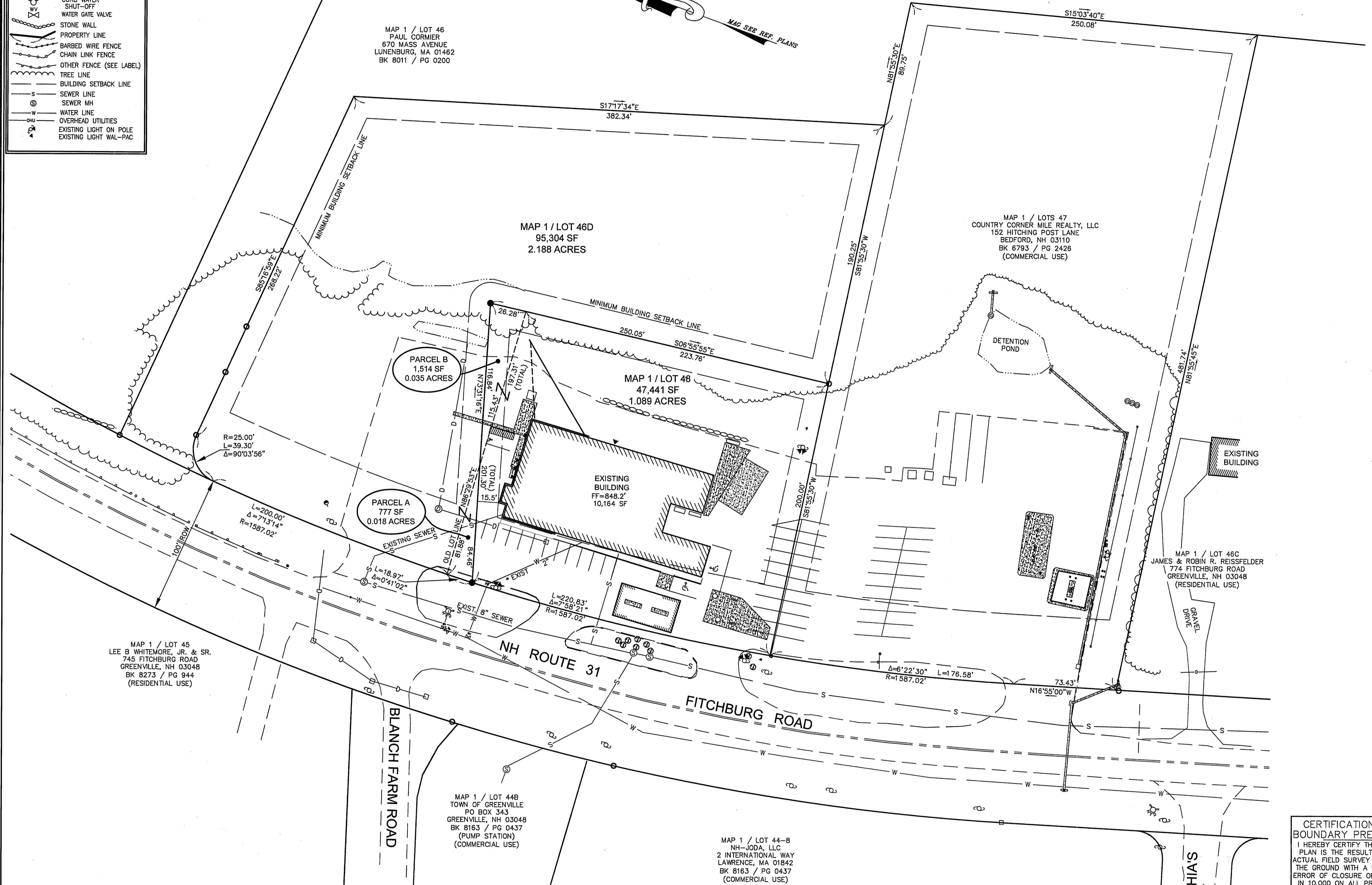
□	GB fnd
○	IR or IP fnd
—	IRON ROD (TO BE SET)
○	DH fnd
○	UP fnd
○	UP ANCHOR/GUY
○	WELL
○	DCS
○	DRAINAGE MH
○	SEWER MH
○	CURB WATER SHUT-OFF
○	WATER GATE VALVE
—	STONE WALL
—	PROPERTY LINE
—	BARBED WIRE FENCE
—	CHAIN LINK FENCE
—	OTHER FENCE (SEE LABEL)
—	TREE LINE
—	BUILDING SETBACK LINE
—	SEWER LINE
—	SEWER MH
—	WATER LINE
—	OVERHEAD UTILITIES
—	EXISTING LIGHT ON POLE
—	EXISTING LIGHT WAL-PAC

REFERENCE PLAN:

1. "LOT LINE ADJUSTMENT PLAN; MAP 1 / LOTS 46D & 48; H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC; 758 FITCHBURG ROAD (NH ROUTE 31); TOWN OF GREENVILLE; HILLSBOROUGH COUNTY, NEW HAMPSHIRE" DATED 2-24-11, BY SANDFORD SURVEYING & ENGINEERING, INC. RECORDED HCRD #37762.



LOCUS GREENVILLE, NH
NOT TO SCALE



GENERAL NOTES:

- OWNER OF RECORD: MAP 1 / LOT 46D H-COR, LLC HITCHING POST LANE BEDFORD, NH 03110 BK 8262 / PG 2459
MAP 1 / LOT 48 COUNTRY CORNER MILE REALTY, LLC 152 FITCHBURG LANE BEDFORD, NH 03110 BK 6793 / PG 2426
- TOTAL AREA OF EXISTING LOTS:
MAP 1 / LOT 46D: 96,041 SF OR 2.205 ACRES
MAP 1 / LOT 48: 46,703 SF OR 1.072 ACRES
- THE PURPOSE OF THIS PLAN IS TO ADJUST THE LOT LINE BETWEEN MAP 1 / LOTS 46D AND 48.
A. PARCEL "A" (777 SF OR 0.018 ACRES) IS NOT TO BE CONSIDERED A SEPARATE BUILDING LOT BUT WILL HENCEFORTH BE CONSIDERED AS A PART OF THE PREMISES KNOWN AS MAP 1 / LOT 46D.
B. PARCEL "B" (1,514 SF OR 0.035 ACRES) IS NOT TO BE CONSIDERED A SEPARATE BUILDING LOT BUT WILL HENCEFORTH BE CONSIDERED AS A PART OF THE PREMISES KNOWN AS MAP 1 / LOT 48.
ALL LOTS WILL BE SERVICED BY MUNICIPAL SEWER & WATER.
- THE SUBJECT PROPERTY IS ZONED COMMERCIAL / INDUSTRIAL MIN. FRONTAGE = 200 FEET ON TOWN SEWER MIN. AREA = 2 AC. ON TOWN SEWER YARD DIMENSIONS: FRONT = 50' SIDE & REAR = 15' SEE TOWN ZONING ORDINANCE FOR ADDITIONAL REQUIREMENTS ALL ABUTTING PARCELS ARE IN THE SAME ZONE.
- TOTAL AREA OF PROPOSED LOTS: MAP 1 / LOT 46D: 95,304 SF OR 2.188 ACRES
MAP 1 / LOT 48: 47,441 SF OR 1.089 ACRES
- THIS SURVEY PERFORMED ACCORDING TO STANDARDS FOR REAL PROPERTY SURVEYS, CLASSIFICATION U, SET FORTH IN ADMINISTRATIVE RULES LAN 502 AND LAN 503 ADOPTED 8/23/01, AMENDED 9/9/03 BY THE STATE OF NEW HAMPSHIRE UNDER RSA 310-A:58 AND RSA 541-A.
- THESE PARCELS DO FALL WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON FIRM MAP 33011C05850, DATED 9/25/09.
- THE SUBDIVISION REGULATIONS OF THE TOWN OF GREENVILLE ARE PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.
- UTILITY LOCATIONS TAKEN FROM EXISTING RECORD DATA, FIELD EVIDENCE AND CLIENTS TESTIMONY. ACTUAL LOCATIONS TO BE FIELD VERIFIED.

APPROVED BY GREENVILLE PLANNING BOARD
DATE: 10/24/2013
BY: CHAIRMAN
SECRETARY

I CERTIFY THAT THE STREET LINE(S), TOPOGRAPHY AND PHYSICAL FEATURES SHOWN ARE ACCURATE AND TRUE.
DATE: 10/16/13
EARL J. SANDFORD, LLS

CERTIFICATION OF BOUNDARY PRECISION
I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND WITH A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 10,000 ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

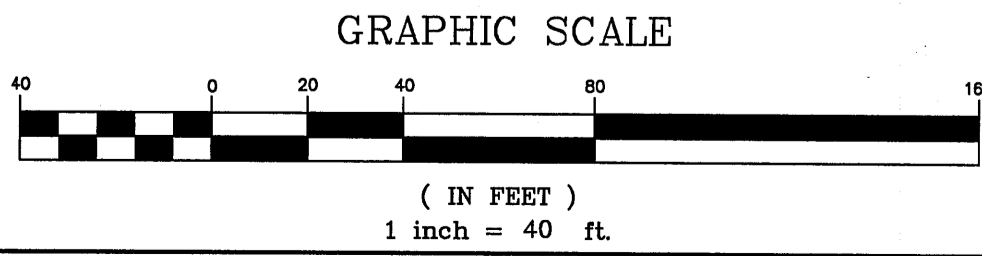
LOT LINE ADJUSTMENT PLAN
MAP 1 / LOTS 46D & 48
H-COR, LLC & COUNTRY CORNER MILE REALTY, LLC
758 FITCHBURG ROAD (NH ROUTE 31)
TOWN OF GREENVILLE
HILLSBOROUGH COUNTY, NEW HAMPSHIRE

SANDFORD SURVEYING AND ENGINEERING
TEL (603) 472-2265 FAX (603) 472-6604
597 NEW BOSTON ROAD, BEDFORD, NH 03110
BOUNDARY SURVEYS ~ SUBDIVISIONS ~ SITE PLANS ~ STRUCTURAL ~ SEPTIC DESIGNS

PROJ. MAN.: RPS	CADD: LPN	PROJ: WASO1M1100B
CONTACT: T WASHBURN	CHK BY: RPS	DWG#: WASO1M1100BA
SCALE: 1" = 40'	DATE: 7-26-13	SHEET 1 OF 1

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	8-14-13	PREPARE FOR HCRD RECORDING	LPN
2	9-10-13	NOTE 1. LOT 46D DEED PAGE NO.	LPN



Plan # 37887 Drawer # 176

Doc # 3060448 Nov 4, 2013 1:13 PM
Plan 37887 1 of 1 DWR 176
Register of Deeds, Hillsborough County
Cornelia D. Coughlin

C/H
L-CHP
HIA252576