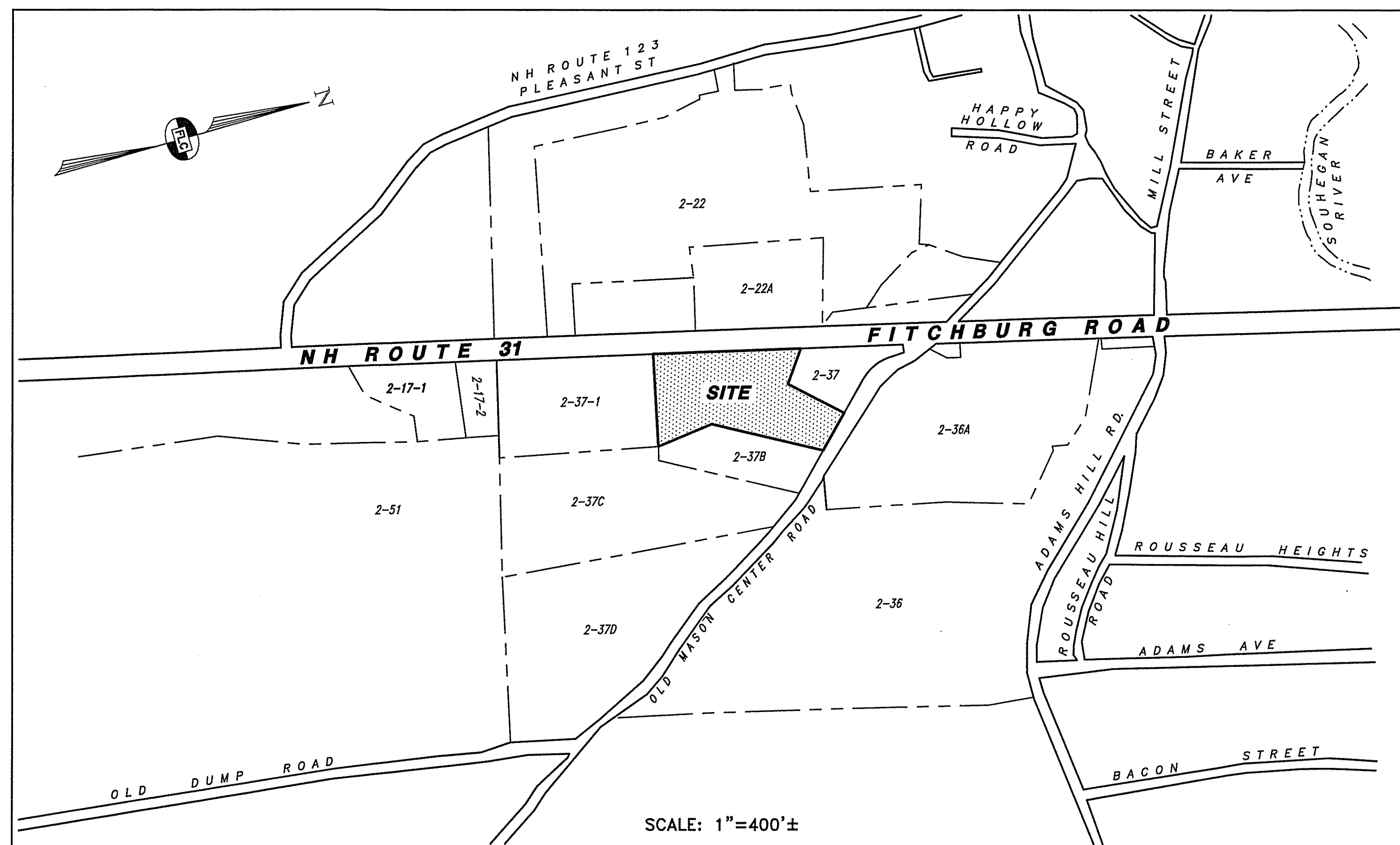


NON-RESIDENTIAL SITE PLAN SET
SELF-STORAGE DEVELOPMENT

TAX MAP PARCELS 2-37-A & 2-37-2A - OLD MASON ROAD

GREENVILLE, NEW HAMPSHIRE

AUGUST 24, 2023



SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	SP-1	SITE LAYOUT PLAN
3	EX-1	EXISTING CONDITIONS PLAN
4	GR-1	GRADING & DRAINAGE PLAN
5	LT-1	LIGHTING PLAN
6	LS-1	LANDSCAPING & UTILITIES PLAN
7	DT-1	CONSTRUCTION DETAILS
8	DT-2	CONSTRUCTION DETAILS
9	DT-3	EROSION CONTROL DETAILS
10	DT-4	STORMWATER RECHARGE SYSTEM DETAILS

PREPARED FOR AND LAND OF:
MICHAEL D. LAMARRE

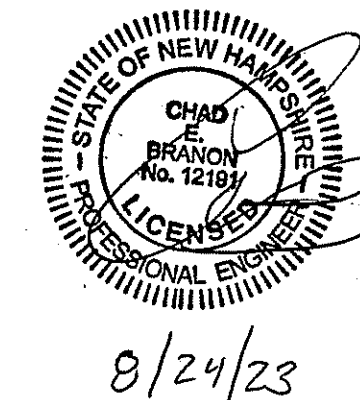
P.O. BOX 495
 GREENVILLE, NH 03048

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APPROVED BY GREENVILLE PLANNING BOARD

ON: _____ CERTIFIED BY
 CHAIRMAN: _____ AND
 VICE CHAIRMAN: _____

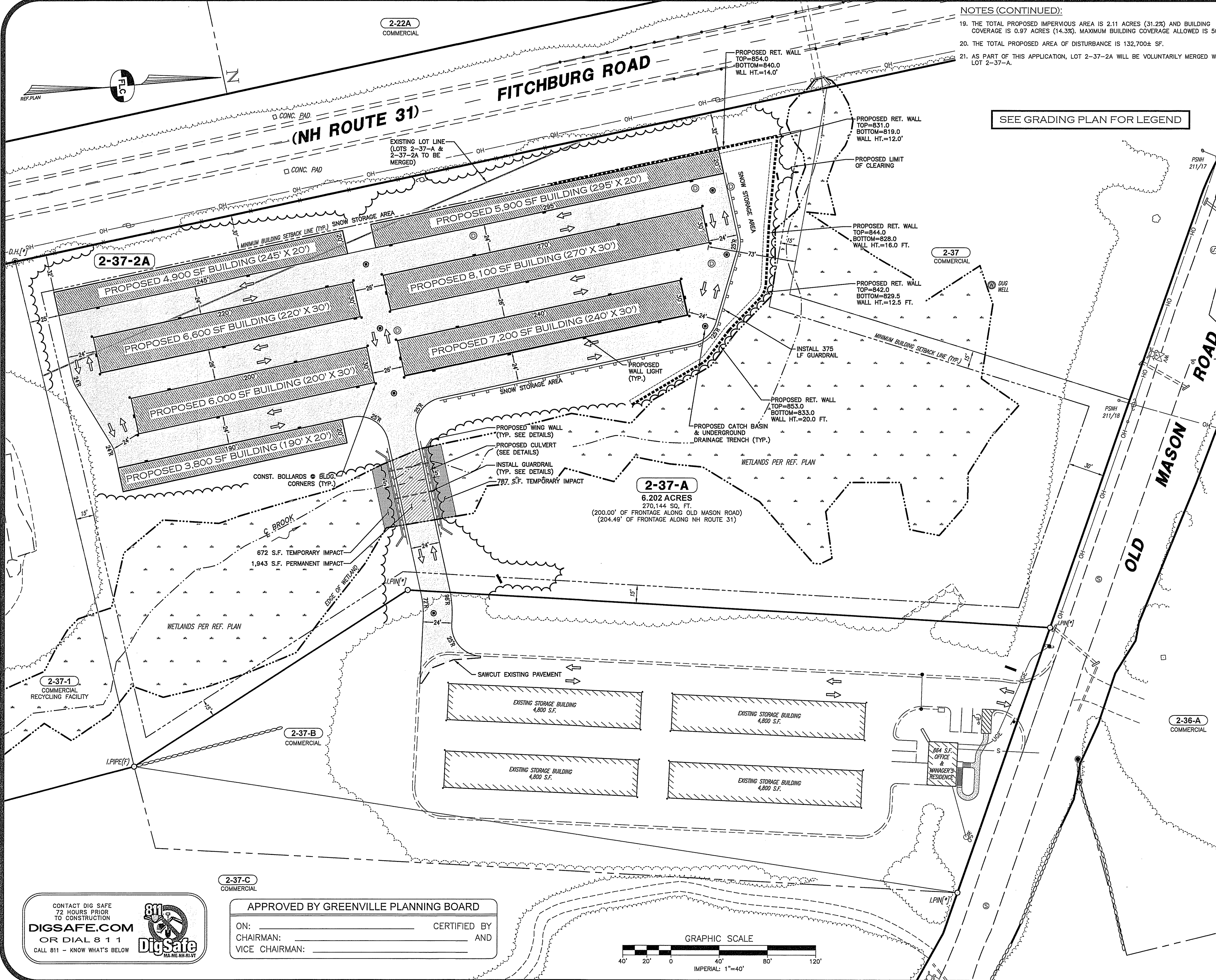


1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 811
 CALL BEFORE YOU DIG

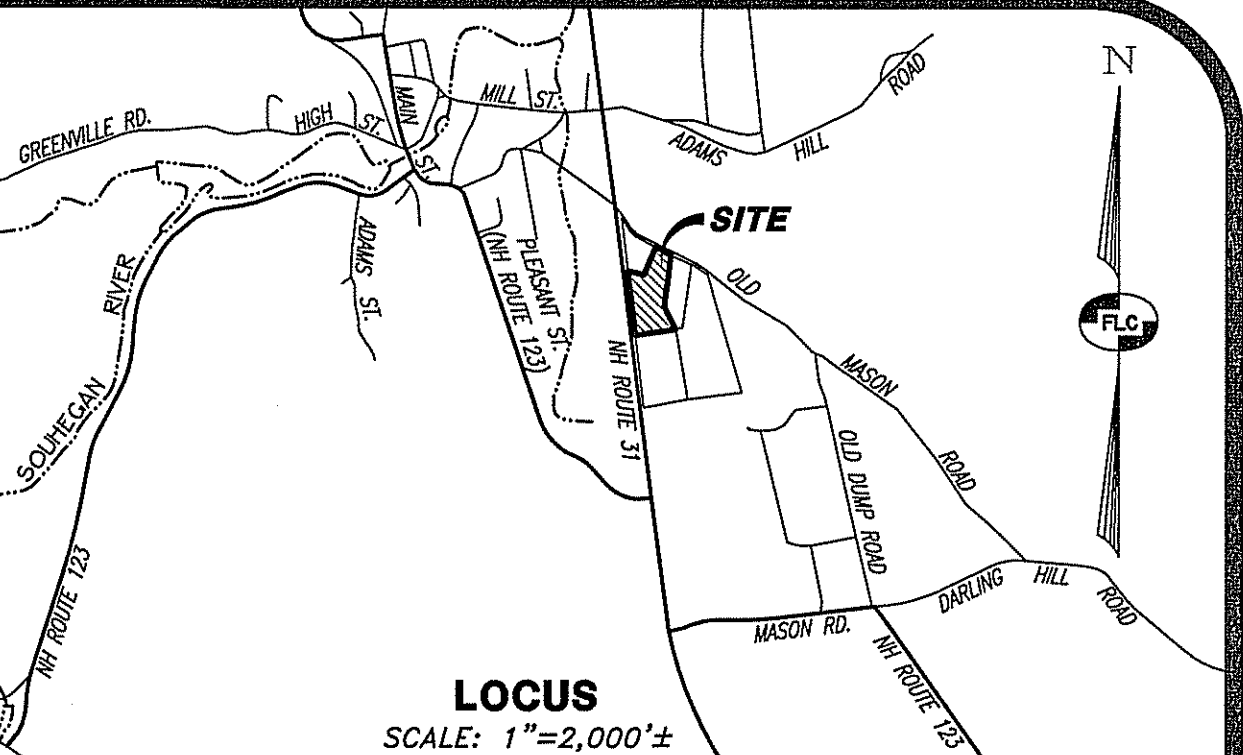
REV.	DATE	DESCRIPTION	C/O	DR	CK

FILE: 1755CV02.dwg PROJ. NO. 1755.02 SHEET: CV-1 PAGE NO. 1 OF 10



NOTES (CONTINUED):
 19. THE TOTAL PROPOSED IMPERVIOUS AREA IS 2.11 ACRES (31.2%) AND BUILDING COVERAGE IS 0.97 ACRES (14.3%). MAXIMUM BUILDING COVERAGE ALLOWED IS 50%.
 20. THE TOTAL PROPOSED AREA OF DISTURBANCE IS 132,700± SF.
 21. AS PART OF THIS APPLICATION, LOT 2-37-2A WILL BE VOLUNTARILY MERGED WITH LOT 2-37-A.

SEE GRADING PLAN FOR LEGEND



- NOTES:
- THE OWNER OF RECORD FOR TAX MAP LOTS 2-37-A IS MICHAEL D. LAMARRE, P.O. BOX 495, GREENVILLE, NH 03048. DEED REFERENCE IS BK.9720 PG.1227, DATED 10/20/2017 IN THE H.C.R.D.
 - THE CURRENT OWNER OF TAX MAP LOT 2-37-2A IS THE STATE OF NEW HAMPSHIRE, 1 HAZEN DRIVE, CONCORD, NH 03302. SEE H.C.R.D. BK. 1445 PG. 49 DATED 10/6/1965.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT A SELF-STORAGE FACILITY WITH ASSOCIATED SITE IMPROVEMENTS ON TAX MAP LOT 2-37-A AND 2-37-2A.
 - THE AREA OF LOT 2-37-A IS 6.202 ACRES OR 270,144 S.F. THE FRONTAGE FOR LOT 2-37-A IS 200.00' ALONG OLD MASON ROAD AND 204.49' ALONG NH ROUTE 31. THE AREA OF LOT 2-37-2A IS 0.545 ACRES OR 23,756 S.F. THE FRONTAGE FOR LOT 2-37-2A IS 483.31' ALONG NH ROUTE 31.
 - ZONING FOR LOTS 2-37-A IS THE "COMMERCIAL" DISTRICT (C). MINIMUM ZONING REQUIREMENTS ARE:
 LOT SIZE = 1/2 ACRES FOR LOTS ON TOWN SEWER LINE
 ROAD FRONTAGE = 75 FT. FOR LOTS ON TOWN SEWER LINE
 MINIMUM BUILDING SETBACKS = 30 FT. STREET & 15 FT. LOT LINE.
 - THE BOUNDARY INFORMATION SHOWN IS BASED ENTIRELY ON THE REFERENCE PLAN CITED HEREON AND IS NOT THE RESULT OF A BOUNDARY SURVEY BY THIS OFFICE.
 - THE PROPOSED USE WILL BE SERVICED BY MUNICIPAL WATER & SEWER AND UNDERGROUND UTILITIES.
 - THIS PROPOSAL MEETS THE BUILDING COVERAGE REQUIREMENTS. THE MAXIMUM BUILDING COVERAGE IS 50%.
 - EXTERIOR LIGHTING ON-SITE SHALL BE PROVIDED BY WALL MOUNTED MOUNTED LIGHTS. ALL LIGHTING SHALL BE DOWNCAST TO PREVENT LIGHT POLLUTION.
 - THE PROPOSED BUSINESS SIGN IS PENDING APPROVAL. A SEPARATE SIGN PERMIT WILL BE SUBMITTED AT THE TIME OF CONSTRUCTION.
 - SNOW STORAGE SHALL BE PROVIDED IN THE AREAS DESIGNATED ON THIS PLAN.
 - THE ANTICIPATED HOURS OF OPERATION FOR THE RENTAL OFFICE ARE MONDAY THRU SATURDAY 8 AM TO 5 PM. PATRONS MAY ACCESS TO STORAGE UNITS AT ANY TIME BY USE OF ACCESS KIOSK AND GATE.
 - THE SITE PLAN REGULATIONS OF THE TOWN OF GREENVILLE ARE PART OF THIS PLAT AND APPROVAL OF THIS PLAT IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.
 - TO ADDRESS SECURITY CONCERNS, FENCING MAY BE INSTALLED ALONG THE PROPERTY BOUNDARIES. PATRONS WILL HAVE ACCESS TO THE PROPERTY BY WAY OF THE ACCESS KIOSK AND AUTOMATED GATE ON ADJACENT LOT 2-37-B.
 - THERE ARE NO FLOOR DRAINS PROPOSED. NO REGULATED MATERIALS SHALL BE PERMITTED TO BE STORED ON-SITE OR WITHIN THE PROPOSED STORAGE UNITS.
 - EMERGENCY SERVICES SHALL BE PROVIDED WITH AN ACCESS CODE TO ALLOW FOR EMERGENCY VEHICULAR ACCESS.
 - THE PROPOSED METHODS IN CONTROLLING THE STORM WATER RUNOFF WILL BE VIA SHEET FLOW TO A COMBINATION OF OPEN AND CLOSED DRAINAGE.
 - THIS PROJECT WILL REQUIRE A LOCAL BUILDING PERMIT. THIS PERMIT SHALL BE OBTAINED PRIOR TO COMMENCING WITH NEW BUILDING CONSTRUCTION.
 - THE PROPOSED DEVELOPMENT WILL USE EXISTING LANDSCAPE SCREENING AS SHOWN.
 - THERE SHALL BE NO OUTSIDE STORAGE ALLOWED.
 - TOTAL PROPOSED GREEN SPACE IS 4.64 ACRES (68.8% OF THE LOT). THERE IS NO MINIMUM REQUIRED GREEN SPACE IN THE COMMERCIAL DISTRICT.

REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE LAYOUT PLAN
TAX MAP 2 LOTS 37-A & 37-2A
(OLD MASON ROAD)
GREENVILLE, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
MICHAEL D. LAMARRE
 P.O. BOX 495, GREENVILLE, NH 03048

SCALE: 1" = 40' AUGUST 24, 2023

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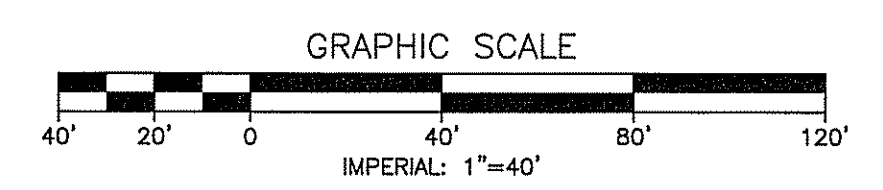
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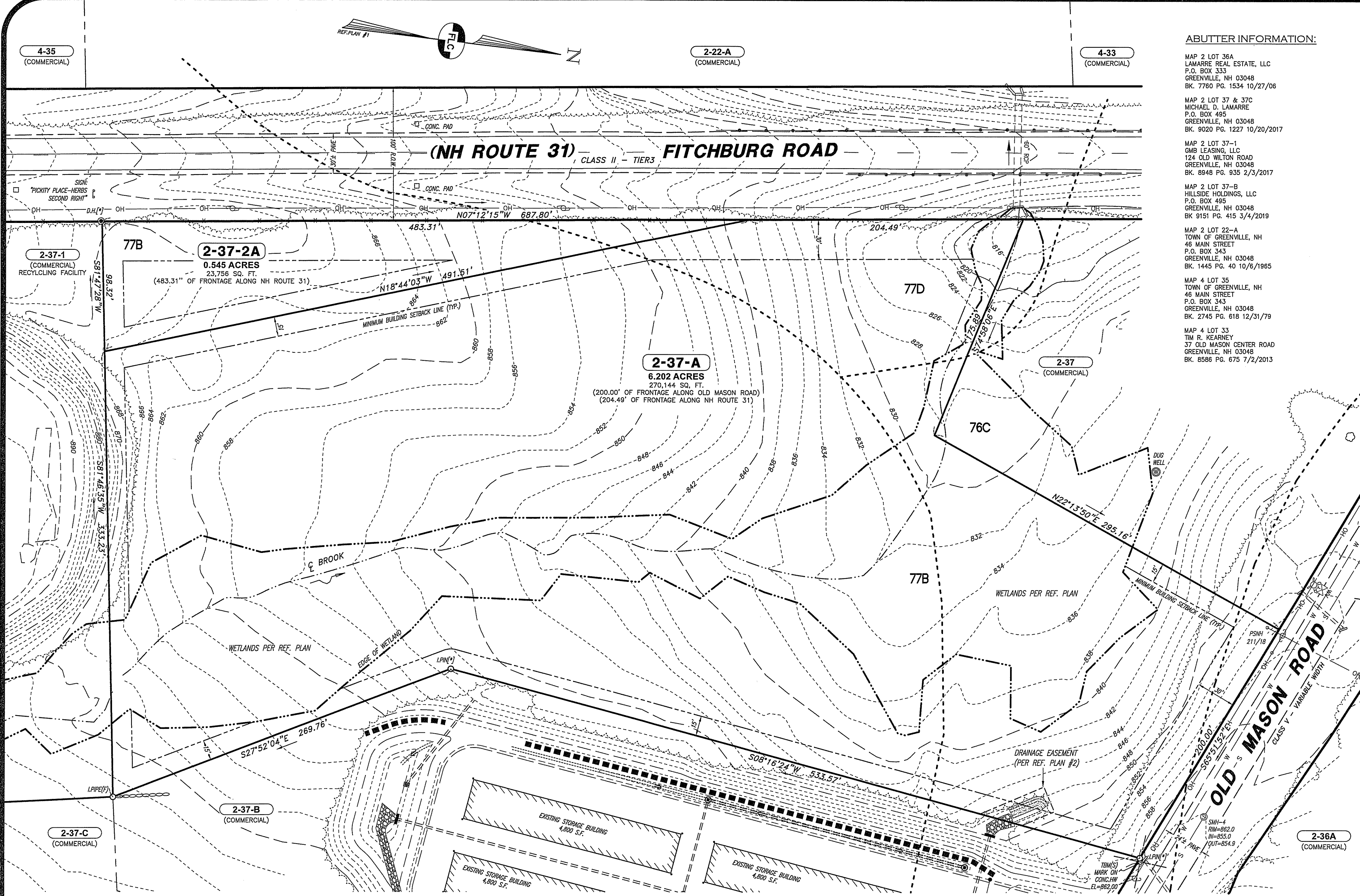
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APPROVED BY GREENVILLE PLANNING BOARD

ON: _____ CERTIFIED BY _____
 CHAIRMAN: _____ AND
 VICE CHAIRMAN: _____





4-35
(COMMERCIAL)

2-22-A
(COMMERCIAL)

4-33
(COMMERCIAL)

2-37-2A
(COMMERCIAL)
RECYCLING FACILITY

2-37-A
(COMMERCIAL)

2-37
(COMMERCIAL)

2-37-B
(COMMERCIAL)

2-37-C
(COMMERCIAL)

2-36A
(COMMERCIAL)

LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- SOIL BOUNDARY
- FORMER TRACT LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- EDGE OF BROOK
- 860 — 10' CONTOUR INTERVAL
- 862 — 2' CONTOUR INTERVAL
- CULVERT
- W — WATER LINE
- OH — OVERHEAD UTILITY LINE
- UTILITY POLE & GUY
- S — SEWER LINE
- SEWER MAN-HOLE
- WATER HYDRANT

- WV — WATER VALVE
- WS — WATER SHUT-OFF
- W — WELL
- ⊙ — DRILL HOLE FOUND
- ⊙ — IRON PIPE FOUND
- ⊙ — IRON PIN PER REF. PLAN
- ⊙ — DRILL HOLE PER REF. PLAN
- ⊙ — IRON PIN TO BE SET
- 2-37-A — TAX MAP & LOT NUMBER

NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

77B MARLOW FINE SANDY LOAM
0 TO 8% SLOPES, VERY STONY

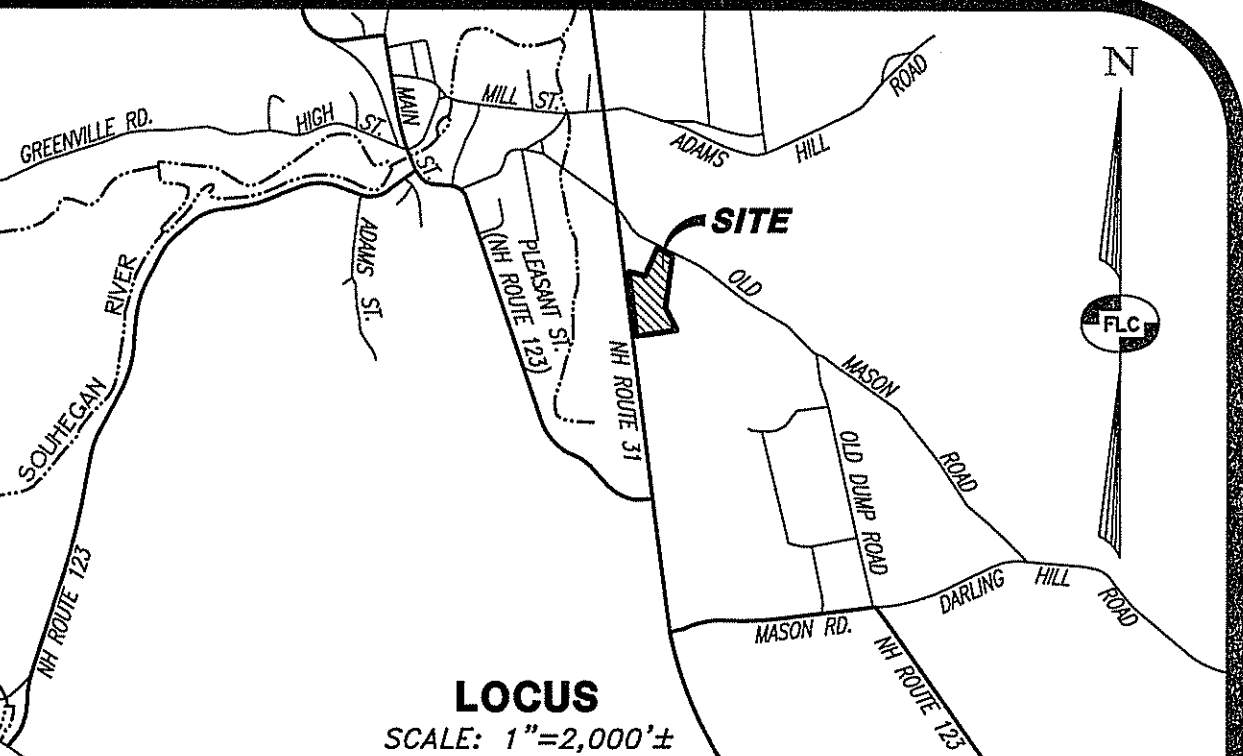
77D MARLOW FINE SANDY LOAM
15 TO 35% SLOPES, VERY STONY

76C MARLOW FINE SANDY LOAM
8 TO 15% SLOPES

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ABUTTER INFORMATION:

- MAP 2 LOT 36A
LAMARRE REAL ESTATE, LLC
P.O. BOX 333
GREENVILLE, NH 03048
BK. 7760 PG. 1534 10/27/06
- MAP 2 LOT 37 & 37C
MICHAEL D. LAMARRE
P.O. BOX 495
GREENVILLE, NH 03048
BK. 9020 PG. 1227 10/20/2017
- MAP 2 LOT 37-1
GMB LEASING, LLC
124 OLD WILTON ROAD
GREENVILLE, NH 03048
BK. 8948 PG. 935 2/3/2017
- MAP 2 LOT 37-B
HILLSIDE HOLDINGS, LLC
P.O. BOX 495
GREENVILLE, NH 03048
BK. 9151 PG. 415 3/4/2019
- MAP 2 LOT 22-A
TOWN OF GREENVILLE, NH
46 MAIN STREET
P.O. BOX 343
GREENVILLE, NH 03048
BK. 1445 PG. 40 10/6/1965
- MAP 4 LOT 35
TOWN OF GREENVILLE, NH
46 MAIN STREET
P.O. BOX 343
GREENVILLE, NH 03048
BK. 2745 PG. 618 12/31/79
- MAP 4 LOT 33
TIM R. KEARNEY
37 OLD MASON CENTER ROAD
GREENVILLE, NH 03048
BK. 8586 PG. 675 7/2/2013

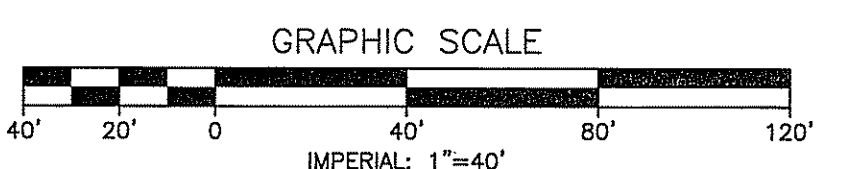


REFERENCE PLANS:

- "SUBDIVISION PLAN - MAP 2 / LOT 37 - WILLIAM N. & JEAN L. LAMARRE - NH ROUTE 31 & - OLD MASON ROAD - TOWN OF GREENVILLE, HILLSBOROUGH COUNTY, NEW HAMPSHIRE", SCALE 1"=100', DATED JUNE 11, 2009 AND LAST REVISED AUGUST 31, 2009, BY SANDFORD SURVEYING AND ENGINEERING. RECORDED IN THE H.C.R.D. AS PLAN #36667.
- "EXISTING CONDITIONS AND - LOT LINE ADJUSTMENT PLAN - TAX MAP 2 LOTS 37-B & 37-C - (OLD MASON ROAD) - GREENVILLE, NEW HAMPSHIRE - PREPARED FOR AND LAND OF: - MICHAEL D. LAMARRE" SCALE: 1"=50', DATED MAY 18, 2018, PREPARED BY THIS OFFICE AND RECORDED AT THE H.C.R.D. AS PLAN NO. 40054.
- "BOUNDARY PLAN - TAX MAP 2 LOT 37-A - (OLD MASON ROAD) - GREENVILLE, NEW HAMPSHIRE - PREPARED FOR AND LAND OF: - MICHAEL D. LAMARRE" SCALE: 1"=40', DATED AUG. 11, 2022, PREPARED BY THIS OFFICE AND RECORDED AT THE H.C.R.D. AS PLAN NO. 41522.

NOTES:

- THE OWNER OF RECORD FOR TAX MAP LOTS 2-37-A IS MICHAEL D. LAMARRE, P.O. BOX 495, GREENVILLE, NH 03048. DEED REFERENCE IS BK.9720 PG.1227, DATED 10/20/2017 IN THE H.C.R.D.
THE CURRENT OWNER OF TAX MAP LOT 2-37-2A IS THE STATE OF NEW HAMPSHIRE, 1 HAZEN DRIVE, CONCORD, NH 03302. SEE H.C.R.D. BK. 1445 PG. 40 DATED 10/6/1965.
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS FOR TAX MAP LOT 2-37-A & 2-37-2A.
- THE AREA OF LOT 2-37-A IS 6.202 ACRES OR 270,144 S.F. THE FRONTAGE FOR LOT 2-37-A IS 200.00' ALONG OLD MASON ROAD AND 204.49' ALONG NH ROUTE 31.
THE AREA OF LOT 2-37-2A IS 0.545 ACRES OR 23,756 S.F. THE FRONTAGE FOR LOT 2-37-2A IS 483.31' ALONG NH ROUTE 31.
- ZONING FOR LOTS 2-37-A IS THE "COMMERCIAL" DISTRICT (C).
MINIMUM ZONING REQUIREMENTS ARE:
LOT SIZE = 1/2 ACRE FOR LOTS ON TOWN SEWER LINE
ROAD FRONTAGE = 75 FT. FOR LOTS ON TOWN SEWER LINE
MINIMUM BUILDING SETBACKS = 30 FT. STREET & 15 FT. LOT LINE.
- INFORMATION SHOWN ON THIS PLAN WAS SOURCED ENTIRELY FROM REFERENCE PLAN #1 CITED HEREON AND IS NOT THE RESULT OF A SURVEY PERFORMED BY THIS OFFICE.
- TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS OR DEED RESTRICTIONS OTHER THAN THOSE SHOWN HEREON, IF ANY.
- TAX MAP 2 LOT 37-A IS SERVICED BY MUNICIPAL SEWER AND WATER LOCATED ON OLD MASON ROAD ALONG WITH OVERHEAD UTILITIES.
- PARCEL LIES OUTSIDE OF THE FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, NEW HAMPSHIRE, COMMUNITY NO. 330388 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 33011C0443D DATED SEPTEMBER 25, 2009.
- THE SUBDIVISION REGULATIONS OF THE TOWN OF GREENVILLE ARE PART OF THIS PLAT AND APPROVAL OF THIS PLAT IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.
- EXISTING STRUCTURES HAVE BEEN LOCATED ON-SITE AND WITHIN TWO HUNDRED (200) FEET OF THE SITE.



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	8/24/23	REVISE PER REF. PLAN NO. 3		JGL	MDP

EXISTING CONDITIONS PLAN
TAX MAP 2 LOT 37-A & 37-2A
(OLD MASON ROAD)
GREENVILLE, NEW HAMPSHIRE
LAND OF:
MICHAEL D. LAMARRE
P.O. BOX 495, GREENVILLE, NH 03048
AND LAND OF:
STATE OF NEW HAMPSHIRE
1 HAZEN DRIVE, CONCORD, NH 03302

SCALE: 1" = 40' JUNE 16, 2022

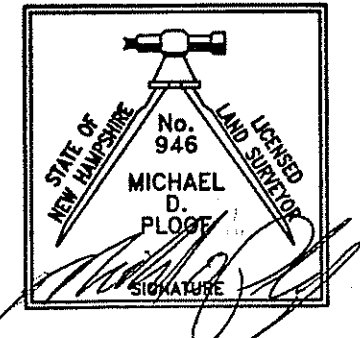
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CERTIFICATION:

"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN WAS COMPILED ENTIRELY FROM REFERENCE PLAN NO. 1 CITED HEREON AND THAT IT IS MATHEMATICALLY CORRECT."

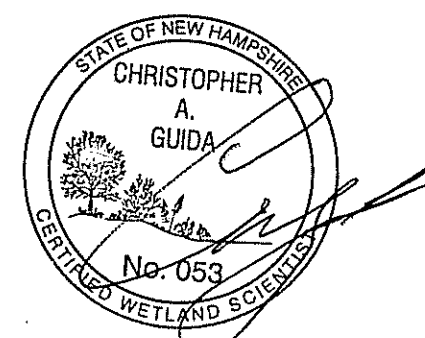
DATE: 8/24/2023

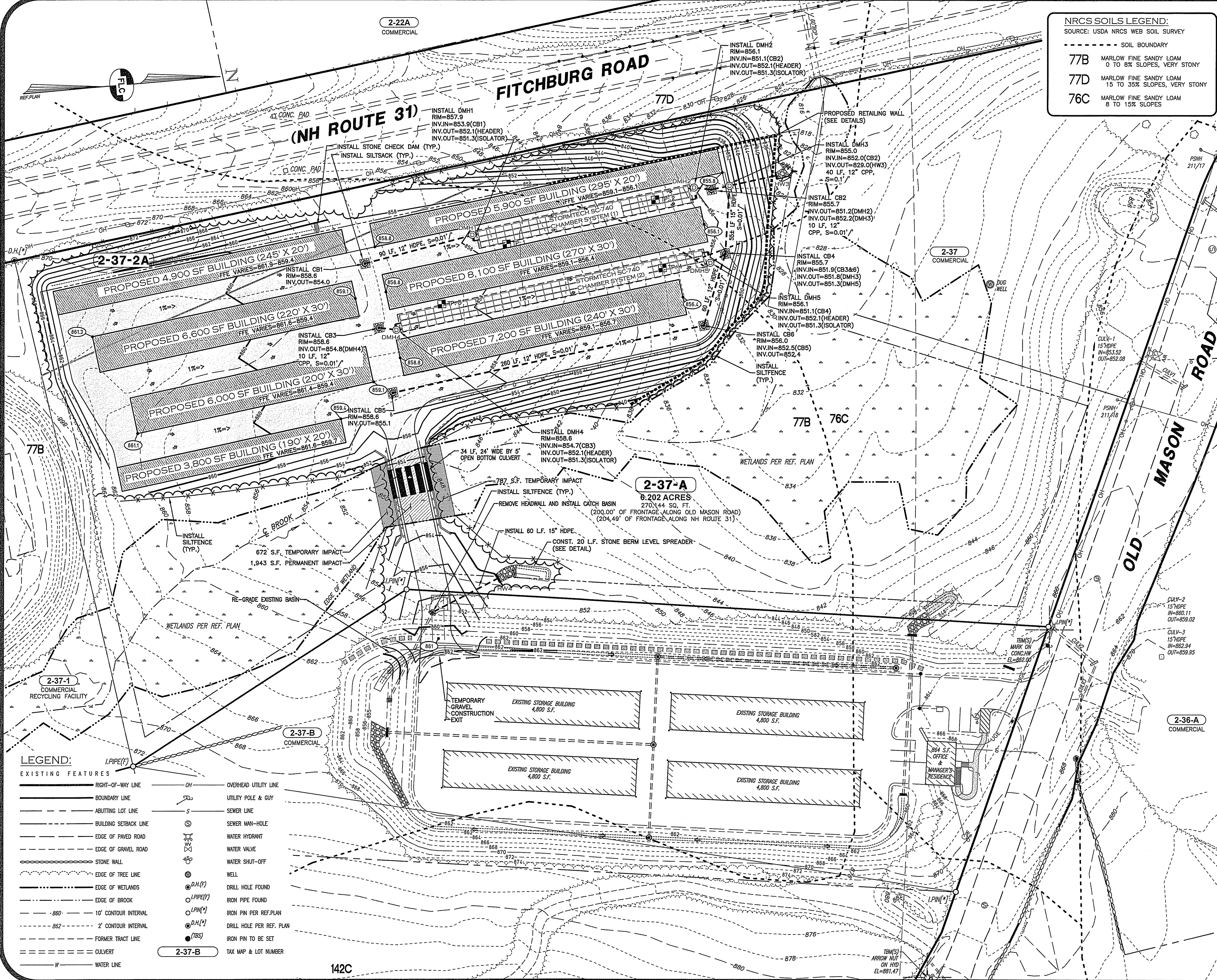


CERTIFICATION:

"DELINEATED WETLANDS PER REFERENCE PLAN NO. 1 AND SHOWN HEREON WERE VERIFIED BY THIS OFFICE IN JUNE OF 2022."

DATE: 8-24-23





NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

--- SOIL BOUNDARY

77B MARLOW FINE SANDY LOAM
0 TO 8% SLOPES, VERY STONY

77D MARLOW FINE SANDY LOAM
15 TO 35% SLOPES, VERY STONY

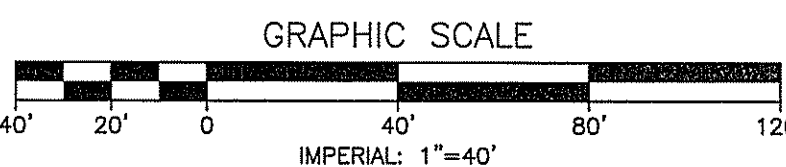
76C MARLOW FINE SANDY LOAM
8 TO 15% SLOPES

- GENERAL CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF GREENVILLE AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF GREENVILLE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (DIAL 811).
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF GREENVILLE FIRE DEPARTMENT REGULATIONS.
 - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDDED IMMEDIATELY UPON BEING CONSTRUCTED.
 - ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
 - ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
 - STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH NHDOT SPECIFICATIONS.

LEGEND:

PROPOSED FEATURES		LIMITS OF CLEARING	
858	2 FT. CONTOUR	---	SWALE/GUTTER LINE
860	10 FT. CONTOUR	---	TOP OF BERM
---	EDGE OF PAVEMENT	---	RETAINING WALL
---	EDGE OF GRAVEL	---	TEMPORARY SILT FENCE
S	SEWER LINE	---	STONE CHECK DAM
W	WATER LINE	---	SILT SACK
OH	OVERHEAD UTILITIES	---	EROSION CONTROL STONE
UGE	UNDERGROUND UTILITIES	---	PAVED WALK
863.0	SPOT ELEVATION	---	PAVED AREA OR COMPACTED SURFACE AREA TO BE REMOVED (TBR)
CB1	STORM WATER DRAINAGE CATCH BASIN		
HW1	STORM WATER DRAINAGE BUILDING MOUNTED LIGHT		
---	UTILITY POLE		
---	HANDICAP PARKING STALL		
---	SIGNS		

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 CALL 811 - KNOW WHAT'S BELOW



LEGEND:

EXISTING FEATURES		PROPOSED FEATURES	
---	RIGHT-OF-WAY LINE	OH	OVERHEAD UTILITY LINE
---	BOUNDARY LINE	---	UTILITY POLE & GUY
---	ABUTTING LOT LINE	S	SEWER LINE
---	BUILDING SETBACK LINE	---	SEWER MAN-HOLE
---	EDGE OF PAVED ROAD	---	WATER HYDRANT
---	EDGE OF GRAVEL ROAD	---	WATER VALVE
---	STONE WALL	---	WATER SHUT-OFF
---	EDGE OF TREE LINE	---	WELL
---	EDGE OF WETLANDS	---	DRILL HOLE FOUND
---	EDGE OF BROOK	---	IRON PIPE FOUND
---	10' CONTOUR INTERVAL	---	IRON PIN PER REF.PLAN
---	2' CONTOUR INTERVAL	---	DRILL HOLE PER REF. PLAN
---	FORMER TRACT LINE	---	IRON PIN TO BE SET
---	CULVERT	---	TAX MAP & LOT NUMBER
---	WATER LINE		

REV.	DATE	DESCRIPTION	C/O	DR	CK

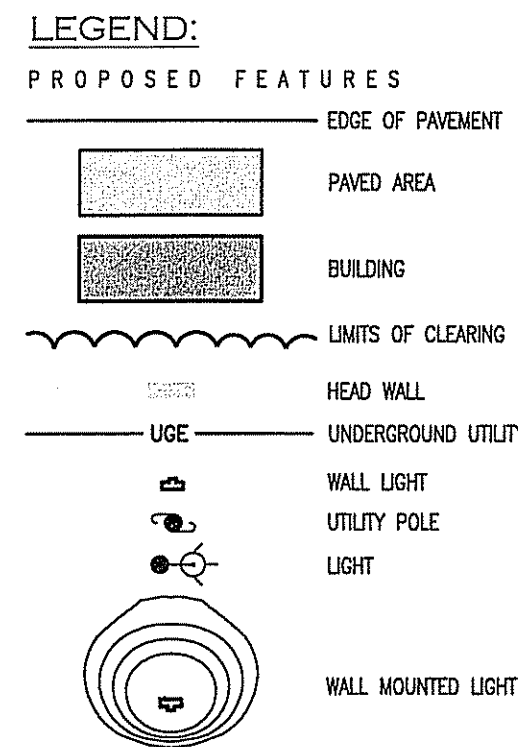
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(OLD MASON ROAD)
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 PREPARED FOR AND LAND OF:
MICHAEL D. LAMARRE
 P.O. BOX 495, GREENVILLE, NH 03048

SCALE: 1" = 40' AUGUST 24, 2023

Surveying + Engineering + Land Planning + Permitting + Septic Designs

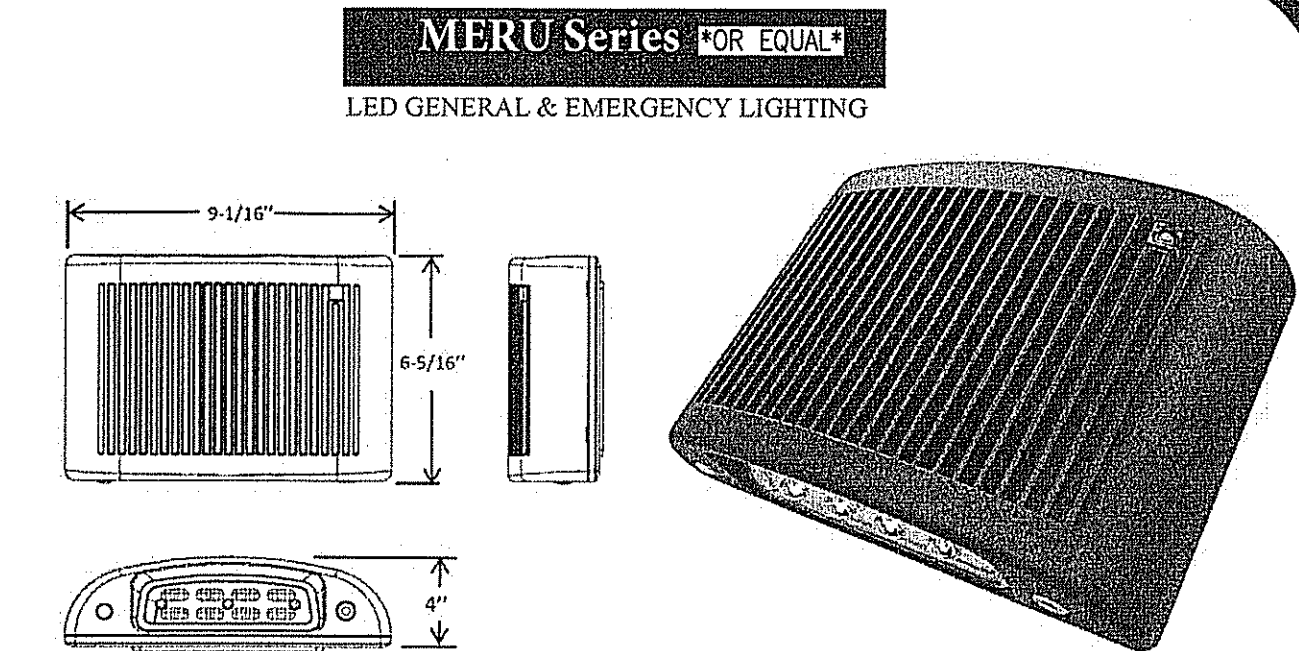
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StatArea_1
 Illuminance (Fc)
 Average = 0.96
 Maximum = 13.4
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
[Symbol]	31	W	Single	MERU-LED-AC-DB-PIR / MOUNTED 8' AFG



PRODUCT SPECIFICATIONS

CONSTRUCTION
 Die cast aluminum housing with superior heat sink • Scratch resistant Polyester powder coat finish • UV resistant polycarbonate lens • Snap-fit housing and mounting plate are held together by four stainless steel clips • Universal mounting pattern molded into the back plate • 1/2" threaded top access for surface conduit installation • Silicone rubber seal with hollow center, shape adaptive design protects the electrical components • Junction box neoprene seal is attached to the back plate for a weather proof installation • Dark Bronze or White textured finish.

ELECTRICAL
 Dual voltage 120/277VAC 60Hz input • Solid state charging and switching • Battery low voltage disconnect • AC power indicator and test switch at the bottom of the unit • Standard with Self-Diagnostics to monitor proper operation.

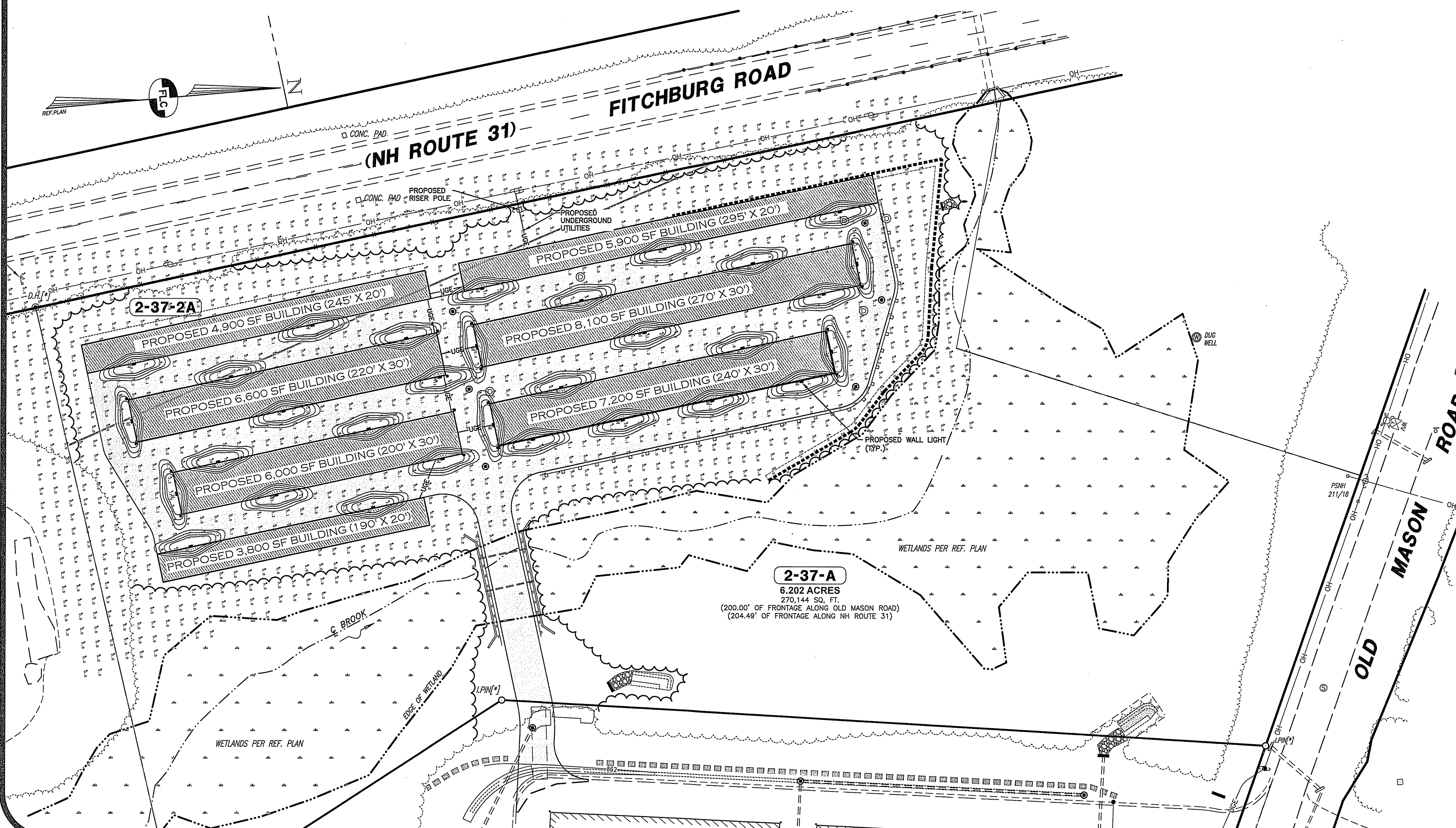
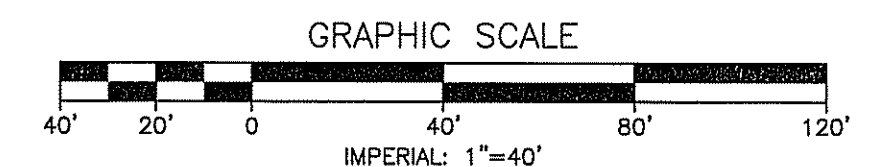
LAMPS
 Supplied with eight (8) LG SMD 4000K LED'S • L70 > 72,000hours • 17 Watts total (32 Watts with IH option) • 1600 Lumens in AC mode, 600 Lumens in Emergency mode • Full cut-off optics for Dark Sky compliance

BATTERY
 Maintenance-free, long-life rechargeable NiCad battery will operate fixture for a minimum of 90 minutes in the event of a power outage • 24 hour recharge after 90 minute discharge.

CODE COMPLIANCE
 UL924 • Listed for wet location applications (0°C-50°C) • Optional "IH" cold weather package for (-40°C-50°C) • IP65 Rated • NFPA 101 Life Safety Code compliant • NEC and OSHA compliant • DLC Listed • RoHS Compliant

WARRANTY
 5-year warranty. Product specifications subject to change without notice.

CONTACT DIG SAFE
 72 HOURS PRIOR
 TO CONSTRUCTION
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 OR DIAL 8 1 1
 CALL 811 - KNOW WHAT'S BELOW



REV.	DATE	DESCRIPTION	C/O	DR	CK

LIGHTING PLAN
TAX MAP 2 LOTS 37-A & 37-2A
(OLD MASON ROAD)
GREENVILLE, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
MICHAEL D. LAMARRE
 P.O. BOX 495, GREENVILLE, NH 03048

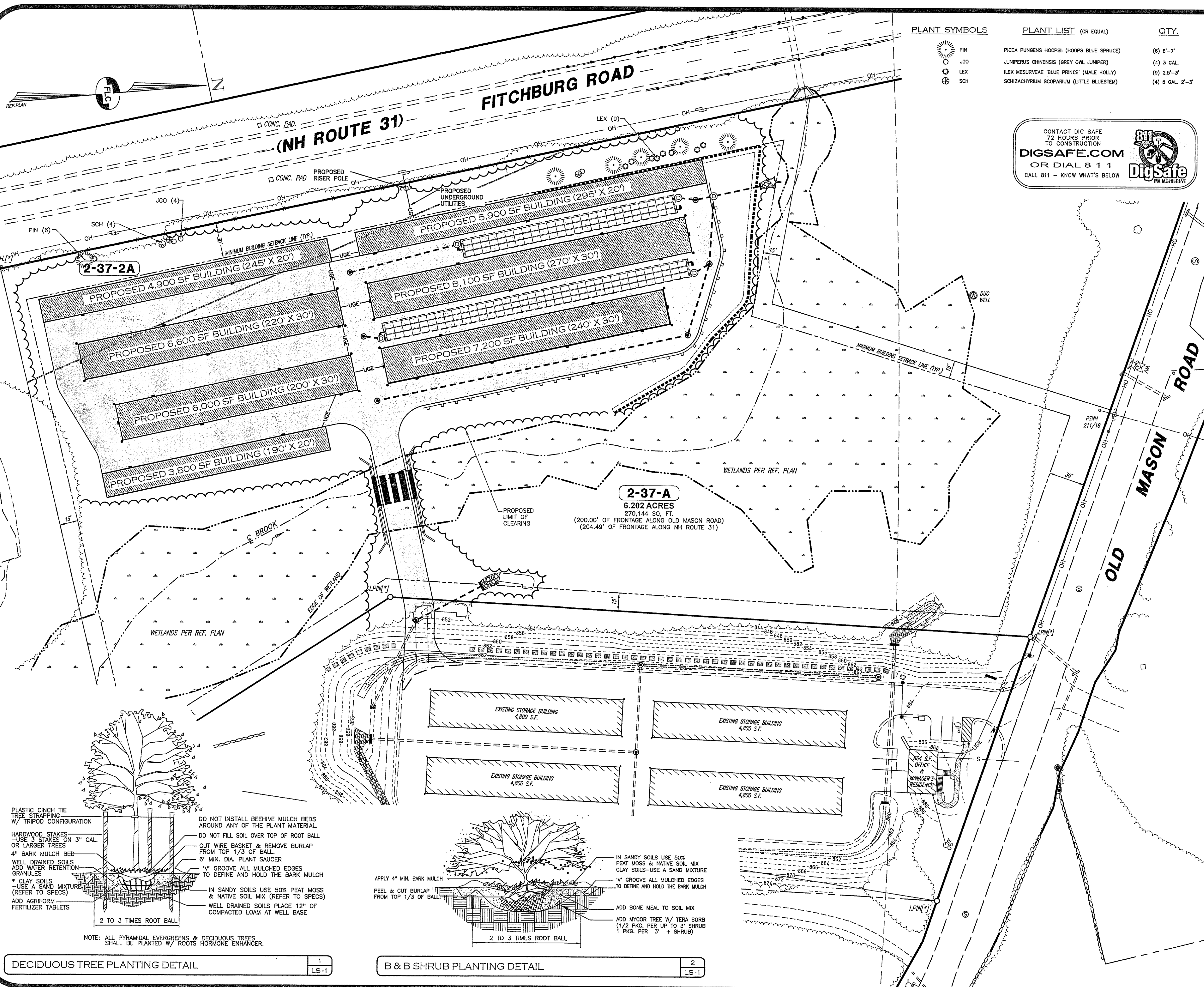
SCALE: 1" = 40' AUGUST 24, 2023

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FILE: 1755SP02.dwg PROJ. NO. 1755.02 SHEET: LT-1 PAGE NO. 5 OF 10



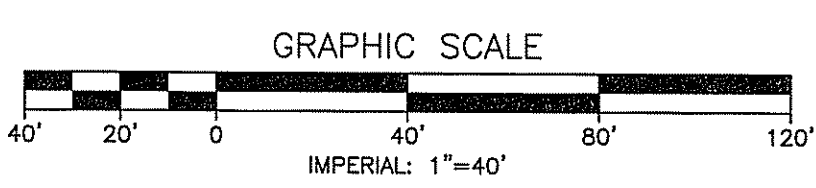
PLANT SYMBOLS	PLANT LIST (OR EQUAL)	QTY.
	PIN	
	JUNIPERUS CHINENSIS (GREY OWL JUNIPER)	(6) 6'-7"
	ILEX MESURVIAE 'BLUE PRINCE' (MALE HOLLY)	(4) 3 GAL
	SCHIZACHYRIUM SCOPARIUM (LITTLE BLUESTEM)	(9) 2.5'-3'
		(4) 5 GAL 2'-3'

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW

- GENERAL CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF GREENVILLE AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF GREENVILLE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (DIAL 811).
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF GREENVILLE FIRE DEPARTMENT REGULATIONS.
 - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
 - ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
 - ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
 - STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH NHDOT SPECIFICATIONS.

- LANDSCAPING NOTES:**
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
 - EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
 - UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
 - UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN.
 - ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
 - IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
 - UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 4" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE SITE PLAN.
 - WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION.
 - ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT THE ENTRANCE AND INTERNAL INTERSECTIONS.
 - ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
 - PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES.

SEE GRADING PLAN FOR LEGEND



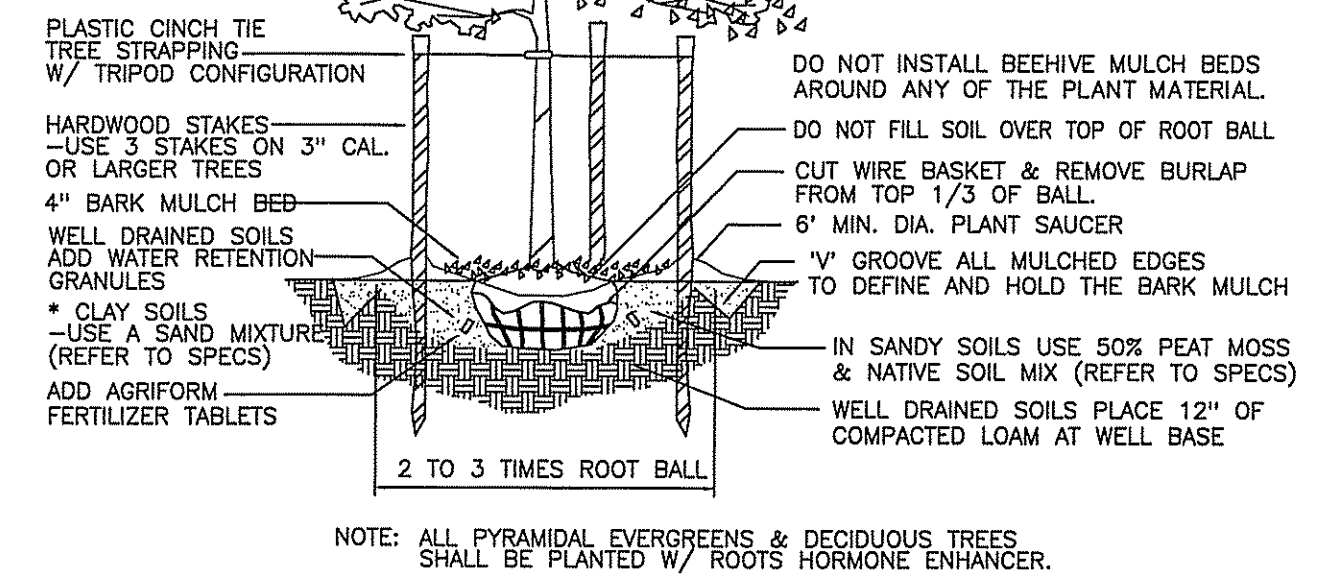
REV.	DATE	DESCRIPTION	C/O	DR	CK

LANDSCAPING & UTILITIES PLAN
TAX MAP 2 LOTS 37-A & 37-2A
(OLD MASON ROAD)
GREENVILLE, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
MICHAEL D. LAMARRE
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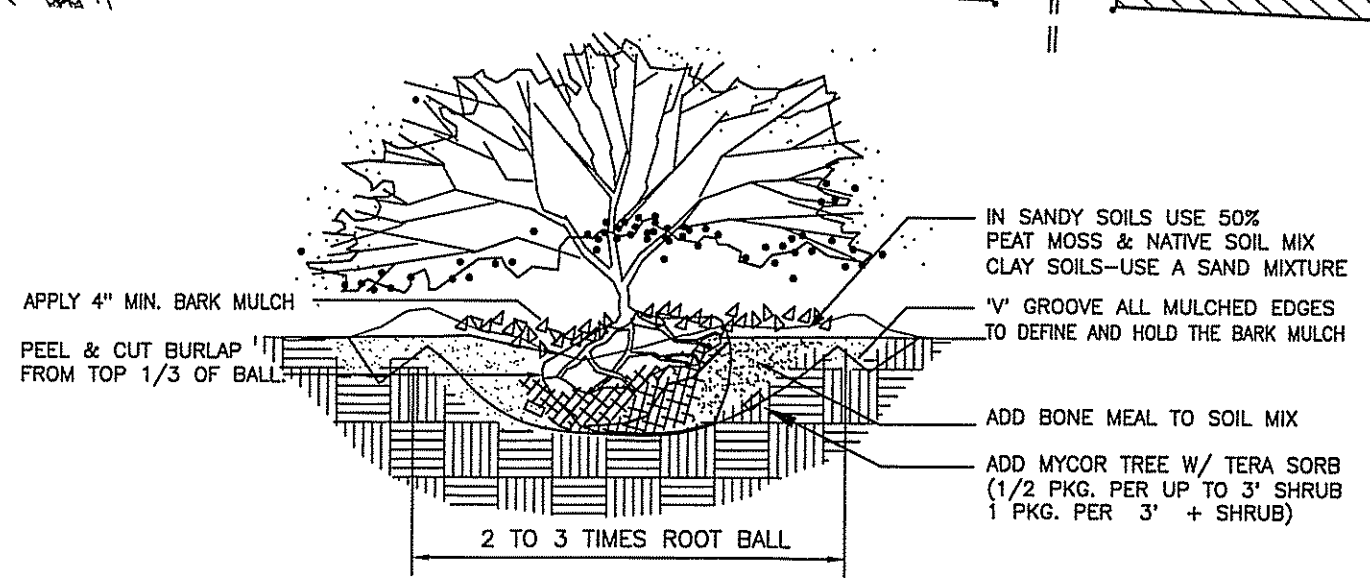
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DECIDUOUS TREE PLANTING DETAIL 1 LS-1



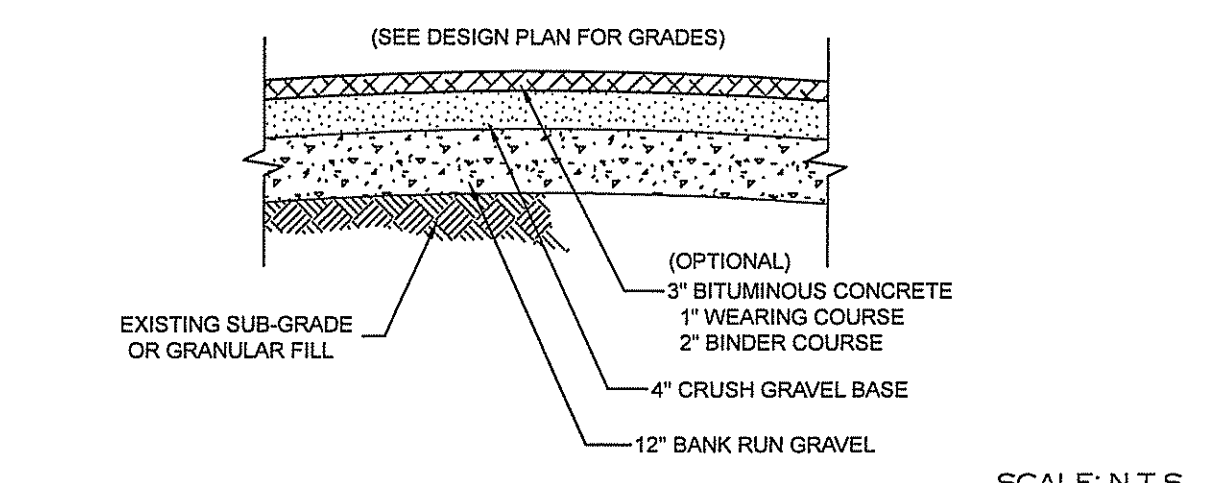
B & B SHRUB PLANTING DETAIL 2 LS-1

- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF GREENVILLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
- COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
- ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

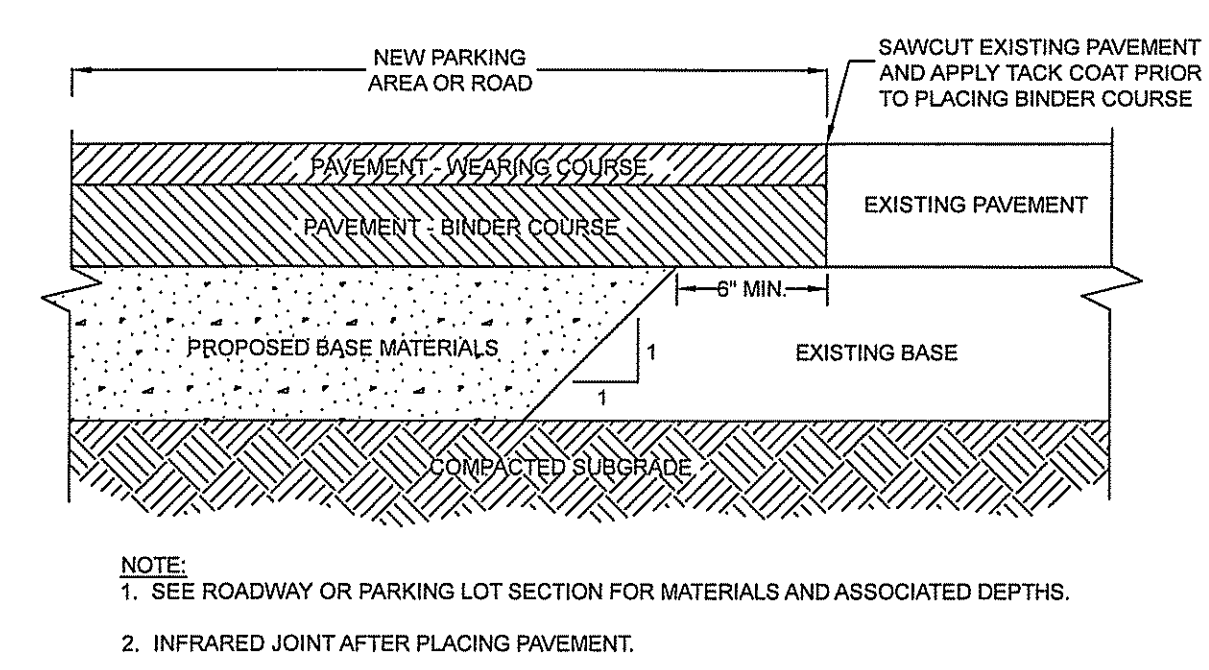
GENERAL CONSTRUCTION NOTES 1 DT-1

- INSTALL STONE CHECK DAMS AND SILTATION CONTROL FENCES IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
- CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE BURIED ON SITE. STUMPS SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
- REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- ROUGH GRADE SITE - CONSTRUCT DRAINAGE CULVERTS, BASINS AND SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- CONSTRUCT STORAGE FACILITIES, ACCESS ROADS AND ASSOCIATED SITE IMPROVEMENTS AS SHOWN. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
- PLACE STONE CHECK DAMS AROUND INLETS AROUND ALL STRUCTURES UNTIL STORAGE FACILITIES AND PAVED AREAS ARE STABLE AND ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER. SILT SACKS MAY BE UTILIZED IN PLACE OF STONE CHECK DAMS ON CATCH BASINS.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
- DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING AND PREPARE FOR LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- FINISH CONSTRUCTING STORAGE FACILITIES AND PAVED/GRAVEL AREAS. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PAVING, IF ANY (SEE EROSION CONTROL NOTES).
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- STORMWATER FLOWS ARE NOT TO BE DIRECTED INTO THE DRAINAGE CULVERTS UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

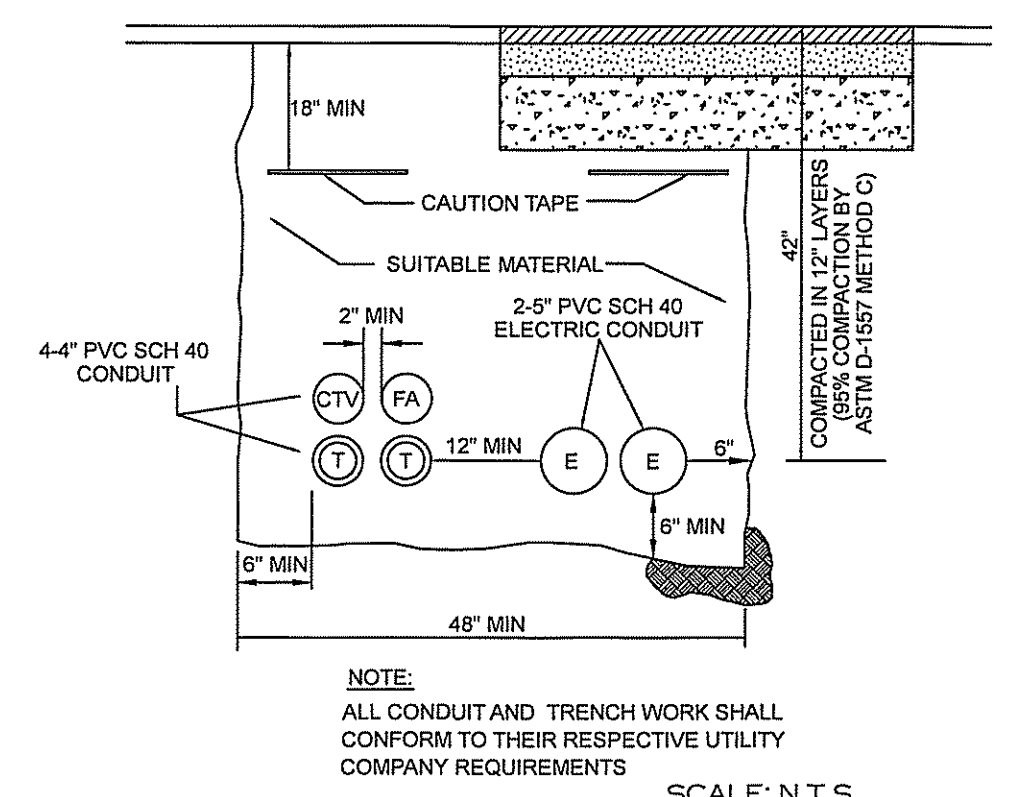
CONSTRUCTION SEQUENCE NOTES 2 DT-1



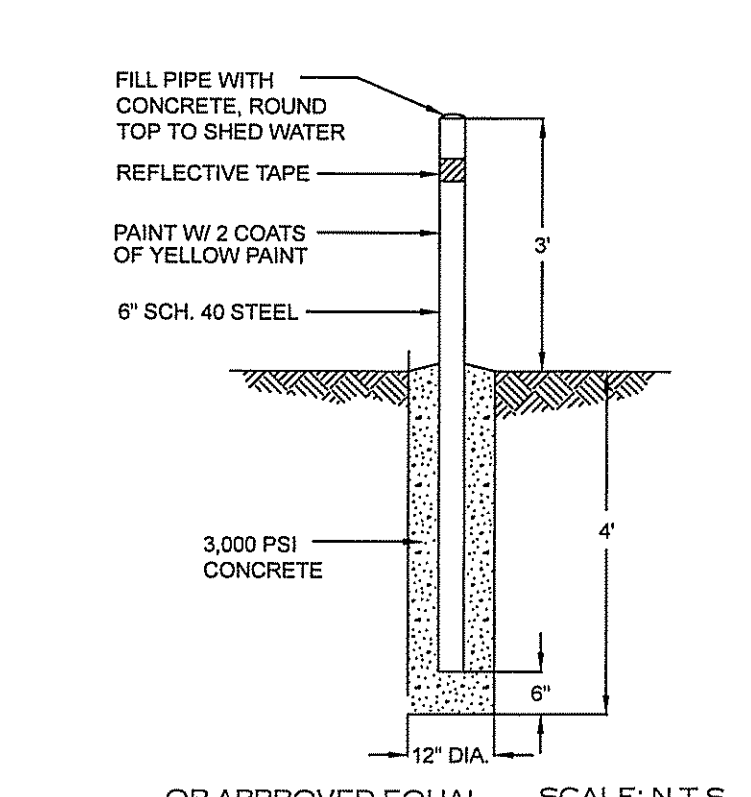
PAVED AREAS/INTERIOR AISLE SECTION 3 DT-1



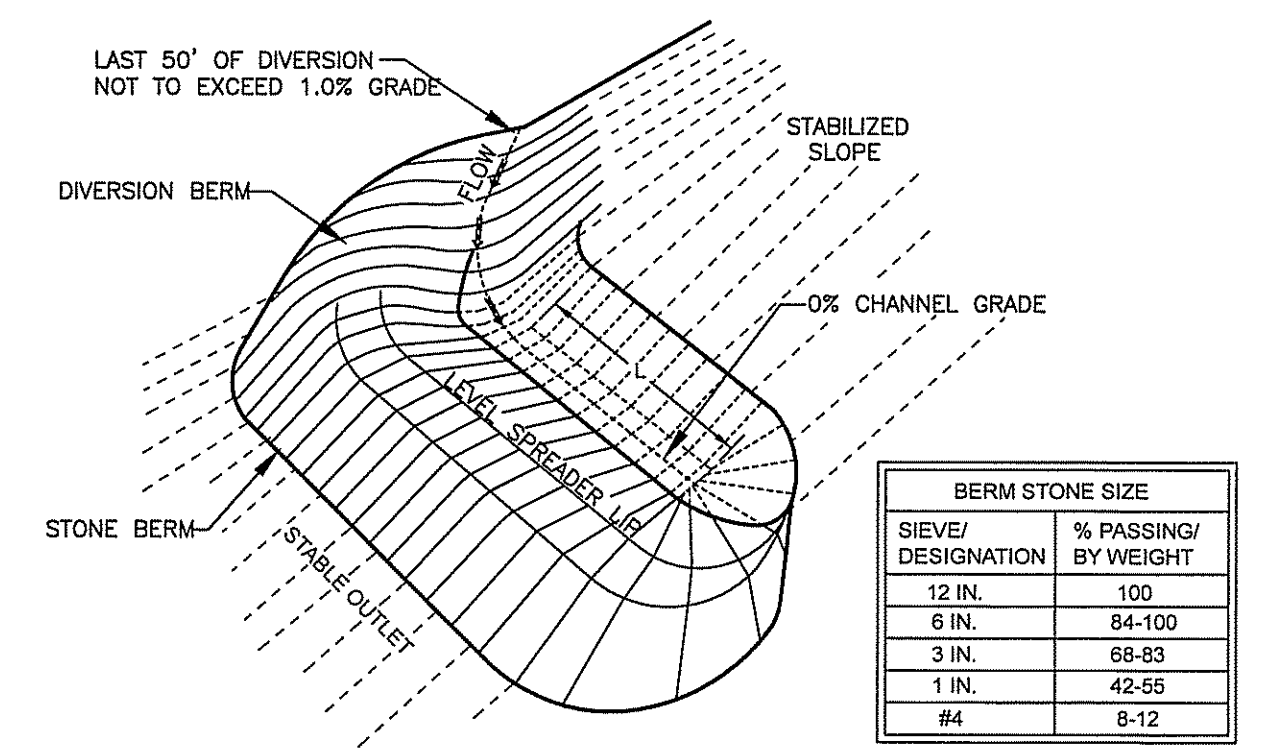
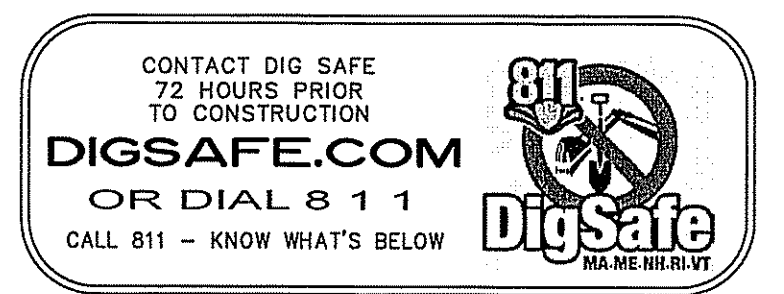
PAVEMENT MATCH 4 DT-1



TYPICAL UTILITY TRENCH 5 DT-1



BOLLARD 8 DT-1



- NOTES:**
- CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
 - LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT FILL.
 - THE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING A STONE BERM 1.5' H X 5' W ALONG THE ENTIRE LENGTH OF THE LIP.
 - THE ENTRANCE CHANNEL TO THE LEVEL SPREADER SHALL NOT EXCEED A 1 PERCENT GRADE FOR AT LEAST 50 FEET BEFORE ENTERING INTO THE SPREADER.
 - THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
 - PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.

STONE BERM LEVEL SPREADER 11 DT-1

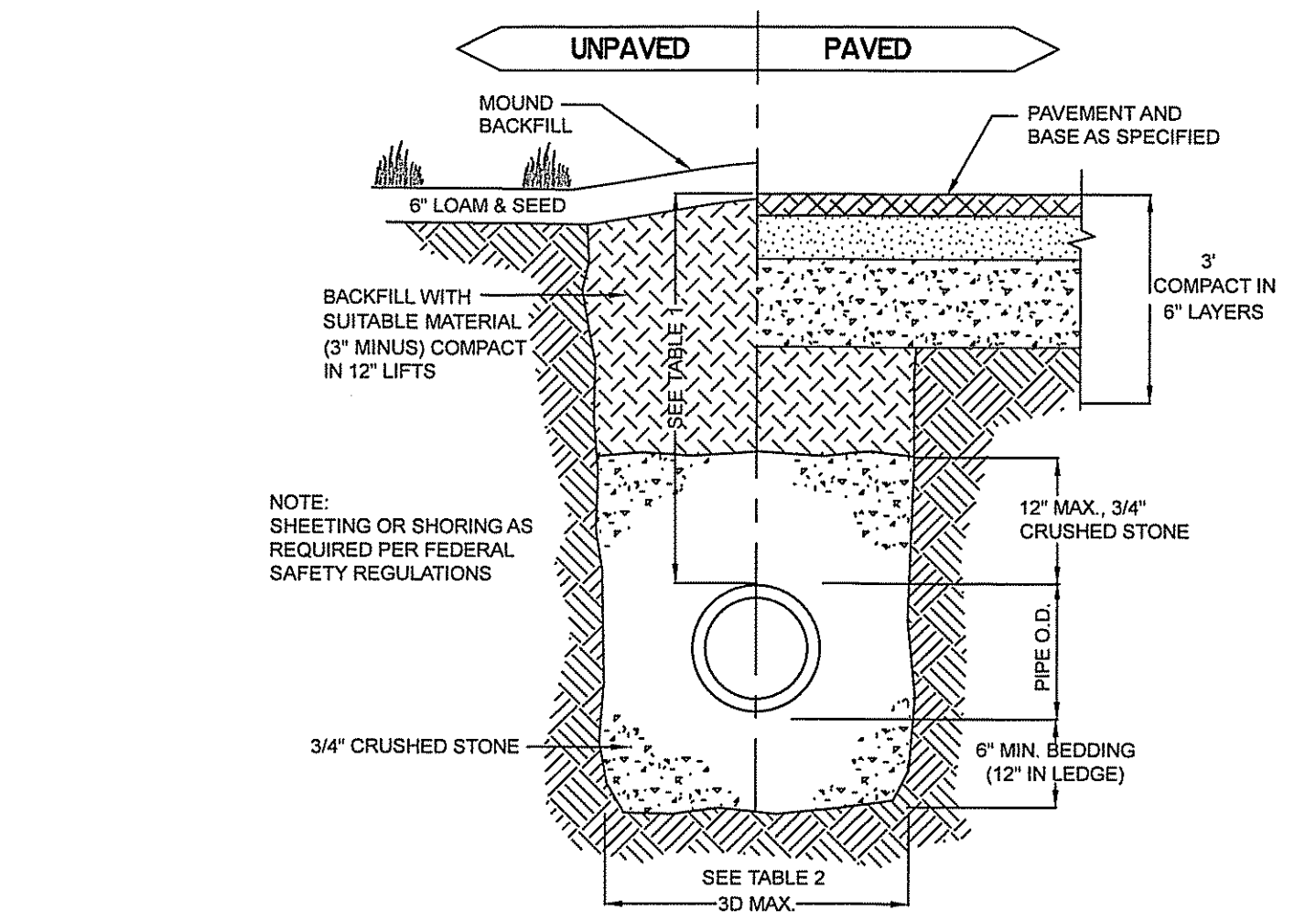
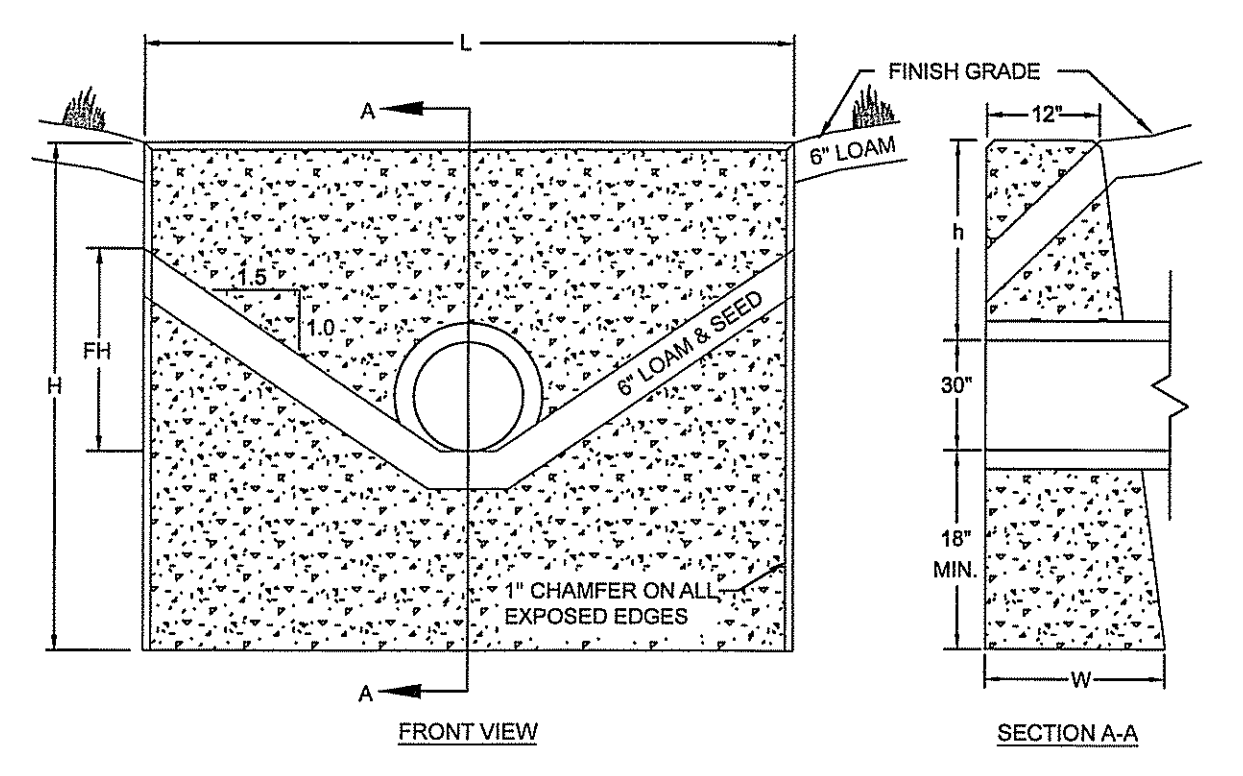


TABLE 1 (RECOMMENDED COVER)		
LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
UNPAVED ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

TABLE 2 (RECOMMENDED TRENCH WIDTH)		
INSIDE DIAMETER	TOTAL WIDTH	
12" TO 24"	I.D. + 24"	
OVER 24"	2 x I.D.	

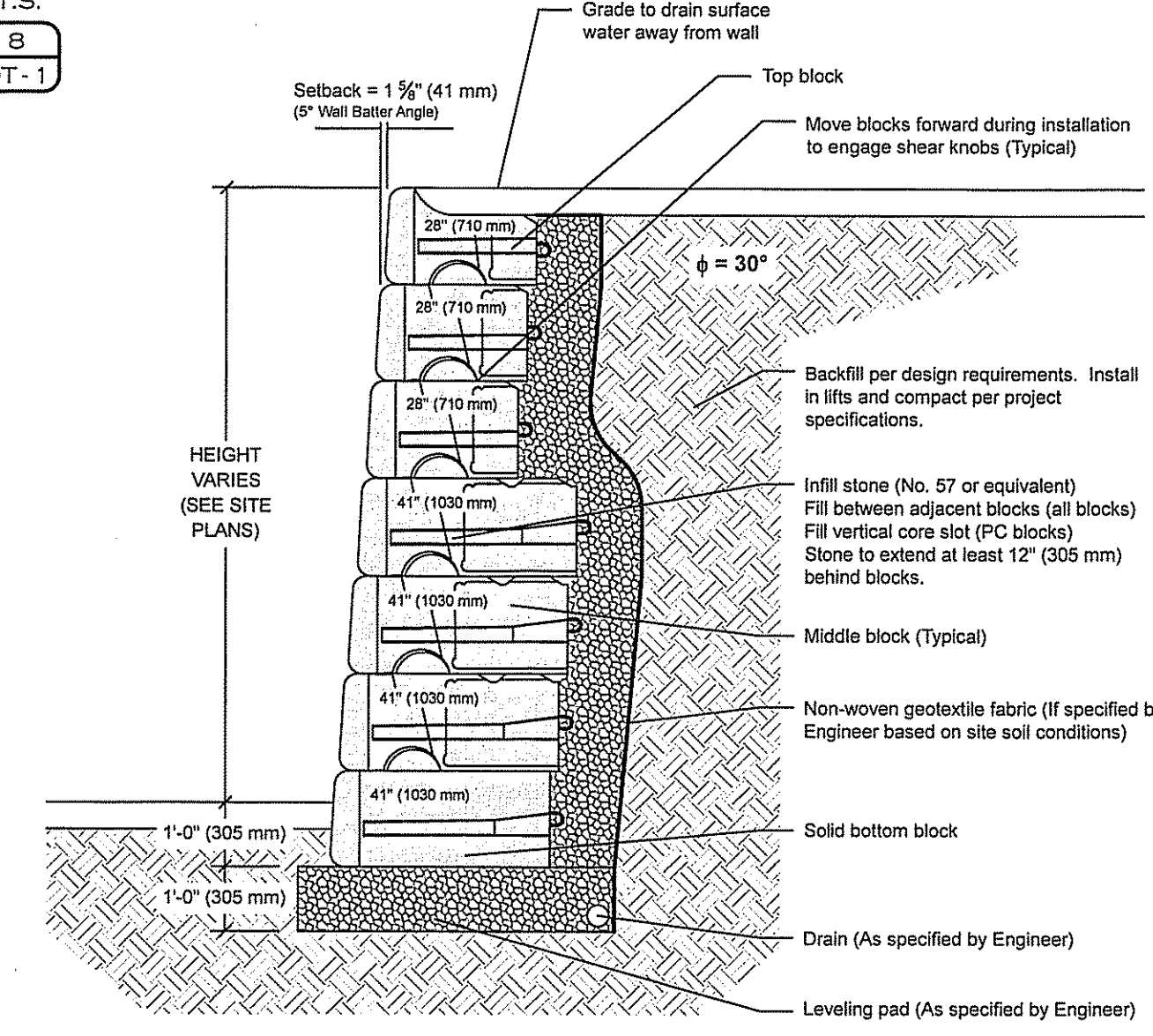
DRAINAGE TRENCH (TYPICAL) 6 DT-1



CULVERT DIAM.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	TOP HEIGHT	HEADWALL BOTTOM
D	L	H	FH	h	W
INCHES					
12	4'-3"	3'-9"	1'-1"	1'-3"	1'-11.25"
16	6'-0"	4'-3"	1'-7"	1'-8"	2'-0.75"
18	7'-0"	4'-6"	1'-10"	1'-8"	2'-1.50"
24	9'-0"	5'-0"	2'-4"	1'-8"	2'-3.00"
30	11'-0"	5'-6"	2'-10"	1'-8"	2'-4.50"
36	13'-0"	6'-0"	3'-4"	1'-8"	2'-8.00"
48	17'-9"	7'-3"	4'-7"	1'-8"	2'-9.75"

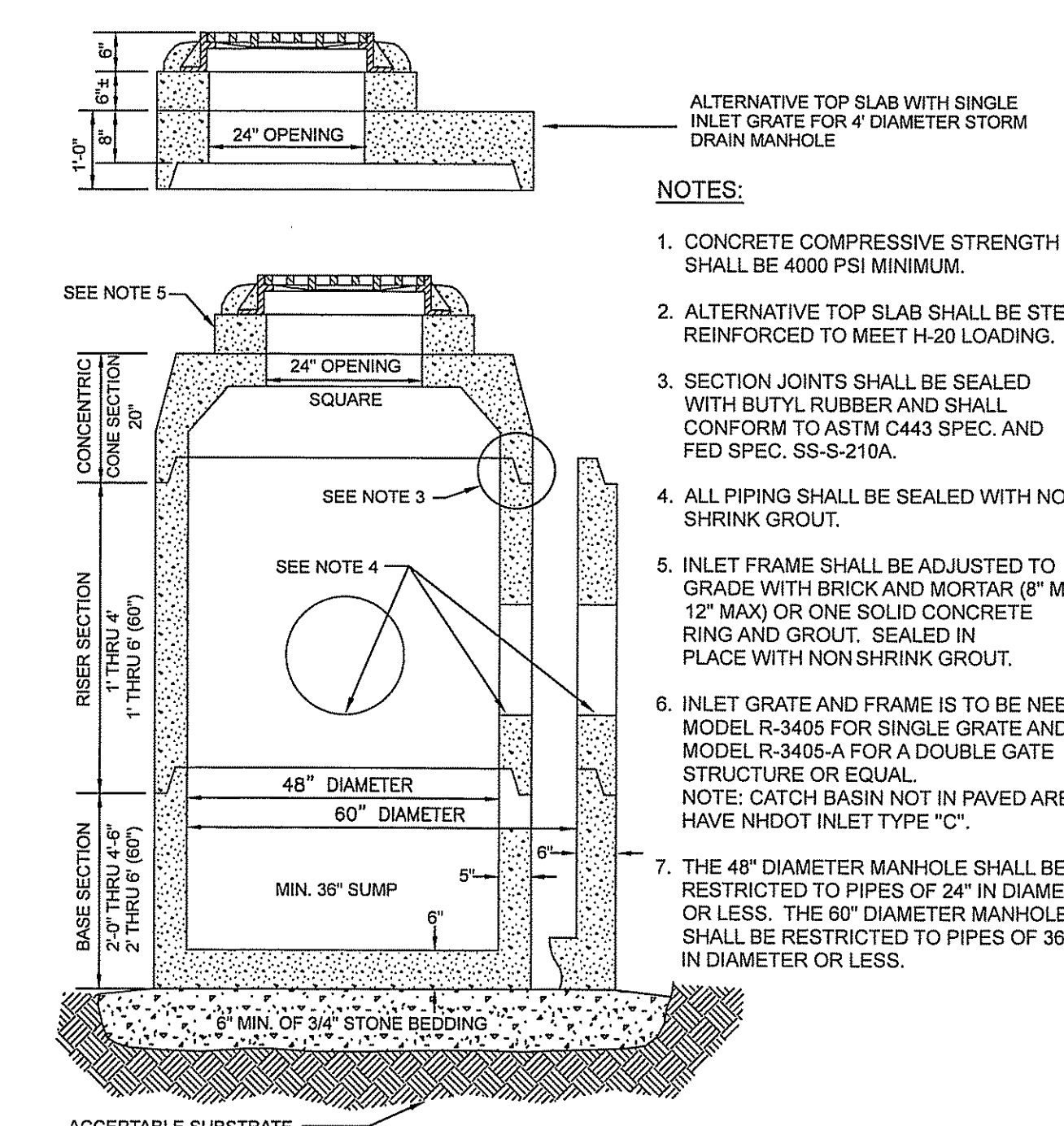
HEADWALL SHALL BE STEEL REINFORCED AND CONFORM TO NHDOT STANDARD SPECIFICATIONS

HEADWALL - PRECAST CONCRETE (OR EQUAL) 7 DT-1

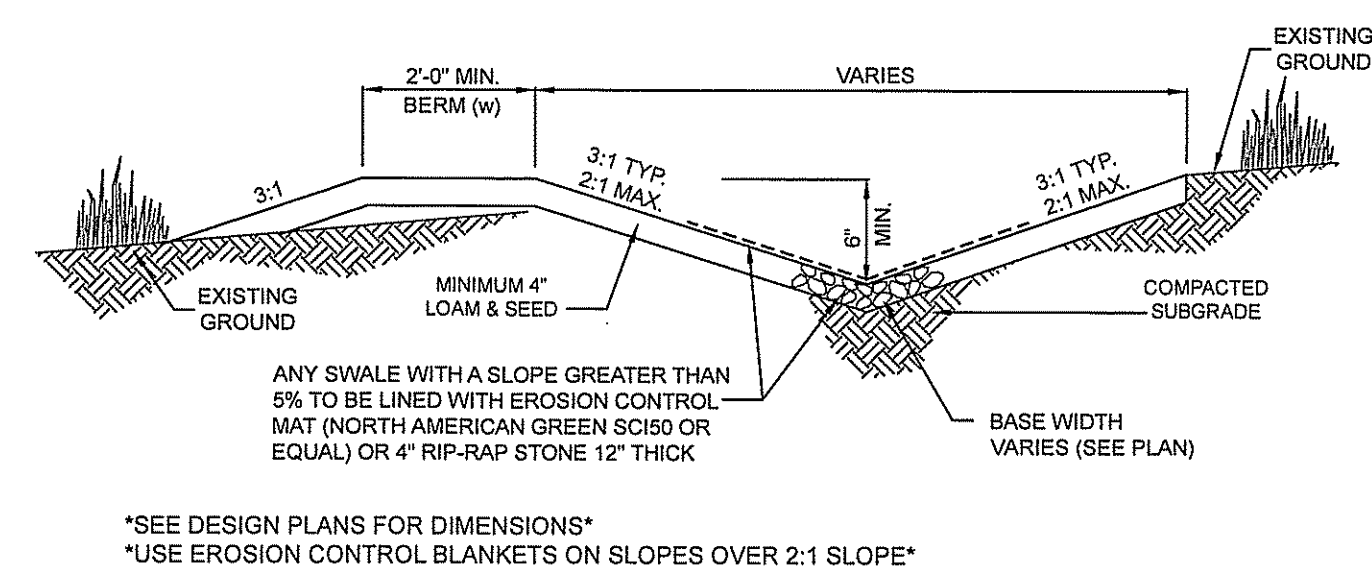


This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project design, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site. Final wall design must address both internal and external drainage and all modes of wall stability.

REDI-ROCK RETAINING WALL (OR EQUAL) 9 DT-1



CATCH BASIN 10 DT-1



TYPICAL SWALE DETAIL W/ RIPRAP/ECB 12 DT-1

REV.	DATE	DESCRIPTION	C/O	DR	CK

CONSTRUCTION DETAILS
TAX MAP 2 LOT 37-A & 37-2A
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GREENVILLE, NEW HAMPSHIRE
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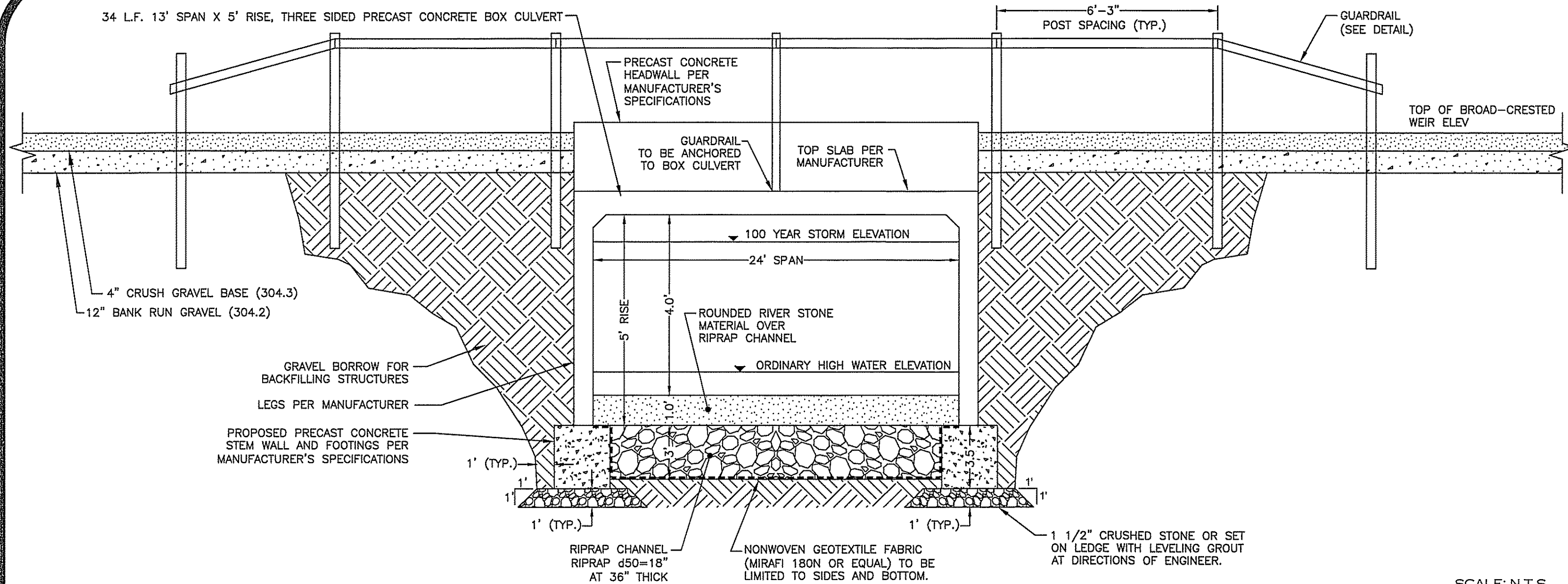
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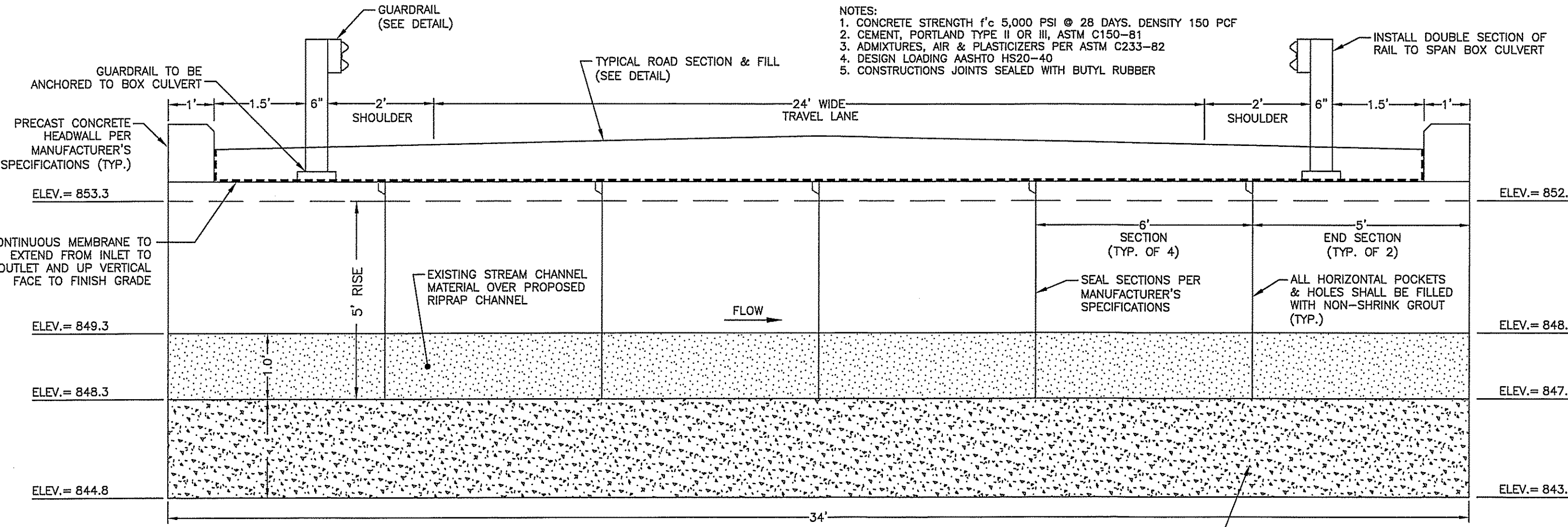
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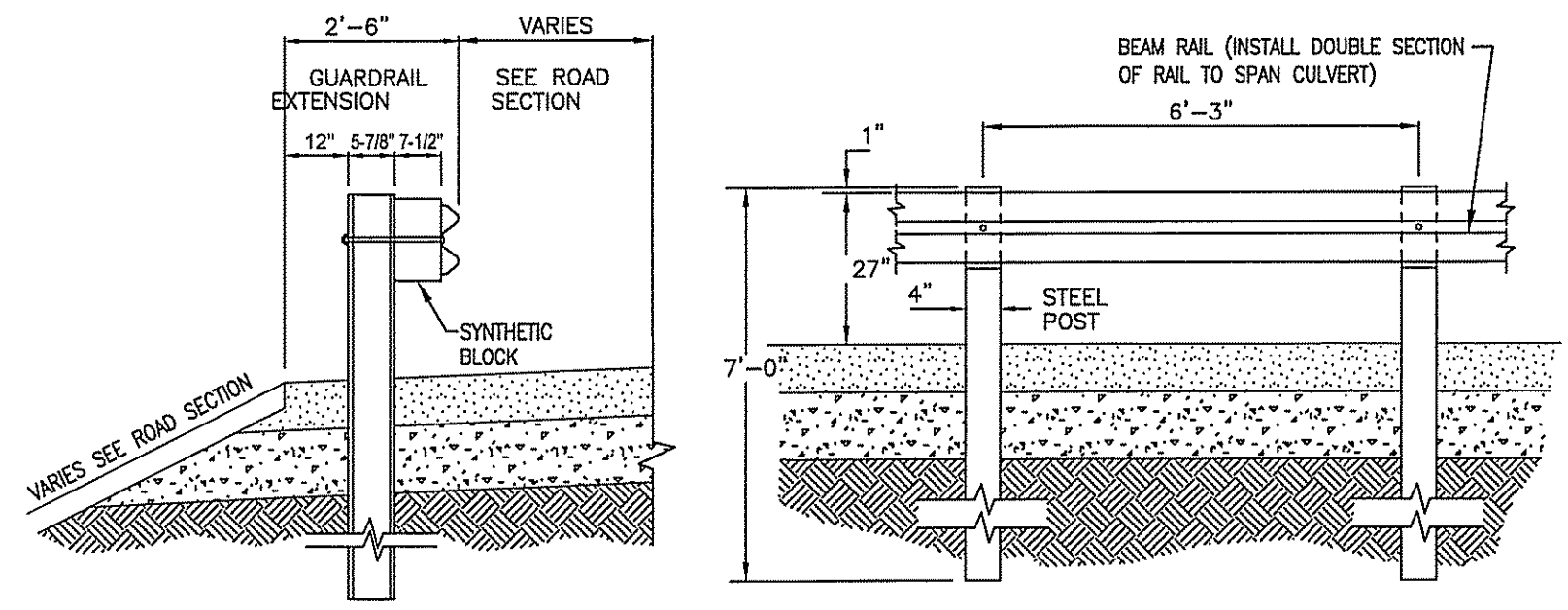
TYPICAL BOX CULVERT/ROADWAY PROFILE

1	DT-2
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BOX CULVERT PROFILE VIEW

2	DT-2
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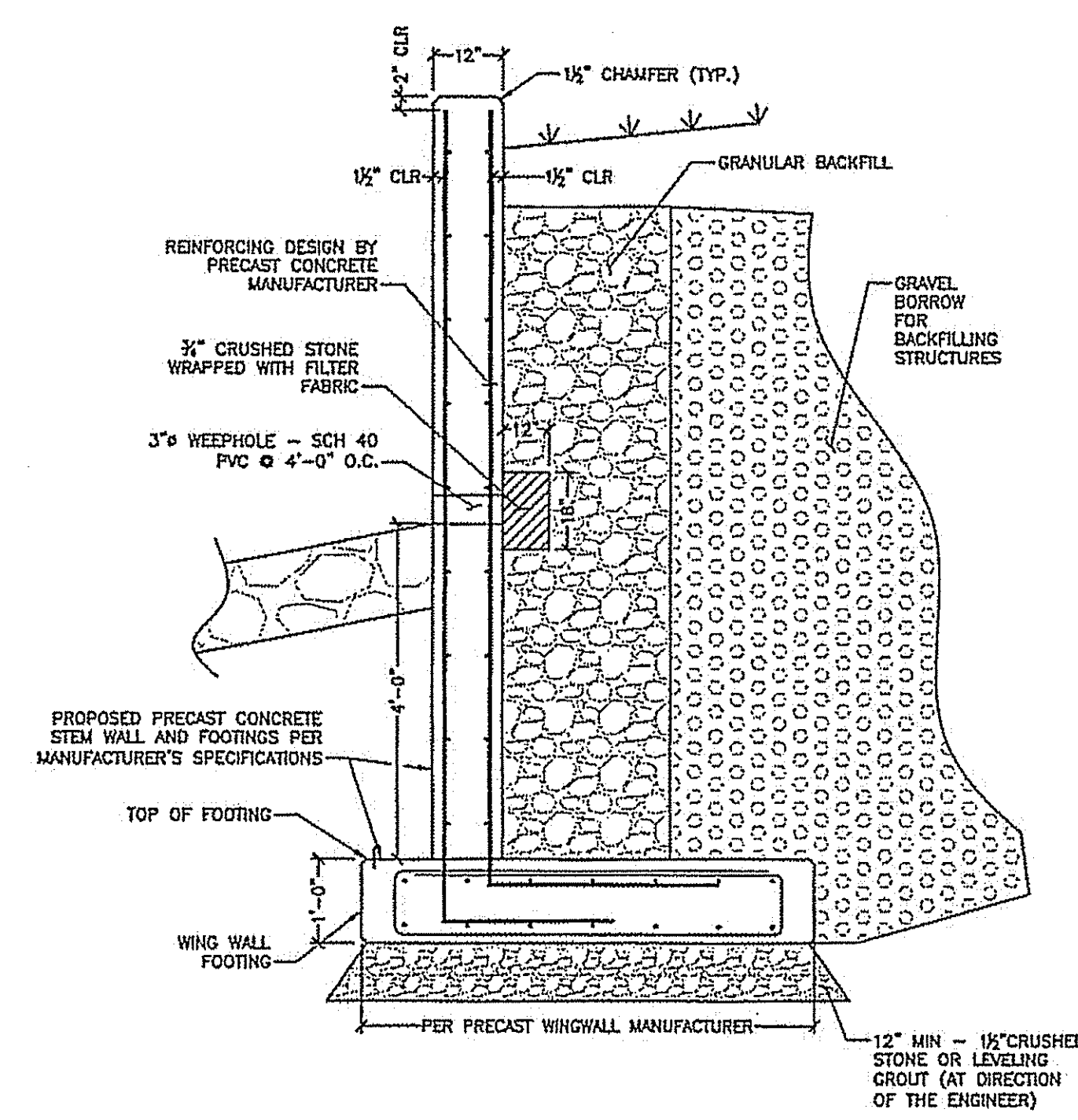


1. ALL MATERIALS AND CONSTRUCTION REQUIREMENTS SHALL CONFORM TO "NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS SET FORTH IN SECTION 606, 2016 EDITION.
2. ALL GUARDRAIL SHALL BE STEEL BEAM GUARDRAIL WITH W6X9 STEEL POST AND SYNTHETIC OFFSET BLOCK (606.120).
3. THE END TREATMENT FOR EACH SEGMENT OF RAIL SHALL BE A 25 FT. ENERGY ABSORBING GUARDRAIL TERMINAL (EAGT) AS SPECIFIED ABOVE.
4. ALL RAIL MATERIALS SHALL BE GALVANIZED STEEL AND IS SUBJECT TO THE APPROVAL OF THE NH DOT.

3	DT-2
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1. THE RIGID FRAME BOX CULVERT STRUCTURE INCLUDING THE HEADWALLS SHALL BE PRECAST CONCRETE. THE FOOTINGS SHALL BE PRECAST CONCRETE. THE DESIGN OF THIS BRIDGE SHALL BE THE RESPONSIBILITY OF THE FABRICATOR AND SHALL BE STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN NEW HAMPSHIRE.
2. THE RIGID FRAME STRUCTURE DIMENSIONS, I.E. SLAB THICKNESS AND LEG THICKNESS SHALL BE PER MANUFACTURER'S SPECIFICATIONS.
3. THE CONTRACTOR SHALL VERIFY THAT THE DESIGN CALCULATIONS FOR THE STRUCTURE WERE PREPARED IN ACCORDANCE WITH THE LATEST AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS AND THE NH DOT BRIDGE MANUAL, WHILE USING ENGLISH UNITS FOR HL-93 LOADING. THE DESIGN, CALCULATIONS AND DRAWINGS SHOULD BE PREPARED AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN NEW HAMPSHIRE.
4. AFTER RIGID FRAME STRUCTURE SECTIONS HAVE BEEN SET IN THEIR FINAL POSITION ALL RIGID FRAME STRUCTURE JOINTS AND ALL LIFTING HOLES SHALL BE FILLED WITH AN OVERHEAD AND VERTICAL CEMENTITIOUS CONCRETE REPAIR MATERIAL APPROVED BY THE ENGINEER. THE REPAIR MATERIAL SHALL BE CURED AS SPECIFIED BY THE MANUFACTURER.
5. THE ENTIRE TOP AND SIDES OF THE RIGID FRAME STRUCTURE SHALL BE COVERED WITH MEMBRANE PROCEEDING FROM OUTLET TO INLET. THE MEMBRANE SHEETS SHALL OVERLAP THE EDGES OF THE STRUCTURE BY 1 FOOT ON EACH SIDE. THE MEMBRANE SHALL EXTEND 4" VERTICALLY UP THE FACE OF THE INLET AND OUTLET.
6. WATER REPELLENT SHALL BE APPLIED TO ALL EXPOSED SURFACES EXCEPT THE INSIDE OF THE RIGID FRAME.
7. REINFORCING FOR THE HEADWALL SHALL BE DESIGNATED IN ACCORDANCE WITH CHAPTER 13 OF THE AASHTO LRFD BRIDGE SPECIFICATIONS FOR A NCHRP350 TL2 TEST LEVEL.

4	DT-2
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TYPICAL WINGWALL DETAIL

5	DT-2
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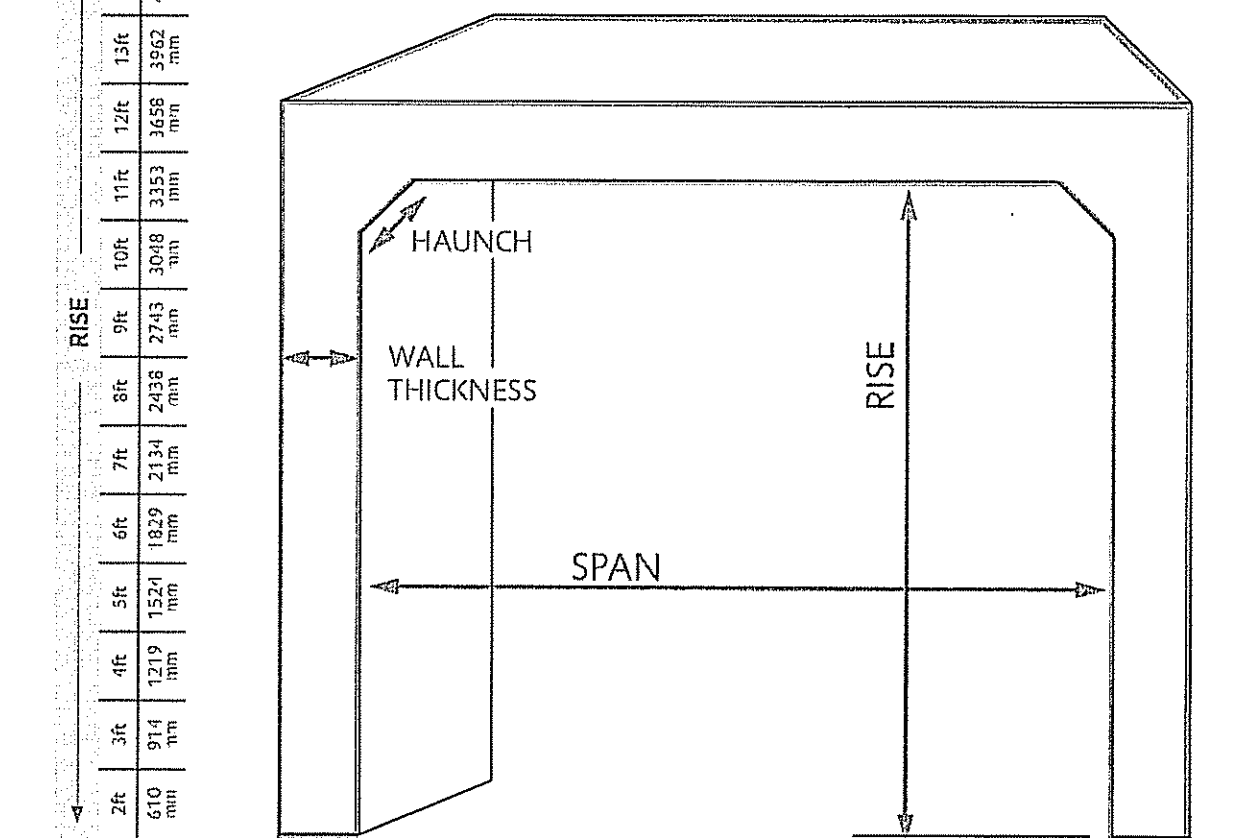
7	DT-2
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STRUCTURAL NOTES

1. NO CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
2. DESIGN LOADING: HL-93 IN ACCORDANCE WITH THE 2014 AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS WITH INTERIM SPECIFICATIONS THROUGH 2017 FOR HL-93 LOADING.
3. SPECIFICATIONS: LATEST VERSION OF THE AASHTO AND NH DOT STANDARD SPECIFICATIONS AS AMENDED.
4. ALL FINISHED EXCAVATIONS SHALL BE VERIFIED AND APPROVED BY THE ENGINEER PRIOR TO PRECAST SECTION DELIVERY.
5. CONCRETE: PRECAST RIGID FRAME, HEADWALLS, AND OTHER PRECAST COMPONENTS SHALL BE A MINIMUM OF 5,000 PSI @ 28 DAYS.
6. UNLESS SPECIFICALLY NOTED, ALL CONCRETE SHALL BE REINFORCED WITH EPOXY COATED REBAR.
7. REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M31 GRADE 60.
8. IF THE REINFORCING BARS ARE SPACED 6" OR MORE ON CENTER, THE LAP LENGTH SHALL BE 80% OF THE LAP LENGTH GIVEN ABOVE.
9. CONCRETE COVER OVER REINFORCING BARS SHALL BE 2" UNLESS OTHERWISE NOTED.
10. SCHEDULE WITH THE SHOP DRAWING ALL NECESSARY ACCESSORIES TO HOLD REINFORCING SECURELY IN POSITION. MINIMUM REQUIREMENTS SHALL BE: HIGH CHAIRS = 48" ON CENTERS; SLAB BOLSTERS = 42" ON CENTERS; SUPPORT BARS FOR HIGH CHAIRS = #5.
11. ALL BARS EXCEPT OTHERWISE NOTED, SHALL BE RUN CONTINUOUSLY AROUND CORNERS, LAPPED AT NECESSARY SPLICES, AND HOOKED AT DISCONTINUOUS ENDS. ALL REINFORCING SHALL COMPLY WITH THE NH DOT BRIDGE DESIGN MANUAL.
12. ALL REINFORCING SHALL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO CONCRETE DELIVERY.
13. RIGID FRAME, HEADWALL REINFORCING: GRADE 60 EPOXY COATED; ALL OTHER REINFORCING STEEL: AASHTO M31 (ASTM A615) GRADE 60.
14. CONCRETE PROTECTIVE COVERING FOR MAIN REINFORCEMENT SHALL BE THE FOLLOWING, UNLESS SHOWN OTHERWISE:
- FORMED SURFACES IN DIRECT CONTACT WITH SOIL OR EXPOSED TO WEATHER (EXCEPT IN SLABS) = 2 INCHES
- FOOTING BOTTOMS = 3 INCHES
15. ALL EXPOSED PRECAST CONCRETE EDGES TO HAVE 1/2" CHAMFER UNLESS OTHERWISE NOTED.
16. ALL HEADWALLS AND RIGID FRAME SURFACES TO RECEIVE (2) TWO COATS OF ADVANCE CHEMICAL TECHNOLOGIES SIL-ACT AT5-100LV OR NH DOT APPROVED EQUAL.
17. CAST IN PLACE CONCRETE TO BE 5,000 PSI, 5±% AIR, 4" MAX SLUMP, 642 LBS TYPE II CEMENT.
18. FOUNDATIONS MAY BE ALTERED, IF DETERMINED NECESSARY BY THE ENGINEER TO SUITE CONDITIONS ENCOUNTERED DURING CONSTRUCTION. ANY PROPOSED ALTERATIONS MUST BE SUBMITTED IN WRITING AND APPROVED BY THE ENGINEER PRIOR TO PROCEEDING.
19. FOR PRE-FABRICATED STRUCTURES, THE CONTRACTOR SHALL SUBMIT THE FABRICATOR'S DESIGN CALCULATIONS AND SHOP DRAWINGS TO THE MUNICIPALITY'S DESIGNER OF RECORD FOR REVIEW AND ACCEPTANCE.
20. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING AND SHALL DISCUSS HIS METHODS WITH THE ENGINEER PRIOR TO THE START OF WORK.

AVAILABLE 3-SIDED BOX CULVERT SIZES:

RISE	SPAN															
	2ft	3ft	4ft	5ft	6ft	7ft	8ft	9ft	10ft	11ft	12ft	13ft	14ft	15ft	16ft	
4ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
5ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
6ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
7ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
8ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
9ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
10ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
11ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
12ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
13ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
14ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
15ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	
16ft	610	914	1219	1524	1829	2134	2438	2743	3048	3353	3658	3962	4267	4572	4877	



- NOTES:
1. DIMENSIONS SHALL BE PER MANUFACTURER'S SPECIFICATIONS.
 2. FOUNDATION MATERIAL SHALL BE 1 1/2" CRUSHED STONE, MINIMUM 12" THICK.
 3. 1 1/2" BANK RUN GRAVEL SHALL BE USED FOR BACKFILL OPERATIONS SURROUNDING CULVERT. BACKFILL SHALL BE PLACED IN MAXIMUM 12" LOOSE LIFTS. IT SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY MODIFIED PROCTOR METHOD (ASTM 1557). ALL COMPACTION SHALL BE DONE WITH HAND-OPERATED COMPACTION EQUIPMENT.

6	DT-2
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CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 8 1 1
 CALL 811 - KNOW WHAT'S BELOW

REV.	DATE	DESCRIPTION	C/O	DR	CK

CONSTRUCTION DETAILS
TAX MAP 2 LOT 37-A & 37-2A
(OLD MASON ROAD)
GREENVILLE, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
MICHAEL D. LAMARRE
 P.O. BOX 495, GREENVILLE, NH 03048

SCALE: AS SHOWN AUGUST 24, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
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EROSION CONTROL (GENERAL CONSTRUCTION)

- PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION.
- THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
- DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED AND THE AREA IS PROPERLY MAINTAINED;
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL), UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.
- ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
- ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 4 INCHES OF COMPACT LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

PERMANENT SEED (LAWN AREAS)	POUNDS / 1,000 SQUARE FEET
CREeping RED FESCUE	0.92 LBS
PERENNIAL RYEGRASS	1.15 LBS
KENTUCKY BLUEGRASS	0.58 LBS
REDTOP	0.12 LBS

 APPLICATION RATE TOTALS 2.8 LBS PER 1,000 SF

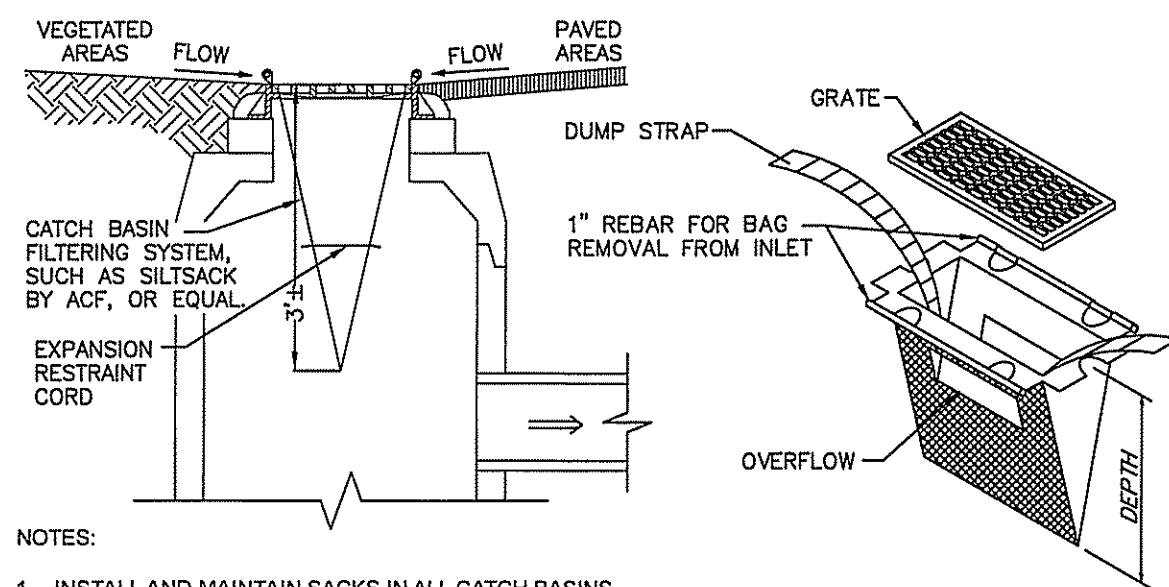
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
- CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
- IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
- FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.

EROSION CONTROL (WINTER CONSTRUCTION)

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

EROSION CONTROL NOTES

1
DT-3

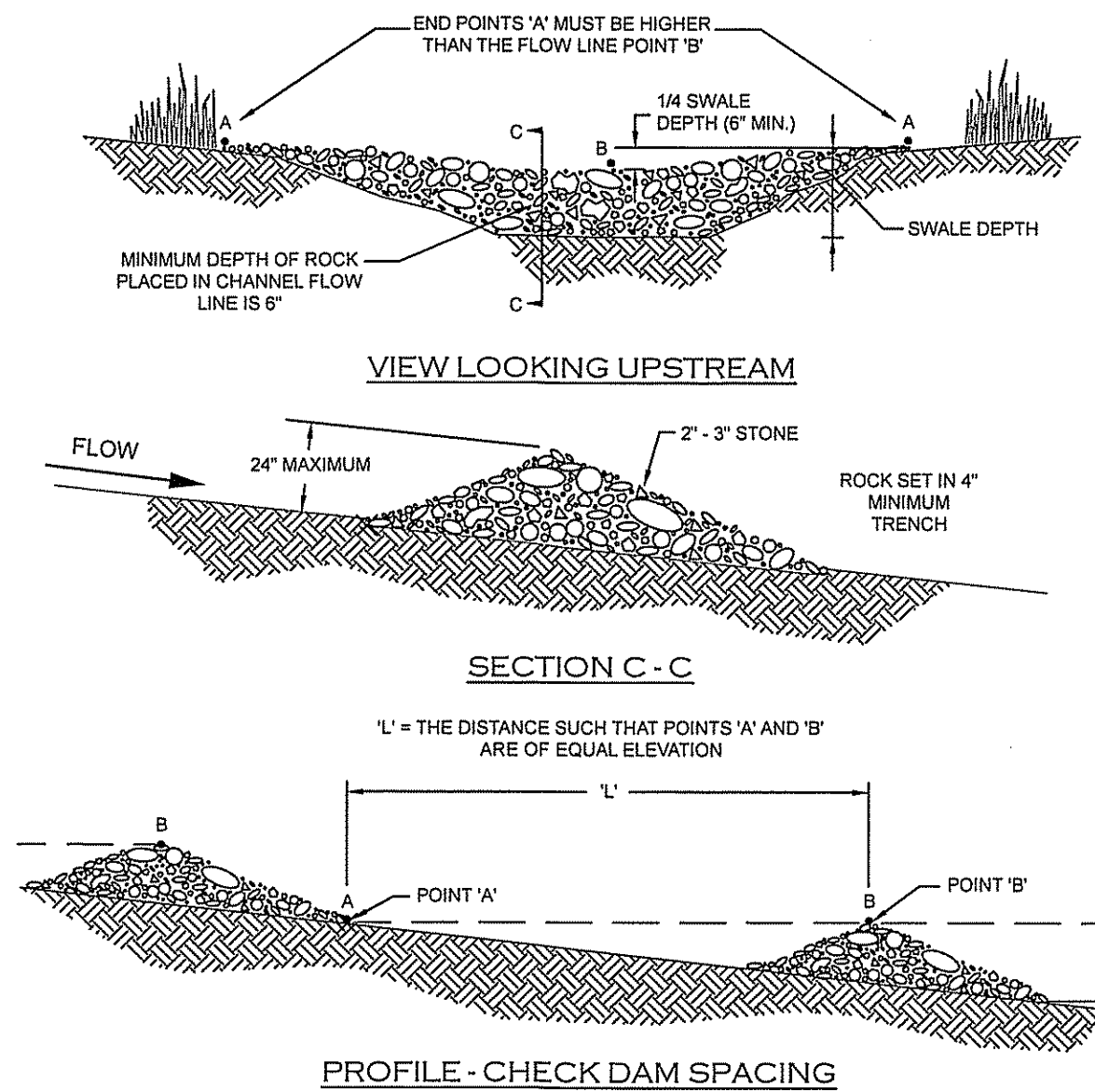


- NOTES:
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
 - TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
 - THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
 - THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURERS RECOMMENDATIONS.
 - REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

SCALE: N.T.S.

SILT SACK SEDIMENT FILTER

2
DT-3

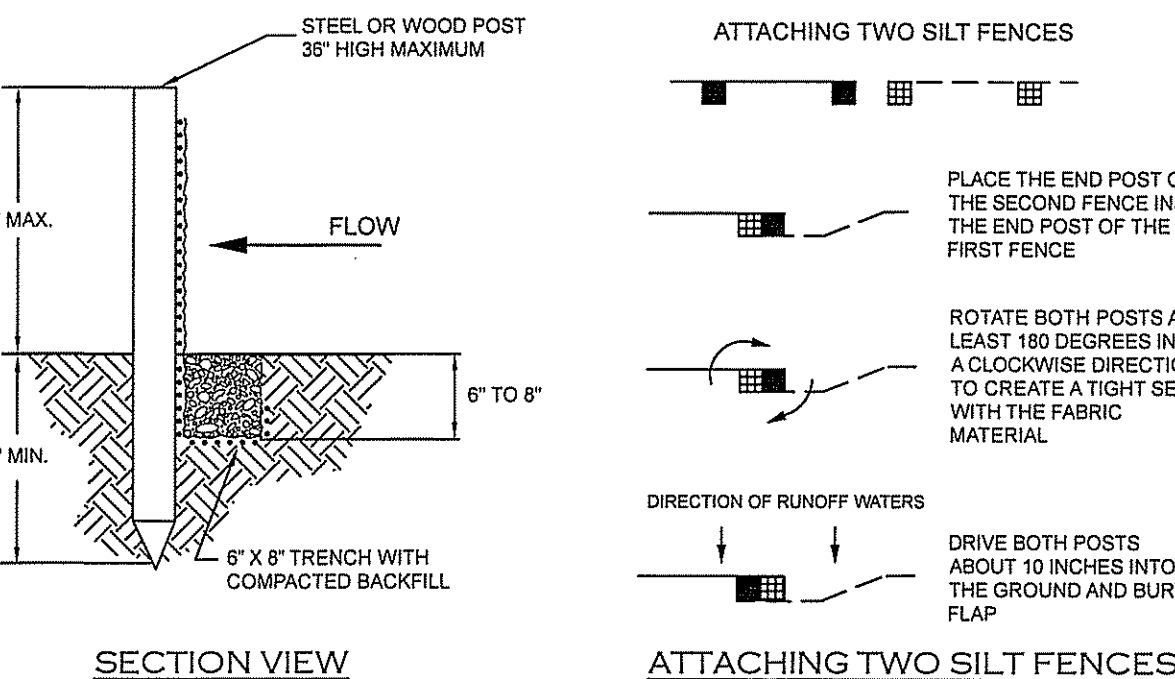
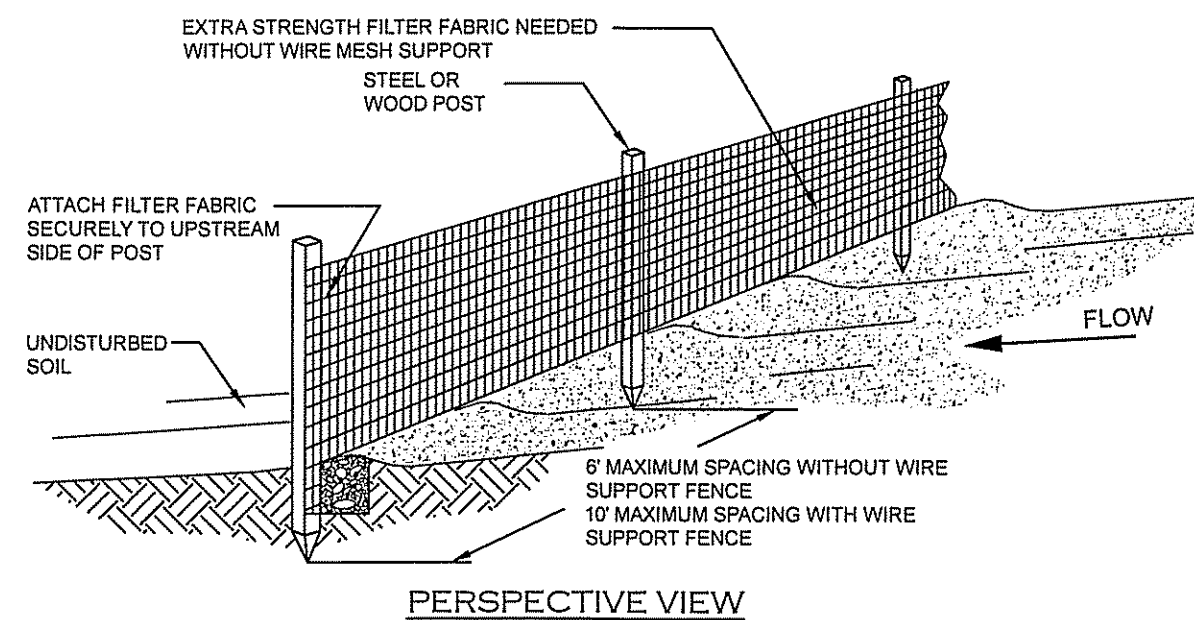


- NOTES:
- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
 - STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
 - STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADE FACE IS RECOMMENDED FOR BETTER FILTERING.
 - WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
 - STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

SCALE: N.T.S.

STONE CHECK DAM

3
DT-3

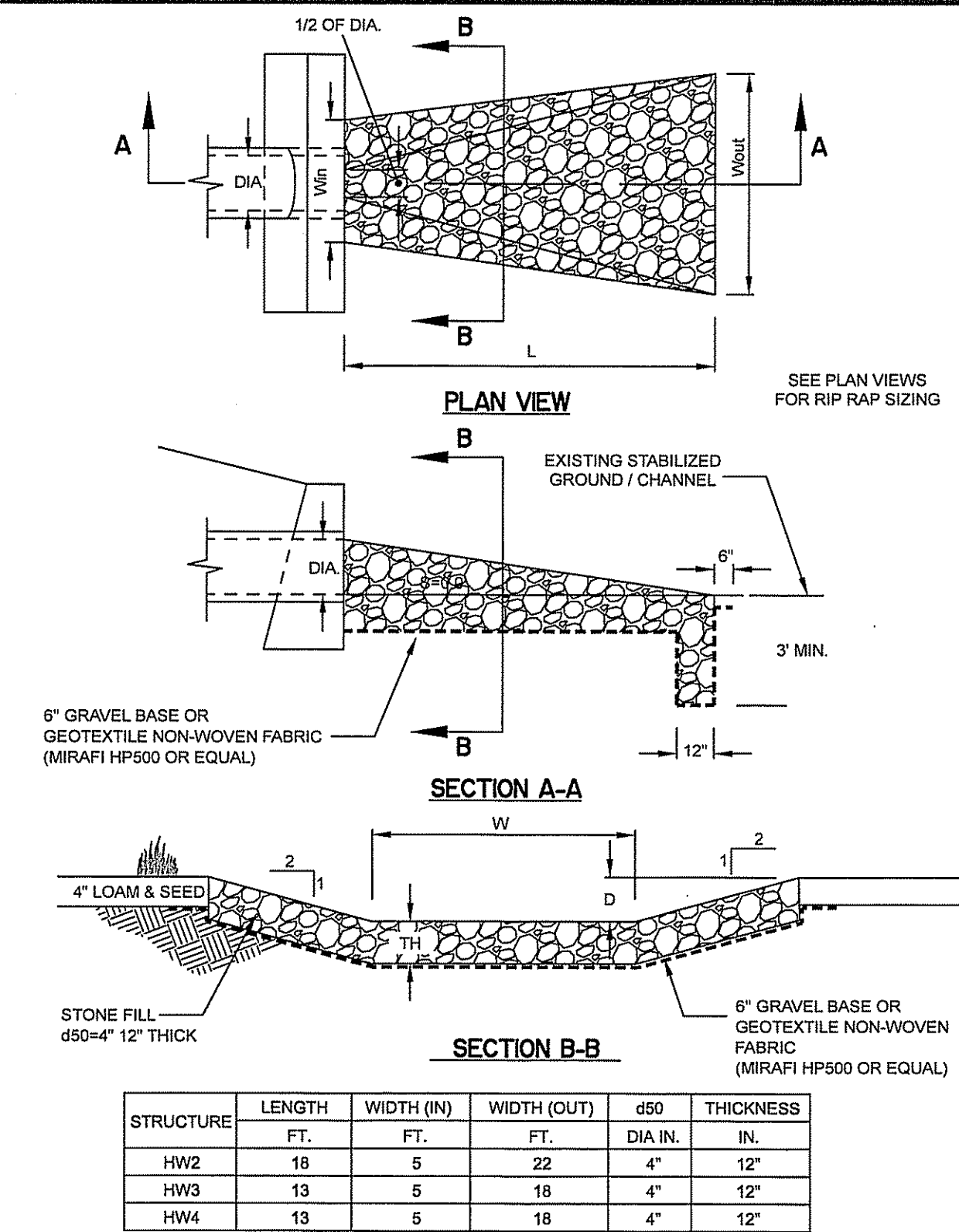


- NOTES:
- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
 - SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
 - IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 6 INCHES OF 3/4-INCH STONE.
 - SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
 - THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SCALE: N.T.S.

SILT FENCE

4
DT-3

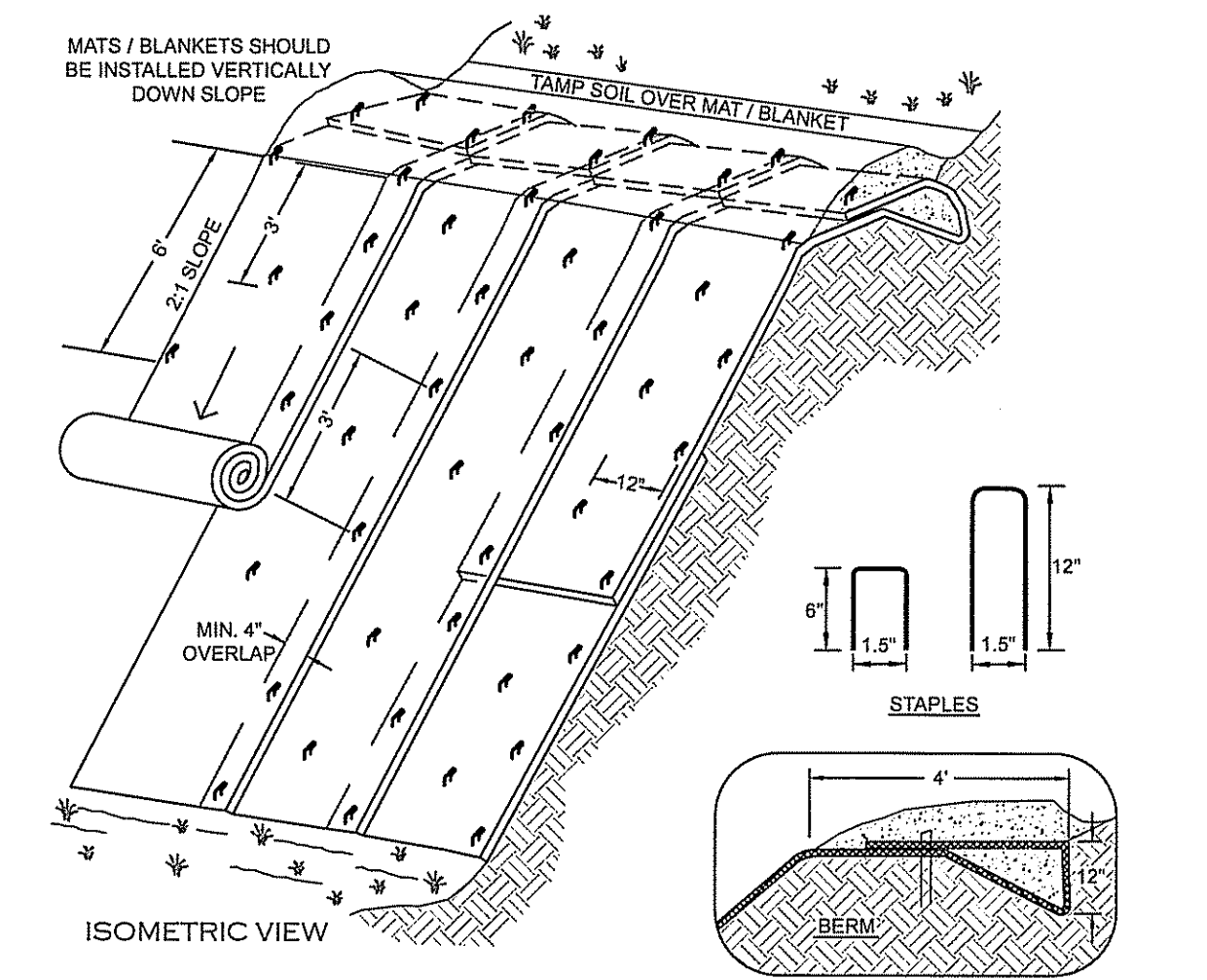


RIP-RAP OUTLET PROTECTION

SCALE: N.T.S.

STRUCTURE	LENGTH FT.	WIDTH (IN) FT.	WIDTH (OUT) FT.	d50 DIA. IN.	THICKNESS IN.
HW2	18	5	22	4"	12"
HW3	13	5	18	4"	12"
HW4	13	5	18	4"	12"

5
DT-3

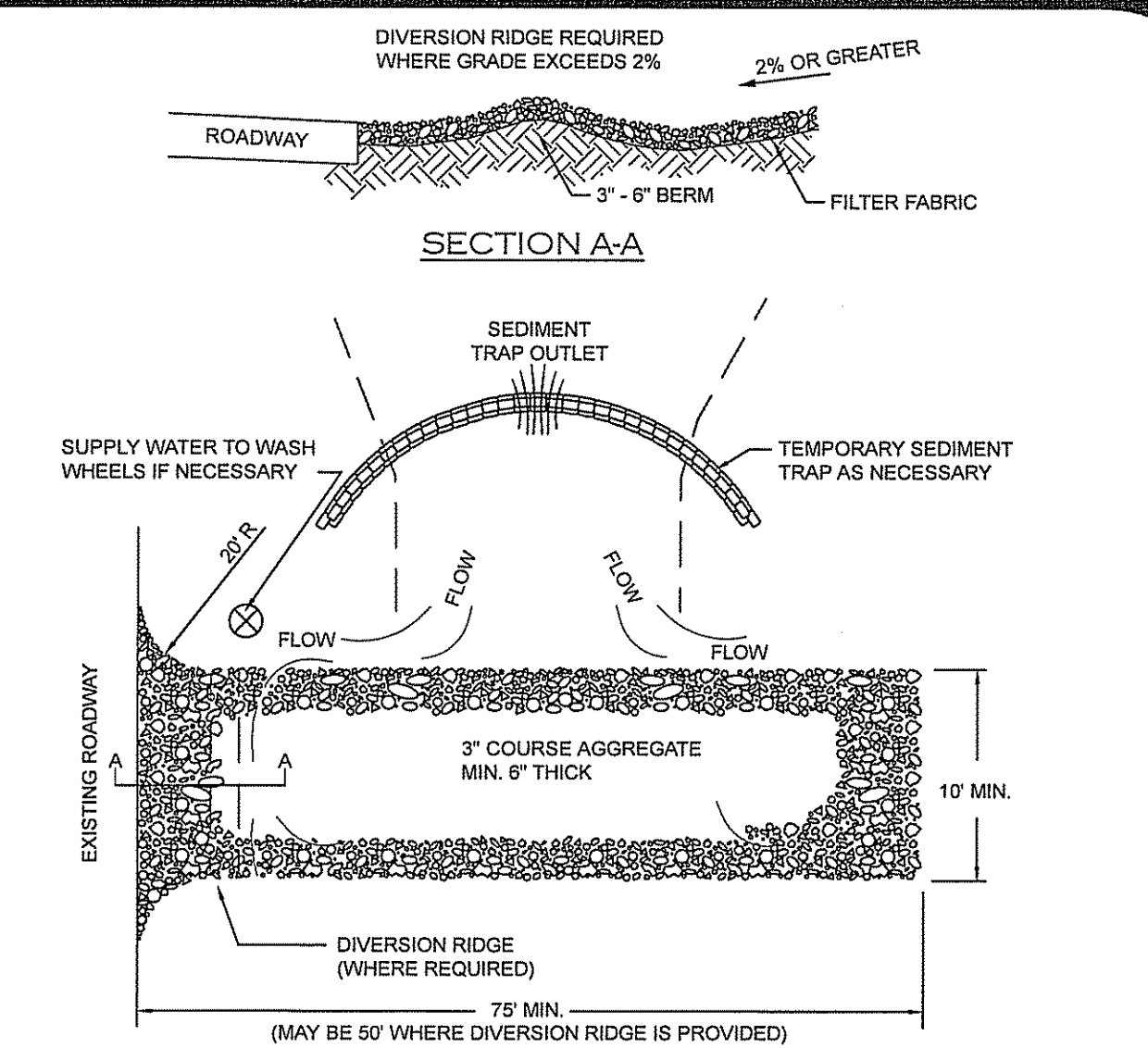


- NOTES:
- DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES. DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN SC150 OR EQUAL ON ALL SLOPES EXCEEDING 3' HORZ. : 1' VERT.
 - THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 7 INCH.
 - SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 - APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
 - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 - IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 - THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RESEEDING AND REMULCHED AS DIRECTED.

SCALE: N.T.S.

EROSION BLANKETS - SLOPE INSTALLATION

6
DT-3



- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
 - THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AND THE ENTRANCE OF THE PROJECT SITE.
 - THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
 - THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
 - THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
 - THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
 - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
 - NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT. SEE NOTES ERO-03.

SCALE: N.T.S.

TEMPORARY GRAVEL CONSTRUCTION EXIT

7
DT-3

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
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REV.	DATE	DESCRIPTION	C/O	DR	CK

EROSION CONTROL DETAILS
TAX MAP 2 LOT 37-A & 37-2A
(OLD MASON ROAD)
GREENVILLE, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
MICHAEL D. LAMARRE
 P.O. BOX 495, GREENVILLE, NH 03048

SCALE: AS SHOWN
 AUGUST 24, 2023

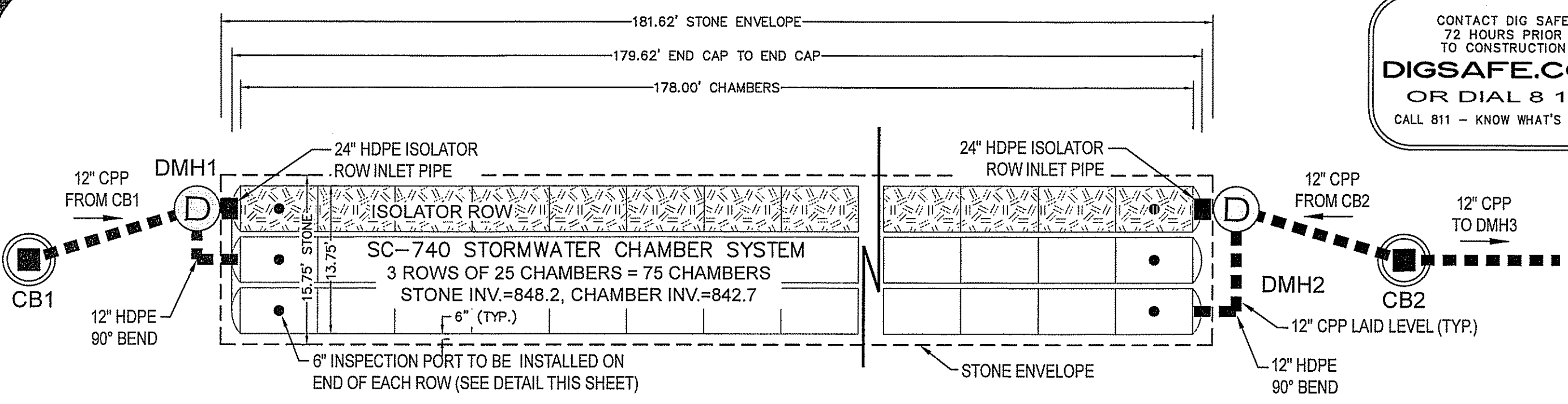
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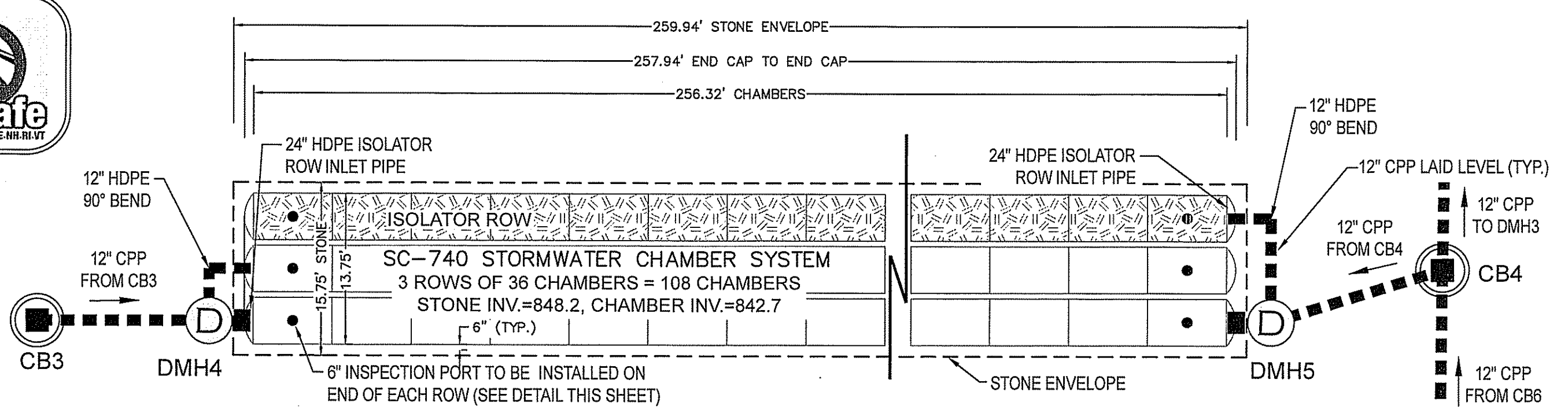
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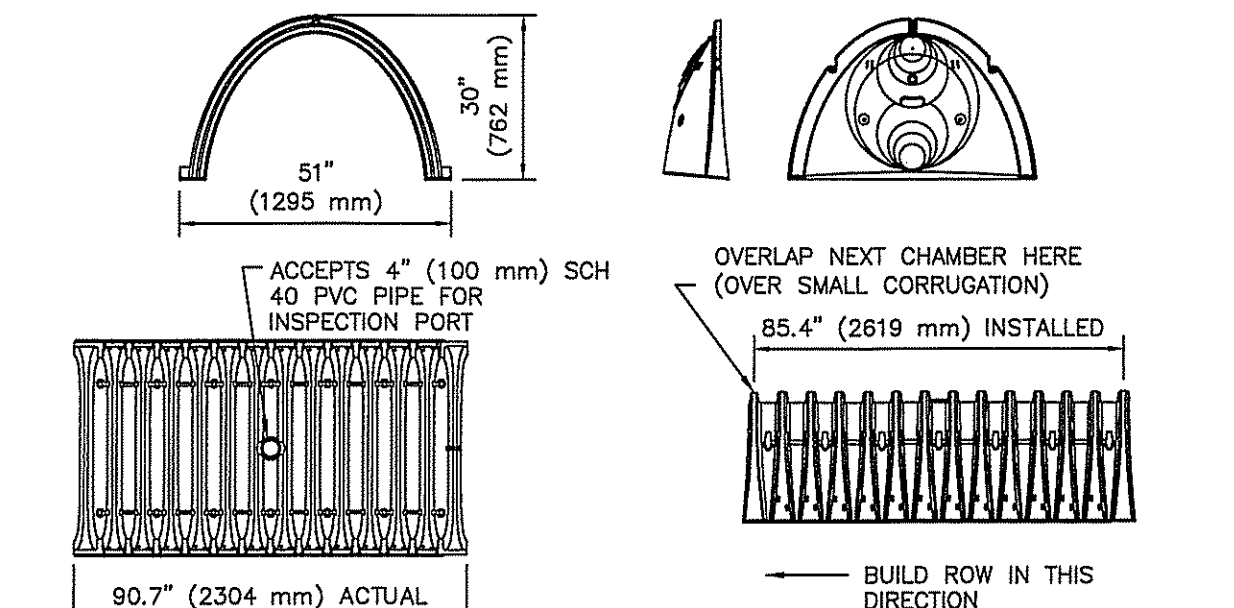
STORMWATER INFILTRATION SYSTEM - STORMTECH SC-740 CHAMBER LAYOUT (1)
 SCALE: 1"=10'



STORMWATER INFILTRATION SYSTEM - STORMTECH SC-740 CHAMBER LAYOUT (2)
 SCALE: 1"=10'

- ALL DESIGN SPECIFICATIONS FOR STORMTECH SC-740 CHAMBERS SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL.
- THE INSTALLATION OF STORMTECH SC-740 CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-892-2694 OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
- CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND LOAD FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS.

SC-740 NOTES
 SCALE: NONE



NOMINAL CHAMBER SPECIFICATIONS

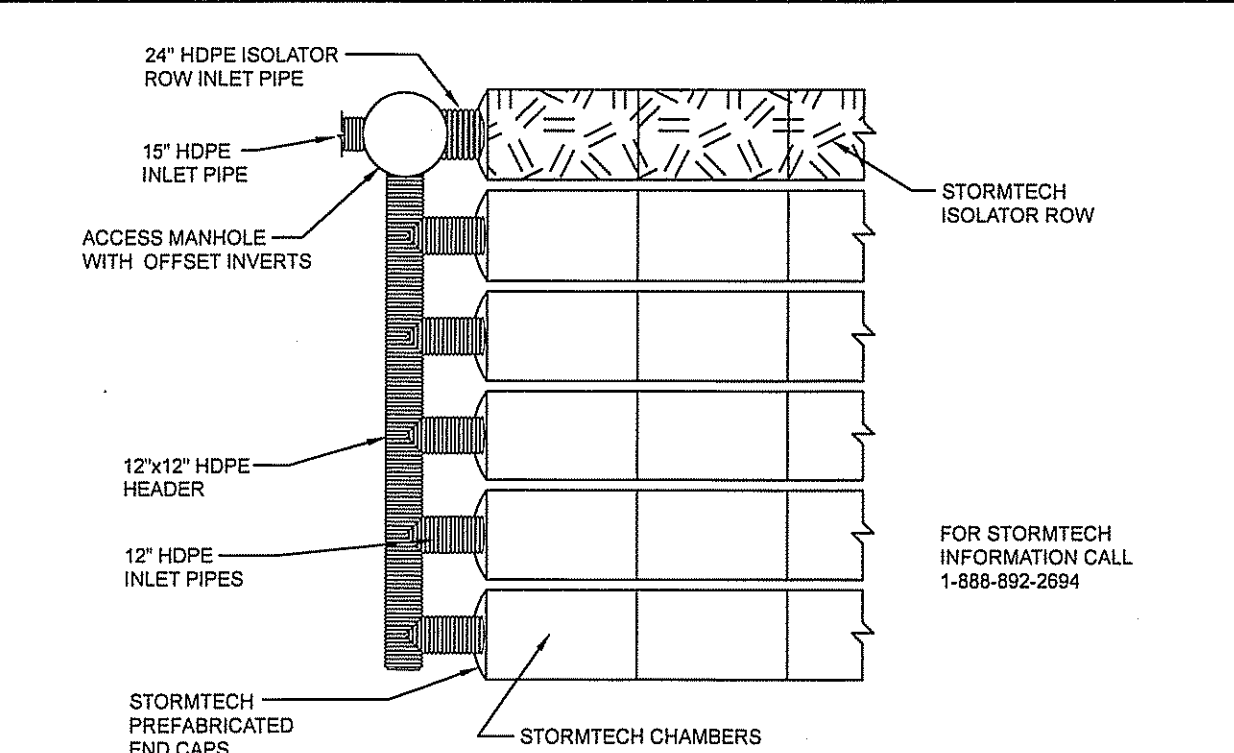
SIZE (W x H x INSTALLED LENGTH)	51.0" x 30.0" x 85.4" (1295 mm x 762 mm x 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET (1.30 m ³)
MINIMUM INSTALLED STORAGE	74.9 CUBIC FEET (2.12 m ³)
WEIGHT	75 lbs. (33.6 kg)

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	CHAMBER	PIPE SIZE	A	B	C	D
SC740PE230T	SC 740	9 in (227 mm)	10.90 in (277 mm)	3.85 in (98 mm)	16.50 in (419 mm)	N/A
SC740PE230B	SC 740	9 in (227 mm)	10.90 in (277 mm)	3.85 in (98 mm)	N/A	0.50 in (13 mm)
SC740PE12T	SC 740	12 in (305 mm)	14.70 in (373 mm)	7.70 in (196 mm)	12.50 in (318 mm)	N/A
SC740PE12B	SC 740	12 in (305 mm)	14.70 in (373 mm)	7.70 in (196 mm)	N/A	1.20 in (30 mm)
SC740PE15T	SC 740	15 in (375 mm)	18.40 in (467 mm)	10.36 in (263 mm)	9.00 in (229 mm)	N/A
SC740PE15B	SC 740	15 in (375 mm)	18.40 in (467 mm)	10.36 in (263 mm)	N/A	1.30 in (33 mm)
SC740PE18T	SC 740	18 in (457 mm)	19.70 in (500 mm)	10.72 in (272 mm)	5.00 in (127 mm)	N/A
SC740PE18B	SC 740	18 in (457 mm)	19.70 in (500 mm)	10.72 in (272 mm)	N/A	1.60 in (41 mm)
SC740PE24B	SC 740	24 in (600 mm)	18.50 in (470 mm)	9.45 in (240 mm)	N/A	0.10 in (3 mm)

ALL STUBS, EXCEPT FOR THE SC740PE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.
 *FOR THE SC740PE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

SC-740 TECHNICAL DETAILS
 SCALE: NONE



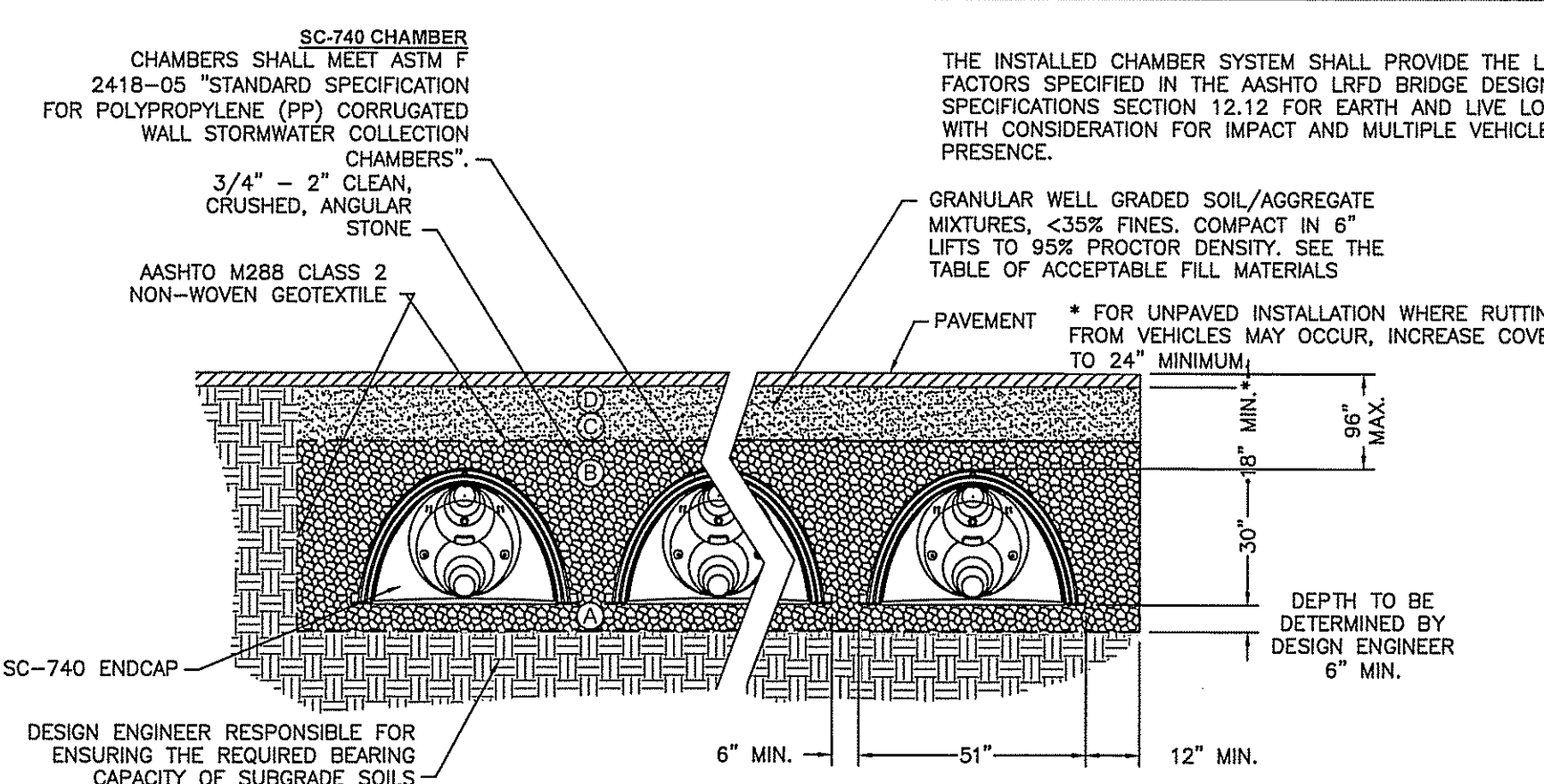
ISOLATOR ROW MAINIFOLD DETAIL
 SCALE: NONE

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 AND SC-310 CHAMBER SYSTEMS

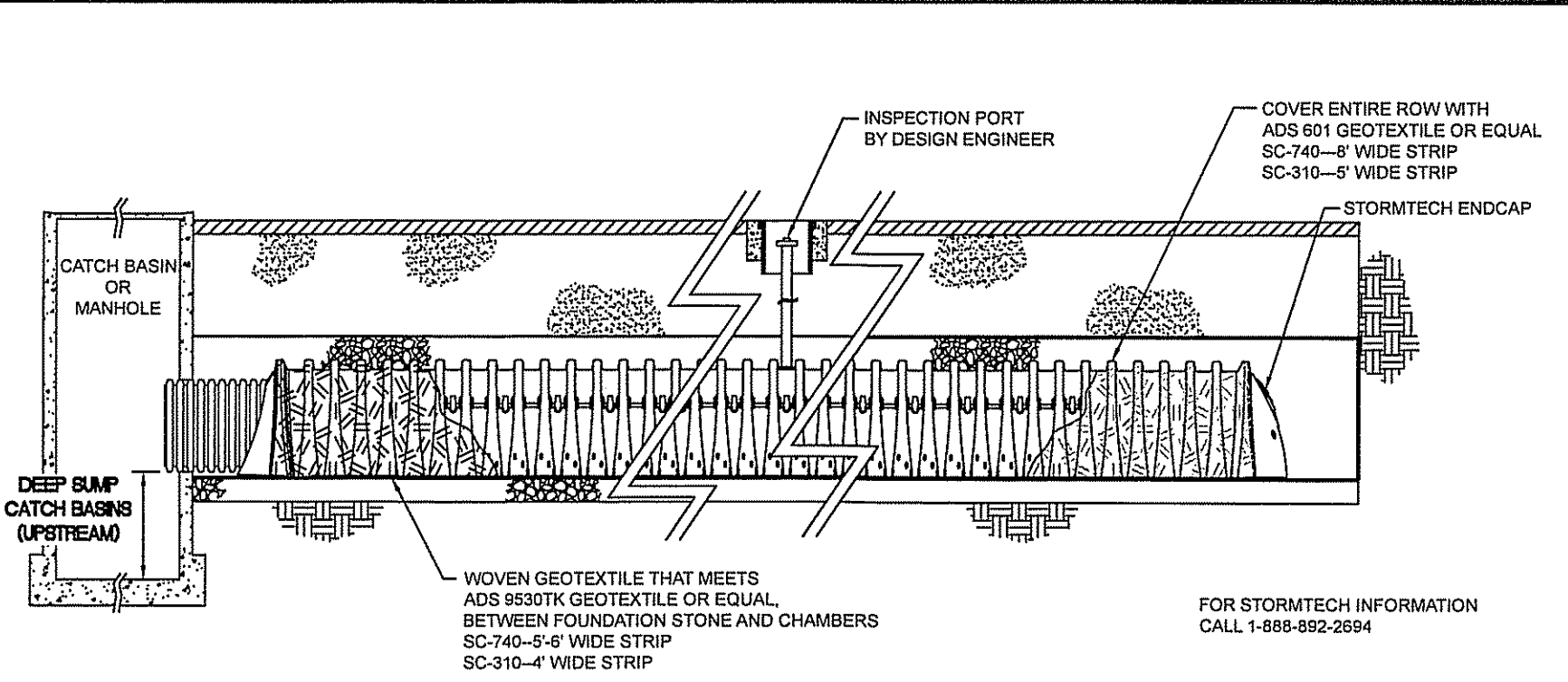
MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION*	COMPACTION/DENSITY REQUIREMENT
① FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
② FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (457 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THIS LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, < 35% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 76, 8, 89, 9, 10	BEGIN COMPACTION AFTER 12" (305 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT 6 ADDITIONAL LAYERS IN 6" (152 mm) LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN), DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
③ EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH (19 - 51 mm)	3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
④ FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH (19 - 51 mm)	3, 35, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY.

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (152 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.

STORMTECH ACCEPTABLE FILL MATERIALS
 SCALE: NONE



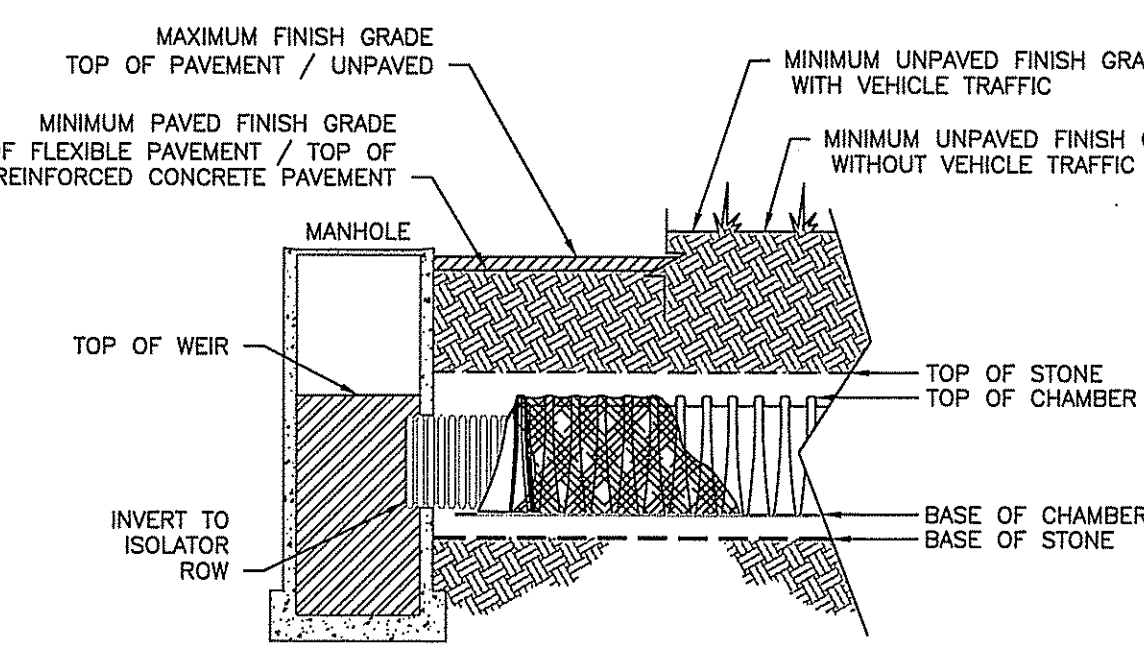
SC-740 STANDARD CROSS SECTION
 SCALE: NONE



ISOLATOR ROW DETAIL
 SCALE: NONE

- REMOVE ALL ORGANIC MATERIAL FROM AREA BELOW PROPOSED INFILTRATION BASINS AND TO EXPOSE UNDERLYING SOILS.
- CARE SHALL BE TAKEN TO PROTECT THE UNDERLYING SOILS FROM CONSTRUCTION TRAFFIC AND THE DISCHARGE OF SEDIMENT LADEN RUNOFF. IF FEASIBLE, POSITION EQUIPMENT OUTSIDE THE LIMITS OF THE INFILTRATION PRACTICE.
- ONCE EXCAVATED AND PRIOR TO FILLING, THE UNDERLYING SOILS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH LEVELING DRAG.
- FILL BELOW THE INFILTRATION PRACTICE SHALL CONFORM TO THE SPECIFICATIONS FOR NHDOT ITEM 209.1, "GRANULAR BACKFILL".
- DO NOT PLACE INFILTRATION PRACTICES INTO SERVICE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

INFILTRATION PRACTICE CONSTRUCTION NOTES



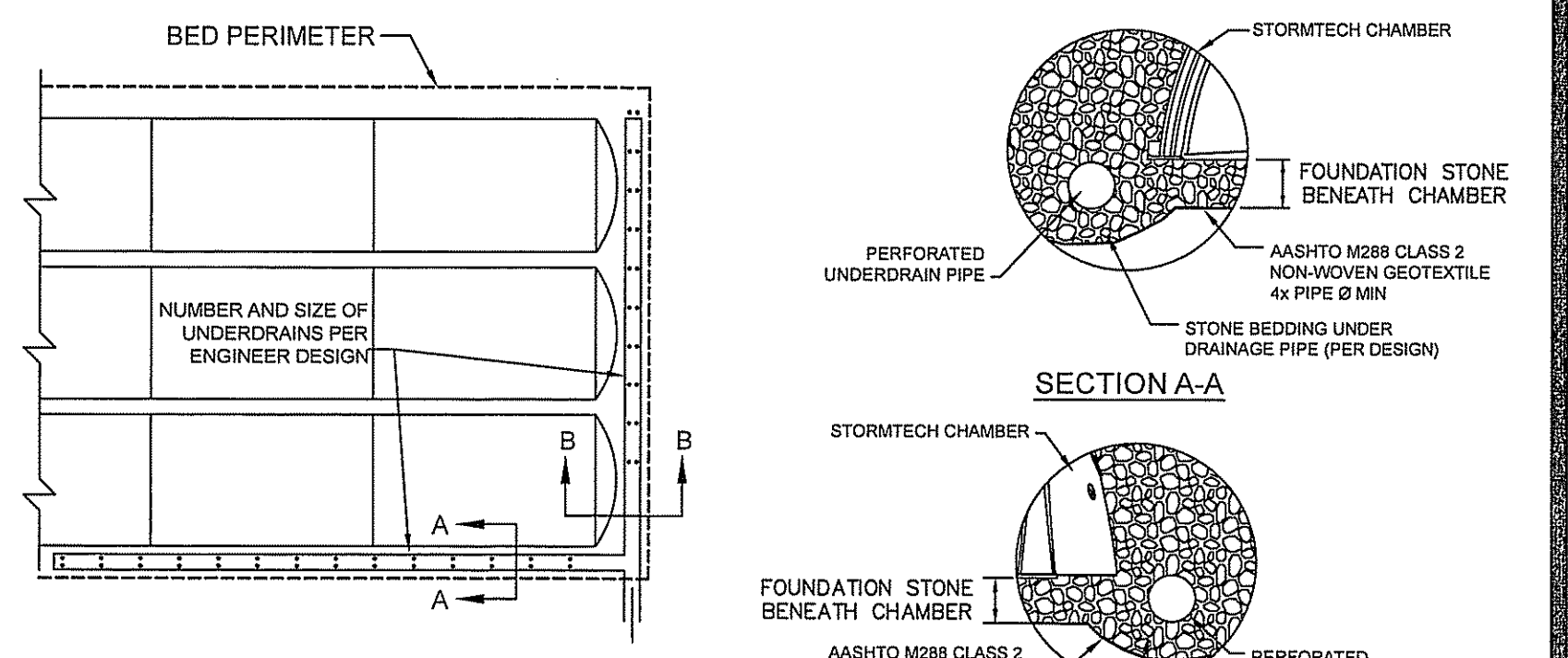
SECTION AT DRAIN STRUCTURE
 SCALE: NONE

MANIFOLDS ARE DESIGNED TO BE COUPLED TO STORMTECH PREFABRICATED END CAPS. WHEN USING STANDARD END CAPS, CORRUGATE DPIPE UP TO 18 INCHES CAN BE INSERTED DIRECTLY INTO THE END CAP. FOR 24" INLET PIPES, A CORRUGATED TO SMOOTH PIPE ADAPTER IS REQUIRED.

FOR INFORMATION
 CALL 1-888-892-2694

STUB SIZE	48"	42"	36"	30"	24"	18"	15"	12"	10"	8"
24"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	-	-	-	-	-
18"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	-	-	-	-
15"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	-	-	-
12"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	-	-
10"	-	-	-	-	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	-
8"	-	-	-	-	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL
6"	-	-	-	-	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL

AVAIL - STANDARD HEADERS AVAILABLE



SCALE: NONE UNDERDRAIN DETAILS

STORMWATER RECHARGE SYSTEM DETAILS

TAX MAP 2 LOT 37-A & 37-2A
 (OLD MASON ROAD)
 GREENVILLE, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
MICHAEL D. LAMARRE
 P.O. BOX 495, GREENVILLE, NH 03048

SCALE: AS NOTED AUGUST 24, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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