8 DUNSTER AVE MULTI-FAMILY

SITE PLAN TAX MAP 8 LOT 37B GREENVILLE, NH 03048 SEPTEMBER 15, 2022

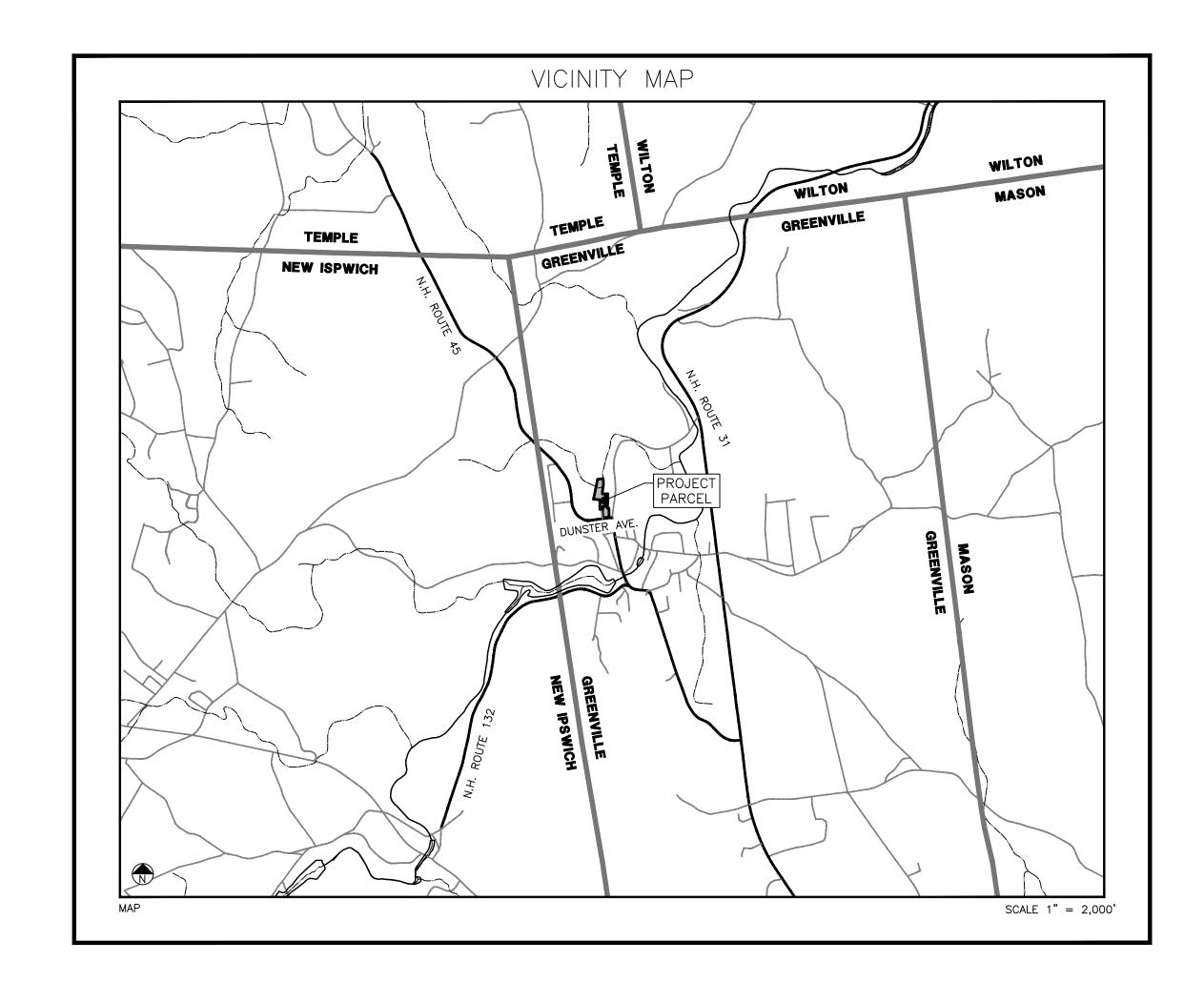
		PROJECT INFORMATION
	ZONING DISTRICT	DOWNTOWN
	OVERLAY DISTRICT	N/A
	TAX MAP & LOT	8-37B
SI	ITE PERMIT NUMBER	TBD

<u>UTILITY PROVIDERS</u>			
WATER & SEWER	ELECTRIC	FIRE DISTRICT	
GREENVILLE WATER & SEWER DAVE BRENNAN PHONE: (603)–878–2800 EMERGENCY PHONE: (603)–315–6660	EVERSOURCE 425 JAFFREY RD STE D PETERBOROUGH, NH 03458 PHONE: (800)—362—7764	GREENVILLE FIRE DEPARTMENT 7 RIVER ROAD GREENVILLE, NH 03048 PHONE: (603)—878—1242	

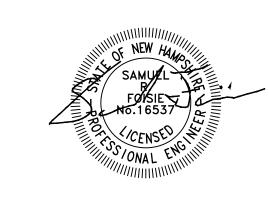
	CONSULTANTS	
SURVEYOR	WETLANDS SCIENTIST	CIVIL ENGINEER
SAM INGRAM, LLS MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441	SPENCER C. TATE, CWS MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441	SAMUEL FOISIE, P.E. MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441



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SHEET INDEX			
Ν	10.	DESCRIPTION	
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8	D-2	EROSION CONTROL PLAN	

OWNER/APPLICANT		
OWNER	APPLICANT	
DAN HYNES DUNSTER REALTY, LLC 41 PALOMINO LANE BEDFORD, NH 03110	DAN HYNES DUNSTER REALTY, LLC 41 PALOMINO LANE BEDFORD, NH 03110	

ABUTTERS

LOT 8-37 DUNSTER & MAIN LLC 1 DUNSTER AVENUE GREENVILLE NH 03048	LOT 3-2-6 & 3-2-1 TOWN OF GREENVILLE 46 MAIN STREET PO BOX 343 GREENVILLE NH 03048	LOT 8-35 DARRYL J MARKAVERICH 8 NUTTING LANE GREENVILLE NH 03048
LOT 8-34 & 5-73 ALAN B GAUVIN OTHERS 9 DUNSTER AVENUE GREENVILLE NH 03048	LOT 5-92 CHRISTA WARD 1 MAIN STREET GREENVILLE NH 03048	

PERMIT AND APPROVALS					
<u>PERMIT</u>	PERMIT #	<u>STATUS</u>			
SITE PLAN PERMIT	TBD	SUBMITTED 9/15/22			
NH DOT DRIVEWAY PERMIT	TBD	TO BE SUBMITTED			
NH DOT EXCAVATION PERMIT	TBD	TO BE SUBMITTED			

WAIVERS
SITE PLAN REVIEW REGULATIONS SECTION 7.1 TO ALLOW FOR RELIEF FROM PROVIDING LANDSCAPE PLANS — PENDING PER LETTER DATED 9/15/2022.
SITE PLAN REVIEW REGULATIONS SECTION 7.G TO ALLOW FOR RELIEF FROM PROVIDING DRAINAGE CALCULATIONS AND PLANS — PENDING PER LETTER DATED 9/15/2022.

DAN HYNES, OWNERS SIGNATURE

APPROVED: TOWN OF GREENVILLE PLANNING BOARD
CHAIR/VICE CHAIRMAN:
DATE APPROVED:
DATE SIGNED:

GENERAL NOTES:

- 1. THE APPLICANT INTENDS TO CHANGE THE USE OF THE EXISTING BUILDING AT TAX MAP 8, LOT 7B FROM AN ANTIQUE STORE AND HAIR SALON TOO AN INN, WEDDING AND EVENT VENUE, HAIR SALON, AND CARE TAKERS APARTMENT; AND CONSTRUCT A GRAVEL OVERFLOW PARKING AREA ON TAX MAP 3, LOT 2-6 AND ASSOCIATED SITE IMPROVEMENTS.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTION ACCORDING TO AGENCY
- 3. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL MAINTAIN THEIR WORK AND THE SITE RELATIVE TO THEIR WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PROJECT N.P.D.E.S. PERMIT.
- 4. THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. THE CONTRACTOR SHALL CONFIRM THAT THE OWNER HAS ALSO FILED AN NOI.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE TO DEWATER IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITTING REQUIREMENTS.
- 6. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF GREENVILLE ZONING ORDNANCES AND SITE REGULATIONS.
- 7. THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY
- FOR ANY CONSTRUCTION.

 8. THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF
- EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
- 9. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.
- 10. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S CONSTRUCTION MANAGER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO USE ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. CONSTRUCTION MANAGER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
- 11. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT IS NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTOR'S AND UTILITY COMPANIES.
- 12. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT SPECIFICATIONS THERETO.
- 13. CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.
- 14. AT LEAST 3 WORKING DAYS (72 HOURS) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- 15. THE CONTRACTOR SHALL USE EACH PLAN IN CONJUNCTION WITH THE ENTIRE SET OF DRAWINGS AND JOB SPECIFICATIONS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL ELECTRICAL, PLUMBING, MECHANICAL, GENERAL TRADES, AND UTILITY COMPANIES AS THEY EFFECT THE OVERALL PROJECT.
- 16. ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL ELECTRICAL, PLUMBING, MECHANICAL, GENERAL TRADES, AND UTILITY COMPANIES AS THEY EFFECT THE OVERALL PROJECT.
- 17. CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- 18. UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NO REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL OF THE OWNER.
- 19. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 20. WHERE APPLICABLE, IMPACT FEES TO BE APPLIED AT GREENVILLE FEE SCHEDULE.
- 21. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING INTERNAL AND EXTERIOR DIMENSIONS.

DEMOLITION NOTES:

- 1. IF PRESENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING STRUCTURES PRIOR TO DEMOLITION OF THE BUILDINGS. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES.
- 2. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS NOT RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE, COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS INVOLVED AND IS RESPONSIBLE FOR REMOVING AND DUMPING THE DEBRIS IN AN APPROVED, LAWFUL MANNER.
- 4. ALL EXISTING UTILITIES ARE TO BE REMOVED, TERMINATED, AND CAPPED AT THE RIGHT-OF-WAY. ALL EXISTING METERS, VALVES, ETC. ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS.
- 5. ALL EXISTING SERVICE LINES FOR TELEPHONE, ELECTRIC, SEWER, AND CABLE T.V. SERVICES ARE TO BE REMOVED TO EXISTING TRUNK LINES.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH APPLICABLE UTILITY COMPANIES. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE EXISTING ADJACENT BUSINESSES AT ALL TIMES. THE CONTRACTOR SHALL COORDINATE WITH THE TENANT AND UTILITY COMPANY FOR THE RELOCATION AND/OR REMOVAL OF UTILITIES IF NECESSARY. SERVICE SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE TENANT.
- 7. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INVOLVED IN THE REMOVAL OR RELOCATION OF ANY UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH APPLICABLE UTILITY COMPANIES.
- 8. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS REQUIRED TO CARRY OUT THE WORK AS SHOWN ON THIS
- 9. SITE IS OCCUPIED BY EXISTING STRUCTURES, STORM LINES, PAVEMENT, POWER POLES AND UTILITIES. IT IS CONTRACTORS' RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES THAT MAY HAVE UTILITIES ON THE SITE TO GET A DETERMINATION IF ANY UTILITIES EXISTING WILL BE IMPACTED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IN THE LITTUITIES SHOULD BE ARANDONED OR PENDOVED.
- FOR DETERMINING IF THE UTILITIES SHOULD BE ABANDONED OR REMOVED.

 10. ALL AREAS WHERE PAVEMENT, STRUCTURE SLABS, FOUNDATIONS, UTILITIES, CONDUITS, AND/OR UTILITY STRUCTURES HAVE BEEN REMOVED SHALL BE BACKFILLED WITH SELECT BACKFILL MATERIAL. ALL SELECT BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED PER THE REQUIREMENTS OF SPECIFICATIONS AND THE OWNER'S GEOTECHNICAL ENGINEER.
- 11. ALL EXISTING FENCES, SIGNS, POWER POLES, AND LIGHT POLES LOCATED ON—SITE SHALL BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED.
- 12. EXISTING CAST IN PLACE SEPTIC TANKS (IF FOUND ON—SITE) SHALL BE PUMPED BY A LICENSED CONTRACTOR. THE SEPTIC TANK SHALL THEN BE REMOVED, AND THE AREA BACKFILLED PER THE PROJECT SPECIFICATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH HEALTH DEPARTMENT REQUIREMENTS.
- 13. CONTRACTOR IS RESPONSIBLE FOR WALKING SITE AND DETERMINING EXTENTS OF DEMOLITION WORK PRIOR TO BID DATE.
- 14. EXISTING MANHOLES AND VALVE BOXES TO REMAIN IN PLACE SHALL BE ADJUSTED TO FINAL GRADES.
 15. PRIOR TO ANY WORK ONSITE, THE CONTRACTOR SHALL CONTACT DIG SAFE AT 888-344-7233. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY REMOVALS WHETHER LOCATED BY DIG SAFE OR NOT. CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING ELECTRICAL SERVICES ON SITE WITH THE POWER

COMPANY. POWER COMPANY IS RESPONSIBLE FOR THE DISCONNECTION AND REMOVAL OF EXISTING

16. LIMITS OF PAVEMENT SHOWN TO BE REMOVED ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY THE LIMITS OF PAVEMENT TO DETERMINE THE EXTENT OF THE EXISTING PAVEMENT TO BE REMOVED. CONTRACTOR SHALL REMOVE PAVEMENT AND CONCRETE IN ACCORDANCE WITH NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.

SITE PLAN NOTES:

- 1. CONTRACTOR SHALL REFER TO PLANS BY ARCHITECT FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPE PAVING & SIDEWALKS CONNECTIONS, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS
- 2. ALL UNSURFACED AREAS ARE TO RECEIVE A MINIMUM OF FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, AND WATERED UNTIL A HEALTHY STAND OF GRASS OR LANDSCAPING IS OBTAINED AS PER THE LANDSCAPE PLAN.
- BOUNDARY & TOPOGRAPHIC SURVEY WAS PREPARED BY MERIDIAN LAND SERVICES, DATED DECEMBER 2021.
- 4. WETLANDS SHOWN AS "DELINEATED WETLANDS" HEREON WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEER'S WETLAND DELINEATION MANUAL. TECHNICAL REPORT Y-87-1, ALONG WITH THE NORTHEAST REGIONAL SUPPLEMENT BY SPENCER C. TATE C.W.S. OF BY MERIDIAN LAND SERVICES, DATED DECEMBER 2021.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR ALL SITE IMPROVEMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- 6. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALLEXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONSSHALL BE REPORTED TO THE OWNER AND/OR ENGINEER PRIOR TO CONSTRUCTION.
- 7. CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE—INS/CONNECTIONS TO THEIR FACILITIES.
- 8. SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
- 9. ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING
- ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- 12. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- 13. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- 14. CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
- 15. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
- 16. CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, AND CONNECTING IMPROVEMENTS, DRAINPIPES, SANITARY SEWER PIPE, POWER POLES AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED TO ALLOW FOR FILL MATERIAL. CONTRACTOR TO REVIEW SITE AS IT RELATES TO DEMOLITION WORK TO ENSURE ALL DEMOLITION ITEMS ARE INCLUDED IN THE BASE BID.
- 17. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND IMPROVEMENTS SHALL BE CONSTRUCTED TO THE SAME.
- 18. ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDINGS, FACE OF WALLS, CENTER OF PIPE, AND CENTER OF

 PAVEMENT MARKINGS. UNLESS OTHERWISE INDICATED. AND AS FOLLOWS
- a. SIDEWALK/WALKWAYS WIDTHS ARE MEASURED FROM THE BACK FACE OF CURB TO THE OUTSIDE EDGE OF SIDEWALK;
- b. PIPE SEPARATION IS MEASURED FROM THE OUTSIDE DIAMETERS OF PIPE(S).
 2. SEE ARCHITECTURAL DRAWINGS FOR EXACT STRUCTURE DIMENSIONS AND
- DETAILS CONTIGUOUS TO THE BUILDINGS,
 INCLUDING SIDEWALKS, RAMPS, STAIRWAYS, ENTRANCES, UTILITY
 PENETRATIONS, CONCRETE DOOR PADS,
- COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.

 3. ALL BUILDING LOCATION DIMENSIONS ARE TO THE FACE OF THE STRUCTURAL.
- 4. EXISTING PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A
 LICENSED LAND SURVEYOR (LLS).
- 5. IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS NOT ALL DEPICTED ITEMS ARE SHOWN ON EVERY PLAN SHEET THE CONTRACTOR SHALL USE ENTIRE PLAN SETS AND NOT RELY ON INDIVIDUAL SHEETS DURING CONSTRUCTION.
- 6. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM DESIGNERS. BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE DRAWINGS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

PAVING NOTES:

- 1. DUMPSTER PAD TO BE 6" THICK 4000 PSI W/ FIBER MESH AND #5 REBAR PLACED 18 INCHES ON CENTER EACH WAY.
- 2. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
- 3. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1990.

TO INSTALLATION OF ANY PAVING.

- 4. PAVING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR ON THE CONSTRUCTION AND THE DUMPSTER PADS.
- 5. ALL DISCREPANCIES FOUND BY CONTRACTOR RELATED TO UNDERGROUND UTILITIES OR OTHER APPURTENANCES SHALL BE RESOLVED TO THE SATISFACTION OF OWNER AND ENGINEER PRIOR TO PLACEMENT OF ANY PAVING. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN SUBGRADE OF AREAS TO BE PAVED, AND NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND PRIOR
- 6. EXISTING MANHOLE TOPS, VALVE BOXES, ETC. ARE TO BE ADJUSTED AS REQUIRED TO MATCH PROPOSED GRADES. IF NECESSARY, RE-ADJUSTMENTS

- SHALL BE PERFORMED UPON COMPLETION OF PAVING AND FINE GRADING TO ENSURE A SMOOTH TRANSITION.
- 7. COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- 8. ALL PAVEMENT TO BE SLOPED FOR POSITIVE DRAINAGE.

GENERAL CONTRACTOR NOTES:

- 1. GENERAL CONTRACTOR AND ALL BIDDING SPECIALTY CONTRACTORS ARE RESPONSIBLE TO ADHERE TO ALL KNOWN PERMIT REQUIREMENTS BY BASE
- 2. GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE PERMIT REQUIREMENTS TO SPECIALTY SUB-CONTRACTORS.
- 3. GENERAL CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE IN GOOD CONDITION FOR DURATION OF CONSTRUCTION.

4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO OFF-SITE

- LANDSCAPING AND SHALL REPAIR AFFECTED AREAS BACK TO EXISTING CONDITIONS OR BETTER.

 5. PRIOR TO OPENING DAY ALL LANDSCAPING SHALL BE 100% COMPLETE WITH
- NO BARE PATCHES.

 6. ALL OFF—SITE PERVIOUS AREAS DISTURBED BY CONSTRUCTION SHALL BE

SIGNAGE AND MARKING NOTES:

STABILIZED WITH SEED OR SOD.

- ALL SIGNING SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
 ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T.
- 3. ALL STOP SIGN LOCATIONS SHALL INCLUDE A 18" THICK PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE. ALL OTHER STRIPING SHALL BE 4"
- THICK PAINTED YELLOW UNLESS OTHERWISE NOTED

 4. ALL SIGNING, PAVEMENT MARKINGS, STREET NAME SIGNS, ETC. ARE TO BE INCLUDED IN THE LUMP SUM PRICE FOR SIGNING AND MARKING.
- 5. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS
- STRIPING WITHIN PARKING LOT AND AROUND BUILDING.

 6. THE CONTRACTOR SHALL COMPLY WITH THE STATE OF NEW HAMPSHIRE TRAFFIC CONTROL.
- 7. ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH (T) SHALL BE THERMOPLASTIC.
- 8. PAVEMENT MARKINGS WITHIN THE NHDOT RIGHTS-OF-WAY AND/OR ASSOCIATED WITH A NHDOT DRIVEWAY SHALL BE THERMOPLASTIC.
- CONTACT THE BUREAU OF TRAFFIC (BOT-PM-NOTIFICATION@DOT.NH.GOV) AT LEAST TWO WEEKS IN ADVANCE OF FINAL PAVEMENT MARKING OPERATIONS FOR BOT TO REVIEW THE CONTRACTORS COMPLETED LAYOUT INCLUDING ALL PASSING ZONES.
- 10. PAVEMENT MARKINGS SHALL EXTEND BEYOND PROJECT PAVING LIMITS TO OVERLAP EXISTING MARKINGS DISTURBED BY CONSTRUCTION.
- 11. SSLW = SINGLE SOLID LINE WHITE

SSLY = SINGLE SOLID LINE YELLOW **EROSION CONTROL NOTES:**

- 1. SEDIMENT AND EROSION CONTROL FACILITIES AND CONTROLS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION. SEE EROSION CONTROL PLAN AND DETAILS ON SHEET D-X.
- 2. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
- 3. THE EROSION CONTROL MEASURES SHOWN HEREON ARE DIAGRAMMATIC, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PLACE THE APPRORIATE CONTROL MEASURES IN THE BEST SUITED LOCATIONS.
- 4. ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
- 5. THE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROLS AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWENTY FOUR HOURS AFTER EACH STORM EVENT (0.25" OR GREATER) AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE WAYS AND PROTECTED AREAS.
- 6. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S SPECIFICATIONS.
- 7. SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- 8. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER AND/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT. AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVED AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOD. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTAION SHALL NOT AFFECT REGULATORY PROTECTED AREAS WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSITY.
- 10. THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE CONVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 11. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND SEDIMENT FROM THE DRAINAGE SYSTEM.
- 12. AREAS REMAINED UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARY SEEDED AND MULCHED. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1-1/2 TONS/ACRE.
- 13. PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING SHALL BE HAY MULCHED.
- 14. DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER OR OTHER INDUSTRY APPROVED STANDARD METHODS.15. SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN THIRTY DAYS

SHALL BE TERMPORARILY SEEDED AND MULCHED. THE CONTRACTOR SHALL

INSTALL SILT FENCE AND OR SILT SOCK ALONG THE DOWNHILL SIDE OF

- THE STOCKPILE.

 16. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD, THAT MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF
- 17. THE CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROLS TO ENSURE THAT SURFACE WATER RUNOFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE THE SITE WORK

ENVIRONMENTAL SERVICES (NHDES).

- 18. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED AND COMPACTED TO A MINIMUM OF 90% OF THE DRY UNIT

WFIGHT:

- A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
 A MIMUM OF 3-IN OF NON EROSIVE MATERIAL, SUCH AS STONE
- OR RIPRAP HAS BEEN INSTALLED;

 d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED;

 THE APEA HAS BEEN PAVED WITH BITUMINIOUS ASPHALT CONCRETE
- e. THE AREA HAS BEEN PAVED WITH BITUMINOUS ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, OR SIMILAR COVERS.
- 19. AT NO TIME SHALL THE TOTAL DISTURBED AREA BE GREATER THAN FIVE (5)
- 20. ALL DITCHES, SWALES, STORMWATER BASINS, OR OTHER DRAINAGE FEATURES SHALL BE FULLY STABILIZED PRIOR TO DIRECTING STORMWATER TO THEM.
- 21. ALL DRIVEWAYS, ROADWAYS, AND/OR PARKING LOTS SHALL BE STABILIZED WITH 72 HOURS OF ACHIEVING FINISHED GRADE.
- 22. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITH 72 HOURS OF ACHIEVING FINISHED GRADE.
- 23. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3-FT HORIZONTAL TO 1-FT VERTICAL (3:1). EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR
- 24. THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SEQUENCE TO ENSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
- 25. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS.
- 26. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER.
 27. LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND 6.
- 28. THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR TO LAND CLEARING ACTIVITIES.
- 29. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE NHDES STORMWATER REQUIREMENTS AND THE SWPPP. THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENTS.
- 30. ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED RIP RAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS ARE COMPLETE.
- 31. CONTRACTOR SHALL INSPECT ON A DAILY BASIS FOR NEEDED REMOVAL OF ANY ACCUMULATED SILTS, DEBRIS, OR REPAIR OF DAMAGED SILT FENCE AT NO ADDITIONAL EXPENSE TO OWNER.32. PRIOR TO CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES
- CLEARING AND GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN

HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE. WATER UTILITIES NOTES:

SHOWN HEREON SHALL BE IN

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GREENVILLE UTILITIES
- 2. CONTRACTOR SHALL COORDINATE WITH GREENVILLE WATER UTILITIES PRIOR TO COMMENCING WITH UTILITY CONSTRUCTION.
- 3. REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING FIRE SERVICE AND DOMESTIC SERVICE CONNECTION LOCATIONS.
- 4. CONTRACTOR SHALL CONSTRUCT WATER SERVICES AS SHOWN, AND CONSTRUCT METERS, PITS, AND INSTALL CHECK VALVE.
- 5. ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END AT THE FACE OF BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NIFCESSARY)
- 6. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- 7. THRUST BLOCKS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
- 8. THE MINIMUM COVER ON WATER MAINS SHALL BE 5 FEET UNLESS GREATER COVER IS REQUIRED BY UTILITY PROVIDER.
 9. WATER MAIN AND SERVICE MATERIAL SHALL BE SPECIFIED BY THE UTILITY
- a. DISTRIBUTION/TRANSMISSION MAINS: CLASS 52 CEMENT LINED DUCTILE IRON (CLDI/DI);

SERVICES: TYPE 'K' COPPER (CU), MINIMUM ONE INCH (1")

DIAMETER.

10. PLUMBING CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF IRRIGATION TAP, METER, AND BACKFLOW DEVICES PRIOR TO INSTALLATION. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE IRRIGATION SYSTEM REQUIREMENTS BETWEEN THE IRRIGATION CONTRACTOR AND PLUMBING CONTRACTOR. IRRIGATION TAP, METERS, ETC. SHALL BE INCLUDED IN

GENERAL CONTRACTOR'S BASE BID. SANITARY SEWER NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GREENVILLE
- UTILITIES STANDARDS AND ENV—WQ 700.

 2. REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.

 3. CONTRACTOR SHALL COORDINATE WITH GREENVILLE SEWER UTILITIES PRIOR
- TO COMMENCING WITH UTILITY CONSTRUCTION.

 4. SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS AND TO A MINIMUM DEPTH OF 4
- FEET BELOW GRADE IN ALL CROSS—COUNTRY LOCATIONS.

 5. ALL STUB—OUTS AND WYE LATERALS SHALL BE PLUGGED WITH A
- STANDARD TYPE PLUG.

 6. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR TO CENTERLINE OF MANHOLE.
- THE SANITARY SEWER PIPE MATERIAL SHALL BE SPECIFIED BY THE UTILITY PROVIDER.
 a. POLYVINYLCHLORIDE (PVC) STANDARD DIAMETER RATIO 35 (SDR-35);
- 8. WHERE SEWER PIPES CROSS WATER PIPES THE FOLLOWING SHALL APPLY:

 a. WHERE ONE AND ONE HALF FEET (1.5') OF SEPARATION (FROM OD
 TO OD), WHERE THE WATER PIPE IS ABOVE THE SEWER PIPE, CANNOT
 BE ACHIEVED. THE SEWER PIPE SHALL BE:
- ii. SHALL BE A CONTINOUS PIECE OF PIPE WITH NO JOINTS;iii. SHALL BE IN ACCORDANCE WITH DETAILS SHOWN ON THE DRAWINGS AND PER THE CONTRACT DOCUMENTS.

EITHER SIDE OF THE WATER PIPE;

i. CLASS 52 DUCTILE IRON FOR A MINIMUM OF TEN FEET (10') TO

UTILITY NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE SERVICEABILITY OF UTILITIES, DOES NOT GUARANTEE THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT, WHICH MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
 CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS,
- 4. CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, EASEMENTS, AND CONNECTING IMPROVEMENTS, DRAINPIPES, SANITARY SEWER PIPE, POWER POLES AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR FILL MATERIAL, UNLESS OTHERWISE DENOTED, TO BE REMOVED AS UNCLASSIFIED EXCAVATION.
- 5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN FXISTING CONDITIONS.
- 6. CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE—INS/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, &
 TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICE TO
 BUILDING.
- 8. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME

SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY

- TRENCHES.

 10. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- 11. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
- 12. CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER
 MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATERTIGHT

 13. CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE
- APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.

 14. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS.
 THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF
- THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.

 15. SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS. THIS INCLUDES FEES INCURRED THROUGH RESCHEDULING OF ANY
- VENDORS OR EQUIPMENT TO ACCOMMODATE.

 16. CONTRACTOR TO COORDINATE WITH SIGNAGE CONTRACTOR AND ARCHITECT FOR EXACT LOCATION OF SIGNAGE, REQUIRED ELECTRICAL CONDUITS, FOUNDATIONS, ETC.

b. SURFACES WITHIN ACCESSIBLE ROUTES: FLUSH LANDSCAPE, TURF, OR OTHER

EARTH SURFACES: ONE INCH (1") ABOVE FINAL GRADE, WITH EARTH TAPERED UP

17. GRATES, COVERS, VALVE COVERS, GAS GATES, PULL BOX COVERS SHALL BE SET AND/OR RESET AS FOLLOWS:a. PAVEMENT SURFACES: FLUSH

TO THE FINAL COVER/RIM ELEVATION. AS-BUILT NOTES:

1. IF APPLICABLE, AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING

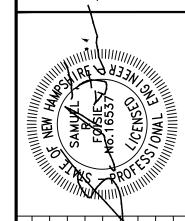
AS BUT NOT LIMITED TO STATE, LOCAL AND UTILITY PROVIDERS.

DEPARTMENT PRIOR TO A CERTIFICATION OF OCCUPANCY BEING ISSUES.

2. AS-BUILTS MUST MEET THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES, SUCH

ADVANCE OF AS-BUILT FIELD SURVEY REQUIREMENT FOR EACH CRITICAL

THE ENGINEER OF RECORD AND/OR SURVEYOR ARE TO BE CONTACT TO 7 DAYS IN



8 DUNSTER AVE CHANGE OF US GENERAL NOTES & LEGEND

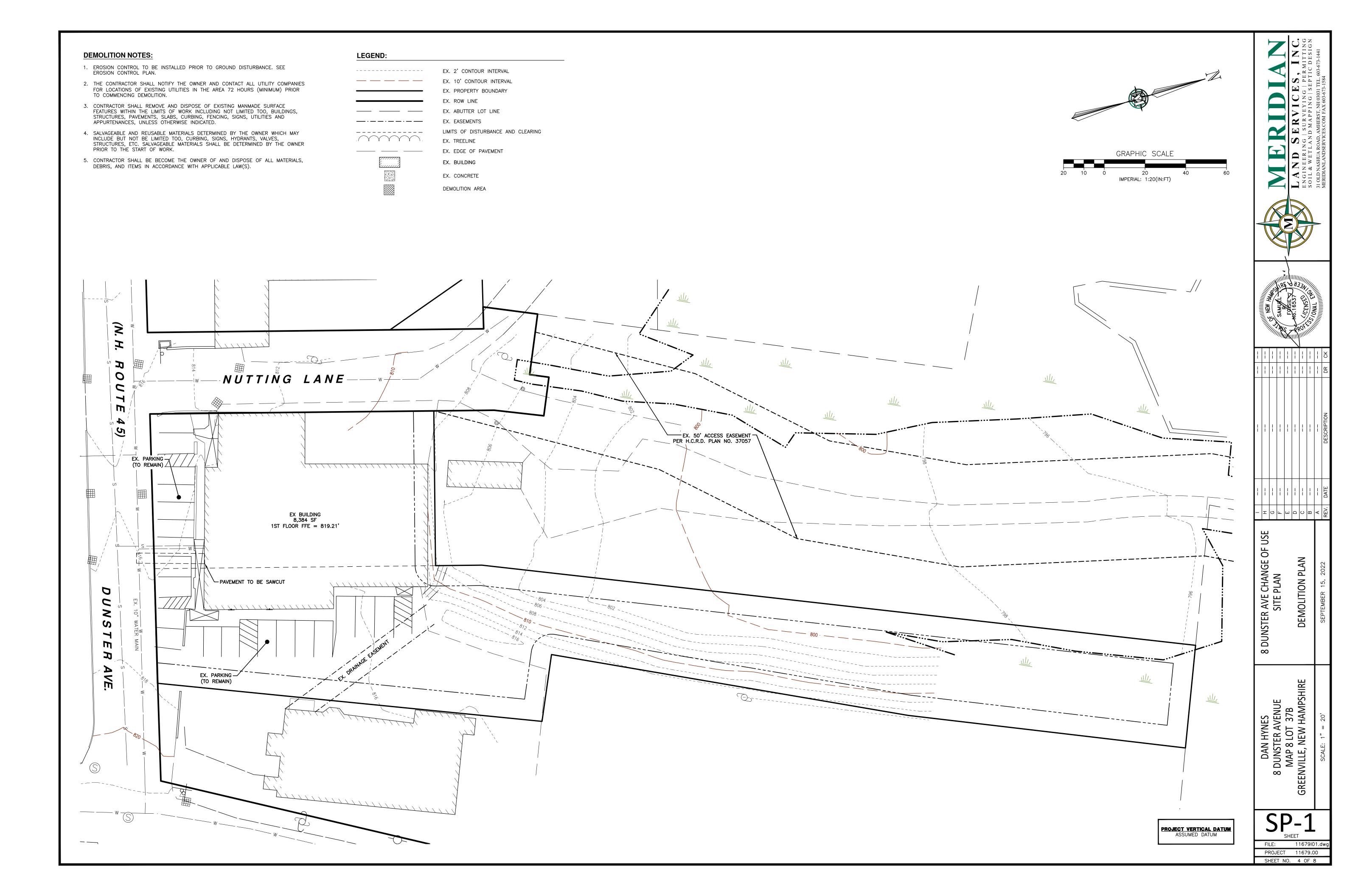
DAN HYNES
8 DUNSTER AVENUE
TAX MAP 8 LOT 37B
ENVILLE, NEW HAMPSHIR

GN-1

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SHEET NO. 3 OF 8

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GENERAL DEVELOPMENT NOTES:

- 1. THE APPLICANT INTENDS TO CHANGE THE USE OF THE EXISTING BUILDING AT TAX MAP 8, LOT 37B FROM AN ANTIQUE STORE AND HAIR SALON TO AN INN, WEDDING AND EVENT VENUE, HAIR SALON AND A CARE TAKERS APARTMENT; AND CONSTRUCT A GRAVEL OVERFLOW PARKING ON TAX MAP 3, LOT 2-6.
- 2. TAX MAP 3, LOT 2-6 IS CURRENTLY OWNED BY THE TOWN. THE APPLICANT HAS BEEN IN NEGOTIATIONS WITH THE TOWN FOR PURCHASE OF THE PROPERTY.
- 3. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF TOWN OF GREENVILLE ZONING ORDNANCES AND SITE REGULATIONS.
- 4. THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR ANY CONSTRUCTION.
- 5. THE LOCATION OF EXISTING UTILITIES, SIDEWALKS, PAVEMENT, VEGETATION AND MISCELLANEOUS IMPROVEMENTS ARE APPROXIMATE. THE EXACT FIELD LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION.
- 6. EXISTING IMPROVEMENTS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- 7. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- 8. THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF GREENVILLE ARE PART OF THIS SITE PLAN AND APPROVAL OF THIS SITE PLAN IS CONTINGENT ON COMPLETION OF ALL REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE GREENVILLE PLANNING BOARD AND ATTACHED HERETO.

LIGHTING NOTES:

1. MO LIGHTS PROPOSED. FUTURE EXTERIOR LIGHTING TO BE DOWNCAST AND SHIELDED.

LANDSCAPING NOTES:

NO LANDSCAPING PROPOSED.

SIGNAGE AND MARKING NOTES:

- 1. ALL SIGNING SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
- 2. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
- 3. ALL SIGNING, PAVEMENT MARKINGS, STREET NAME SIGNS, ETC. ARE TO BE INCLUDED IN THE LUMP SUM PRICE FOR SIGNING AND MARKING.

SIGNAGE NOTES:

NO SIGNAGE PROPOSED.

HEIGHT REMAIN UNCHANGED.

SITE DEVELOPMENT REGULATIONS		
	<u>REQUIRED</u>	<u>PROVIDED</u>
MIN. LOT AREA (ON TOWN SEWER)	N/A	38,304 SF
MIN. FRONTAGE	35'	132'
MIN. LOT LINE SETBACK	10'	NOTE 2
MIN. STREET SETBACK	NONE	0'
MIN. BUILDING COVERAGE	NONE	21.9%
MIN. GREEN SPACE	NONE	44.8%
MAX STORIES	2.5	2
MAX BUILDING HEIGHT	35'	NOTE 2

1. "SITE DEVELOPMENT REGULATIONS" IN ACCORDANCE WITH TOWN OF GREENVILLE ZONING ORDINANCE - DOWNTOWN DISTRICT. PER TABLE 2-1 BUILDING SCHEDULE. 2. BUILDING ON LOT 8-37B IS EXISTING. THE BUILDING LOCATION AND

LAND USE SUMMARY			
LOT 8-37B			
<u>DESCRIPTION</u>	<u>EXISTING</u>	<u>PROPOSED</u>	
BUILDING	8,385 SF	8,385 SF	
PAVEMENT/CONCRETE	11,989 SF	12,019 SF	
GRAVEL	0 SF	140 SF	
OPEN SPACE	17,930 SF	17,760 SF	
TOTAL	38,304 SF	38,304 SF	

<u>USE</u>	<u>RATIO</u>	<u>REQUIRED</u>	PROVIDED	
MULTI-FAMILY (11 UNITS)	2 SPACES PER UNIT	22	24	
TOTAL	TOTAL			
	SPACES INCLUDED IN THE TOTAL SPACES. SECTION 2.7.4.C.3 — OFF—STREET PARKING	OF THE GREENV	ILLE ZONING	

LEGEND:		
	EX. PROPERTY BOUNDARY	
	EX. ROW LINE	
	EX. ABUTTER LOT LINE	
	EX. BUILDING SETBACK	
	EX. EDGE OF PAVEMENT	
	EX. EDGE OF GRAVEL	
	EX./PROPOSED EASEMENT	
W	EY WATER MAIN	

— S — — — —

EX. WETLANDS

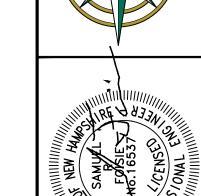
EX. STRUCTURE

EX. CATCH BASIN

CONCRETE

EX. SIGN

EX. WATER MAIN GRAPHIC SCALE EX. GRAVITY SEWER EDGE OF PAVEMENT IMPERIAL: 1:20(IN:FT) EX. BUILDING



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	8 DUNSTER AVE CHANGE OF USE		SIIE PLAN			LAYOUT AND MARKING PLAN		

DAN HYNES 8 DUNSTER AVENUE MAP 8 LOT 37B GREENVILLE, NEW HAMPSHIRE

SP-2

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SHEET NO. 5 OF 8

PROJECT VERTICAL DATUM ASSUMED DATUM

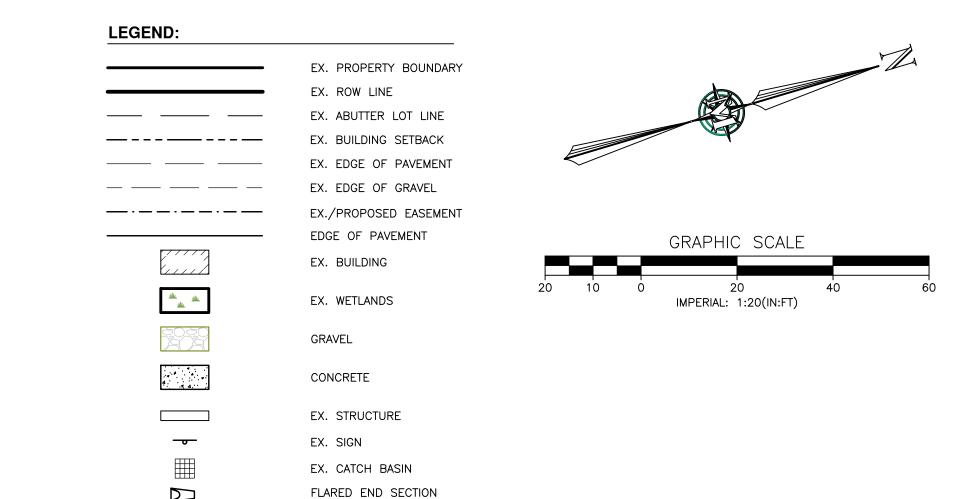
THE CONTRACTOR SHALL COMPLY WITH THE STATE OF NEW HAMPSHIRE TRAFFIC CONTROL. 4. THE CONTRACTOR SHALL COMPLY WITH THE STATE OF NEW HAMPSHIRE TRAFFIC CONTROL. W.—. NUTTING LANE— W.—. NUTTING LANE— W.—. NUTTING LANE— W.—. W.—. W.—. W.—. W.—. W.—. W.—. W.		
PROPOSED DUMPSTER AND	PER H.C.R.D. PLAN NO. 37057	
EX BUILDING 8,384 SF 1ST FLOOR FFE = 819.21' HANDICAPPED "PARKING ONLY" SIGNS (R7-128) WITH "VAN ACCESSIBLE" SIGNS (R7-8a)		<u>; </u>
NS TER MAIN STOP SIGN (TYP.) (TO BE MOUNTED ON WALL) STOP BAR STOP BAR	SNOW STORAGE	

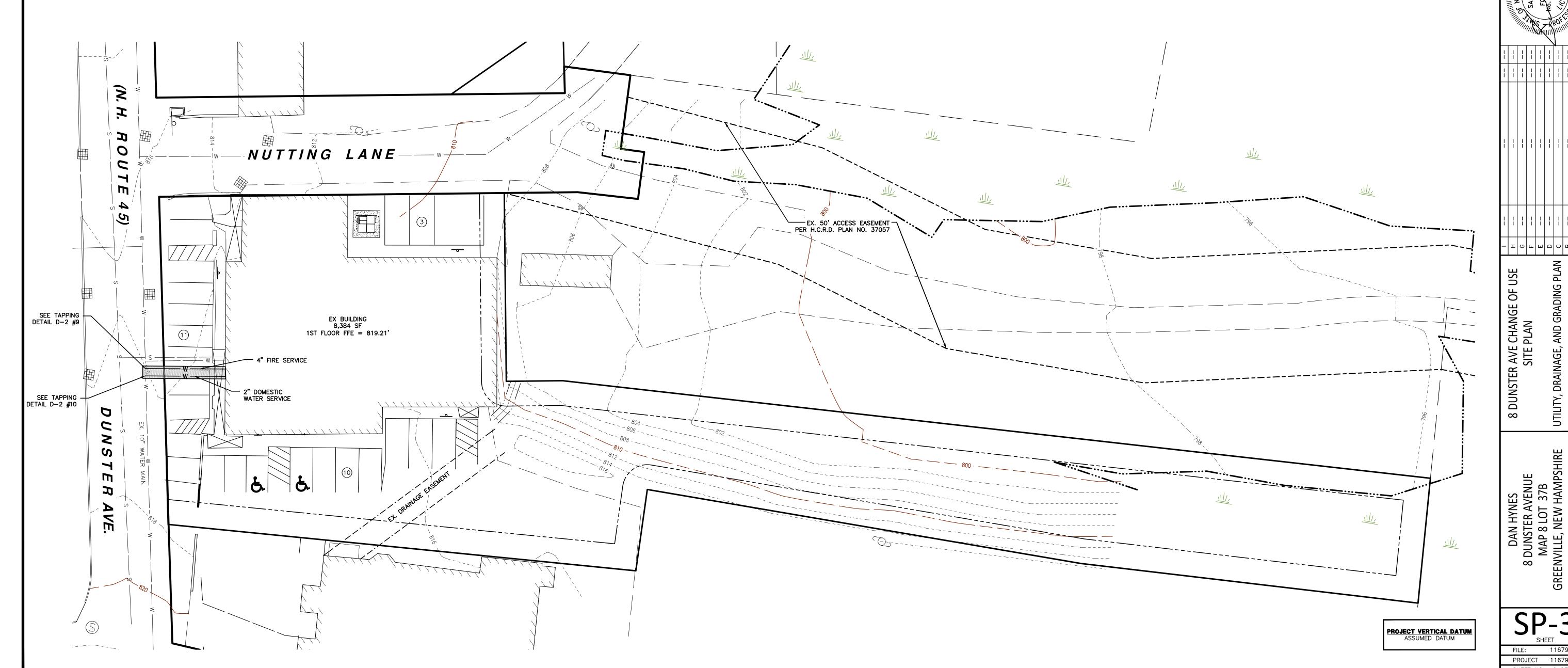
GENERAL UTILITY NOTES: 1. ALL UTILITY CONSTRUCTION TO BE IN ACCORDANCE WITH GREENVILLE UTILITIES TECHNICAL SPECIFICATIONS AND DETAILS, LATEST EDITION. 2. CONTRACTOR TO VERIFY THE SIZE AND LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. EXISTING INFRASTRUCTURE ON THE PROPERTY TO BE PHYSICALLY LOCATED TO AVOID POTENTIAL CONFLICTS OR DAMAGE TO THIS INFRASTRUCTURE. 3. LOCATIONS OF PROPOSED UTILITY LINES ARE SUBJECT TO MODIFICATIONS TO PRESERVE ANY EXISTING VEGETATION AS DETERMINED BY THE ENGINEER. 4. NO TREES OR SHRUBS SHALL BE PLACED SO AS TO BLOCK ACCESS OR LINE OF SIGHT TO FIRE HYDRANTS PLACED WITHIN LANDSCAPE ISLANDS THROUGHOUT THE PROJECT SITE. PRIOR TO FINAL PAYMENT REQUEST.

- 5. CONTRACTOR TO PROVIDE UTILITY RECORD DRAWINGS TO OWNER AND ENGINEER
- 6. ALL UNDERGROUND UTILITIES LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF THE SUBGRADE.
- 7. CONTRACTOR SHALL NOTIFY ALL UTILITY PROVIDERS AT LEAST 48 HOURS PRIOR TO THE START OF UNDERGROUND CONSTRUCTION THE CONTRACTOR SHALL DETERMINE IF UTILITIES OTHER THAN THOSE SHOWN THE PLANS EXIST.
- 8. CONTRACTOR TO EXERCISE CARE TO PROTECT THE ROOTS OF TREES TO REMAIN. WITH THE BRANCH SPREAD OF SUCH TREES, PERFORM ALL TRENCHING BY HAND. OPEN THE TRENCH ONLY WHEN UTILITIES CAN BE INSTALLED IMMEDIATELY. PRUNE INJURED ROOTS CLEANLY AND BACKFILL AS SOON AS POSSIBLE.

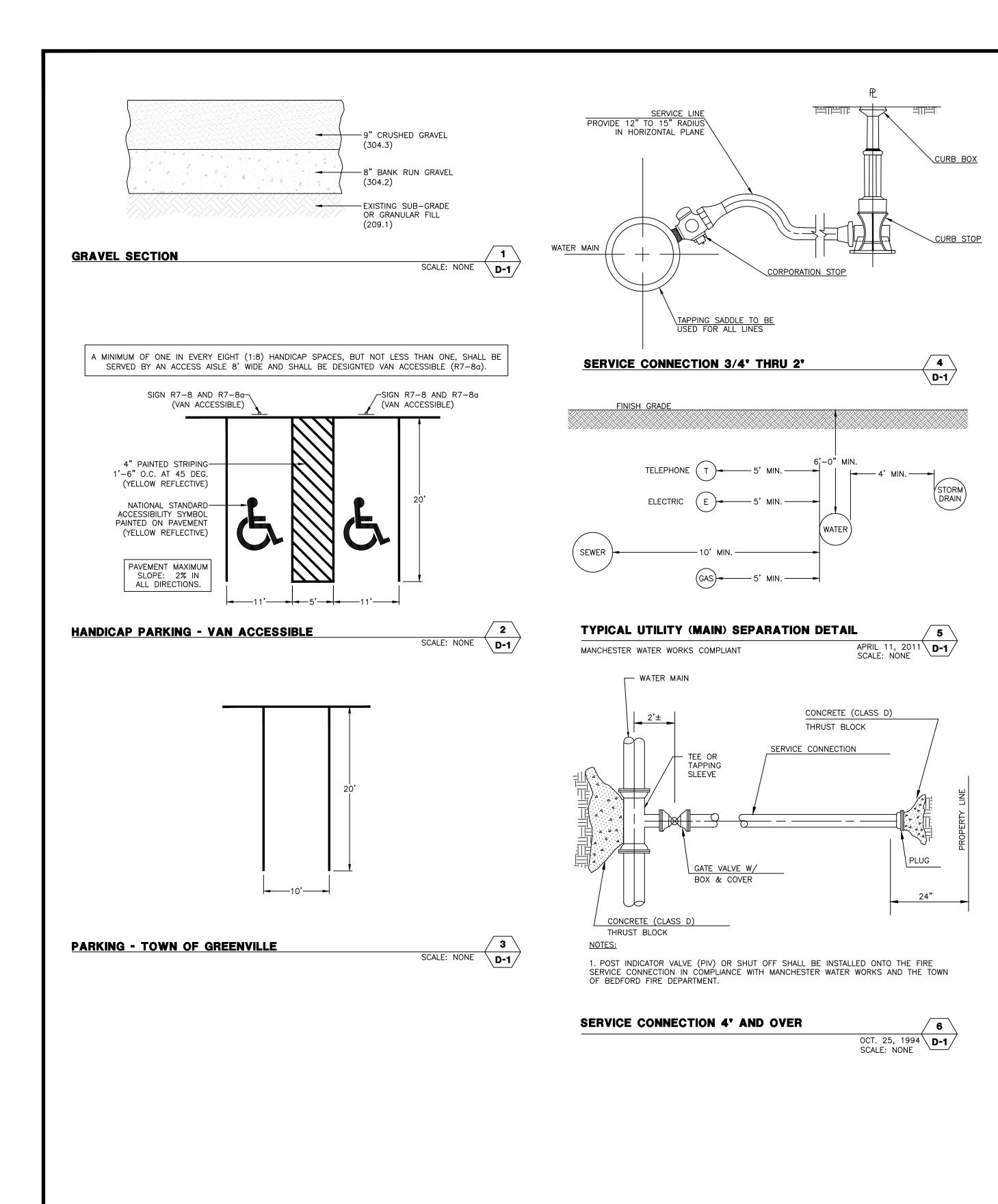
SANITARY SEWER NOTES:

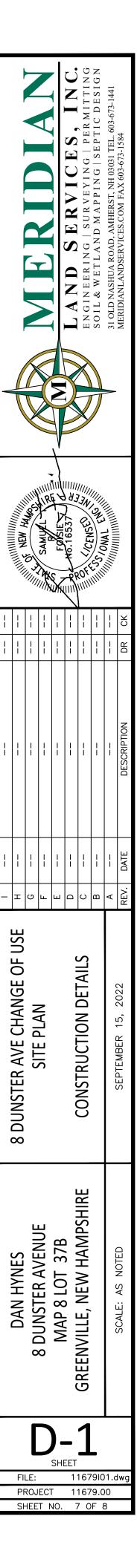
- 1. EXISTING SEWER SERVICE TO BE INSPECTED AND REPLACED AS NEEDED. IF REPLACEMENT IS NEEDED SEWER SERVICE LATERAL IS TO BE INSTALLED PER GREENVILLE STANDARDS AND SPECIFICATIONS. ALL APPLICABLE PERMITS ARE TO
- 2. SEWER SERVICE LOCATION PER RECORD DRAWINGS PROVIDED BY MONADNOCK SURVEY, INC. DATED OCTOBER 26, 2015.





PROJECT 11679.00





EROSION CONTROL NOTES:

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS
- 1. INSTALLATION OF SILT SOCKS AND SILTATION FENCE WHERE INDICATED SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
- 2. SILT SOCKS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.5" OR GREATER RAINFALL.
- 3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- 4. PER THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. THE TOTAL AREA OF ACTIVE DISTURBANCE, INCLUDING LOT DISTURBANCES, SHALL NOT EXCEED 5 ACRES.
- 5. THE DURATION OF TIME THAT AN AREA IS DISTURBED SHALL BE MINIMIZED. ALL NON-ACTIVE DISTURBED AREAS (ie: CLEARED FOR CONSTRUCTION BUT NOT PRESENTLY UNDERGOING CONSTRUCTION) SHALL BE STABILIZED WITHIN 28 DAYS OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72
- 6. ALL DITCHES, SWALES AND DETENTION BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND SHALL BE STABILIZED PRIOR TO DIRECTING STORM WATER FLOW TO THEM.
- 7. AN AREA MAY BE CONSIDERED STABILIZED WHEN ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 8. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE
- COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

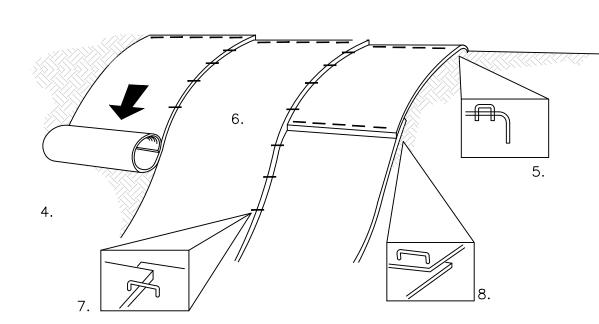
THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED		SLOPE SEED	
CREEPING RED FESCUE	0.87 LBS.	CREEPING RED FESCUE	1.01 LBS
KENTUCKY BLUEGRASS	0.71 LBS.	RYE GRASS	0.75 LBS
RYE GRASS	0.58 LBS.	RED TOP	0.18 LBS
RED TOP	0.14 LBS.	ALSIKE CLOVER	0.18 LBS
		BIRDSFOOT TREFOIL	0.18 LBS

9. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).

FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.

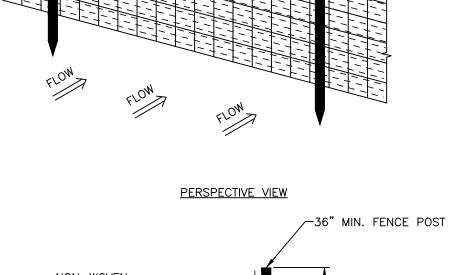
- 10. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING
- 11. THE SITE CONTRACTOR SHALL MAINTAIN A VIGOROUS DUST CONTROL PROGRAM THROUGHOUT THE CONSTRUCTION PROCESS. EXPOSED EARTH SHALL BE KEPT MOIST OR MULCHED AT ALL TIMES TO PREVENT DUST FORMATION. SPECIAL ATTENTION SHALL BE PAID TO HIGH TRAFFIC AREAS.



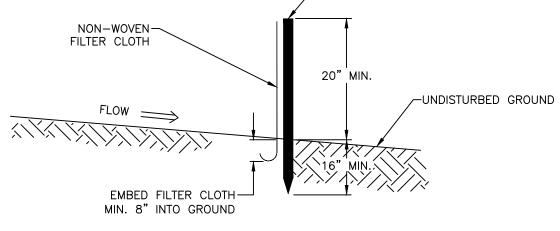
- FABRIC SHALL BE A STRAW/COCONUT FIBER EROSION CONTROL TURF REINFORCEMENT MAT SUCH AS NORTH AMERICAN GREEN SC150BN OR EQUAL.
- 2. THE USE OF ANY EROSION CONTROL MAT WHICH CONTAINS WELDED PLASTIC OR BIODEGRADABLE PLASTIC THREAD OR NETTING IS STRICTLY PROHIBITED.
- 3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1" AND A LENGTH OF 6".
- 4. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME,
- 5. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROLL OF STAPLES OR STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET WITH A ROW OF STAPLES/STAKES PLACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- 6. ROLL THE BLANKETS DOWN THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT
- 7. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OF OVERLAP DEPENDING ON THE BLANKET TYPE.
- 8. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE OVERLAPPED AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- 9. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.
- 10. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

SLOPE STABILIZATION TURF REINFORCEMENT MAT



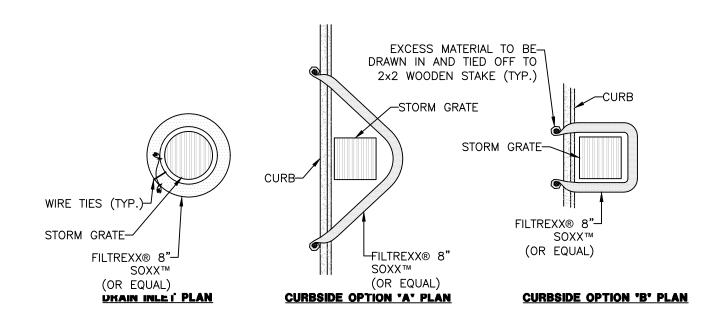


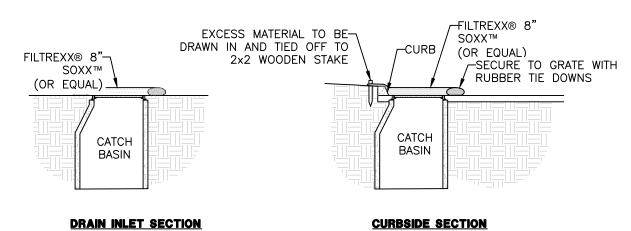
36" MIN. LENGTH FENCE POST



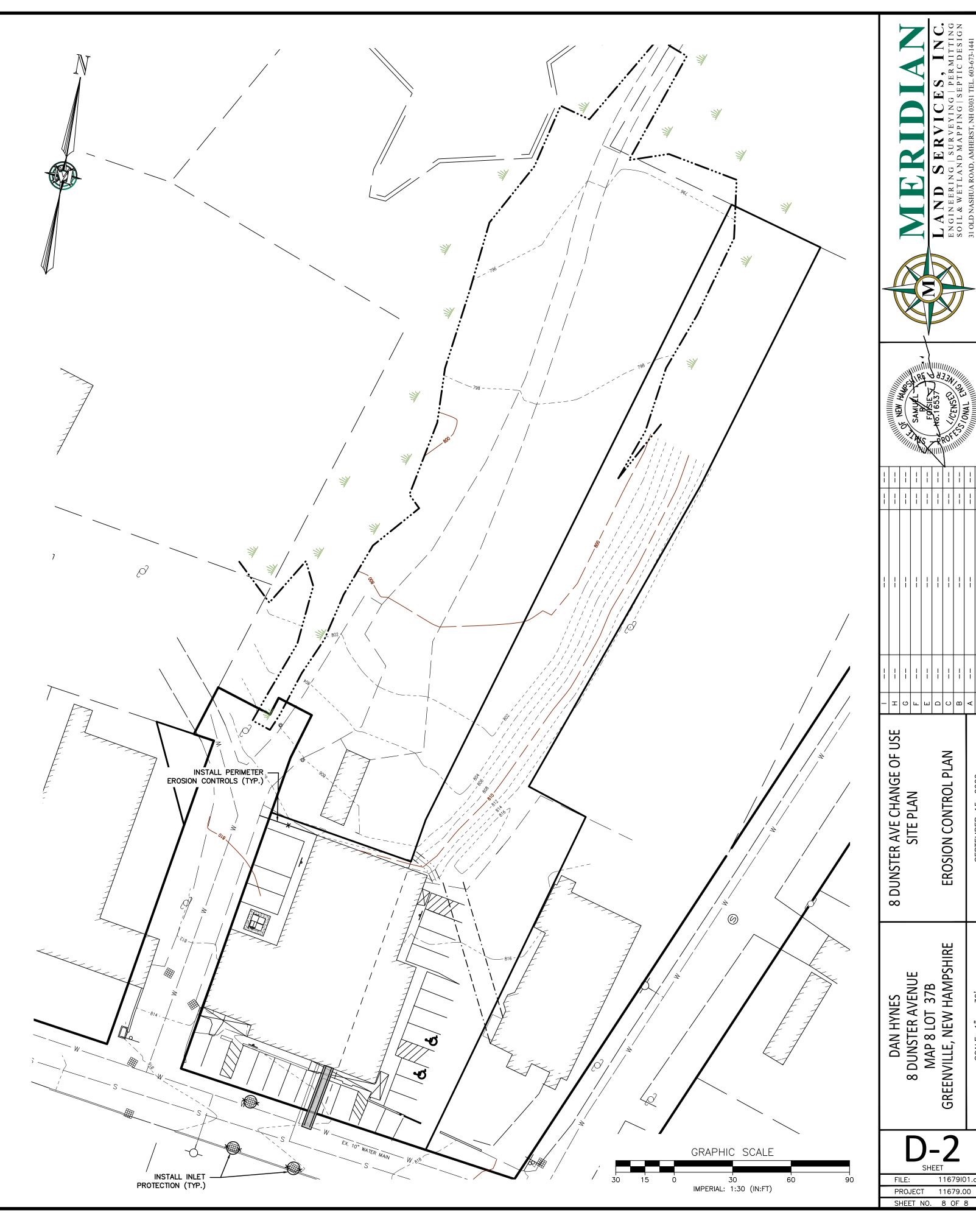
<u>SECTION</u>

SILTATION FENCE SCALE: NONE





INLET PROTECTION (BY FILTREXX® OR EQUAL)



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